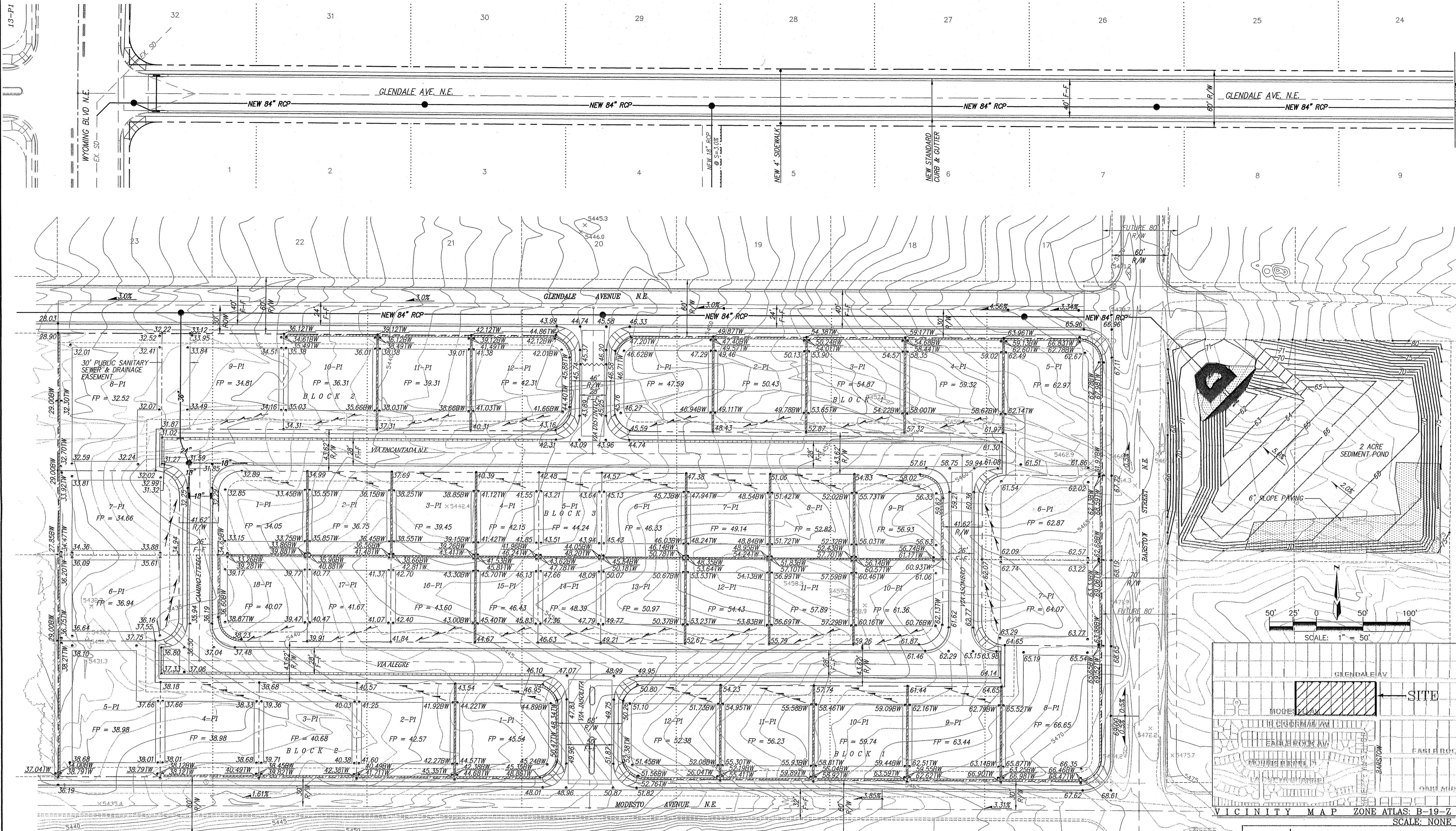


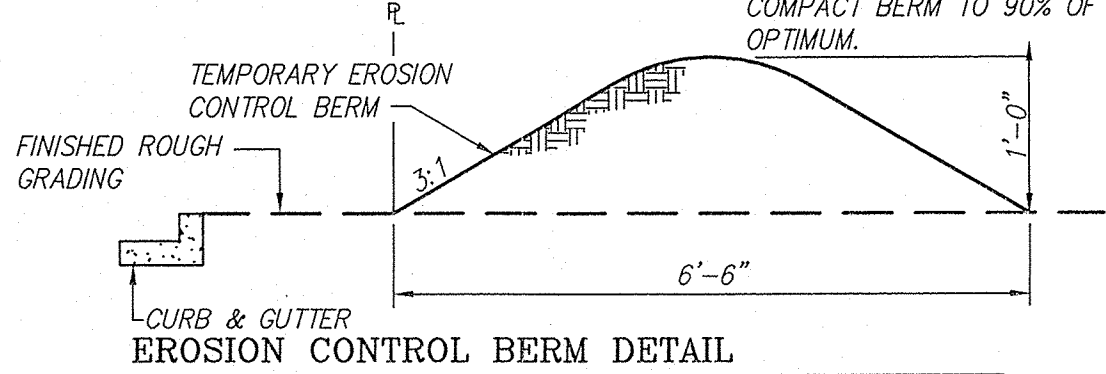


NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
- A PERIMETER CMU WALL WILL BE CONSTRUCTED AROUND THE PROJECT SITE. INTERIOR PROPERTY BOUNDARIES WILL BE SEPARATED BY WALLS (SIDEYARDS AND BACK YARDS).

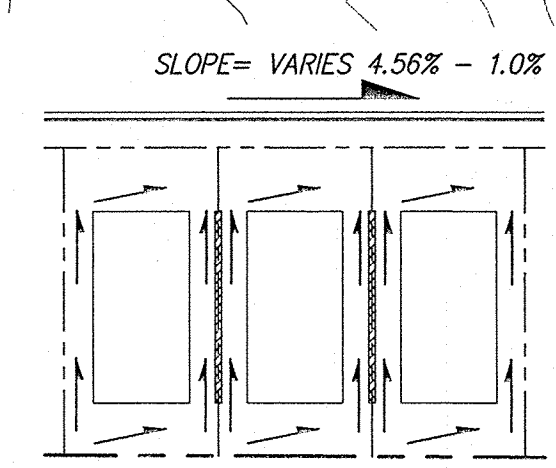
LEGEND

- | | | |
|------|---------------------------------|-----------------------------|
| 5615 | EXISTING CONTOUR (MAJOR) | NEW MOUNTABLE CURB & GUTTER |
| 5616 | EXISTING CONTOUR (MINOR) | NEW STANDARD CURB & GUTTER |
| 5617 | EXISTING SPOT ELEVATION | NEW SIDEWALK |
| 5618 | EXISTING CHAIN LINK/WIRE FENCE | NEW RIGHT-OF-WAY |
| 5619 | EXISTING OVERHEAD ELECTRIC LINE | NEW CENTERLINE |
| 5620 | EXISTING POWER POLE | NEW LOT LINES |
| 5621 | EXISTING GUY WIRE | NEW EASEMENTS |
| 5622 | EXISTING TELEPHONE MANHOLE | NEW RETAINING WALL |
| 5623 | EXISTING TELEPHONE PEDESTAL | NEW SPOT ELEVATIONS |
| 5624 | | NEW FLOW |
| 5625 | | NEW STORM DRAIN |
| 5626 | | NEW STORM DRAIN MANHOLE |



EROSION CONTROL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
- EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
- ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.

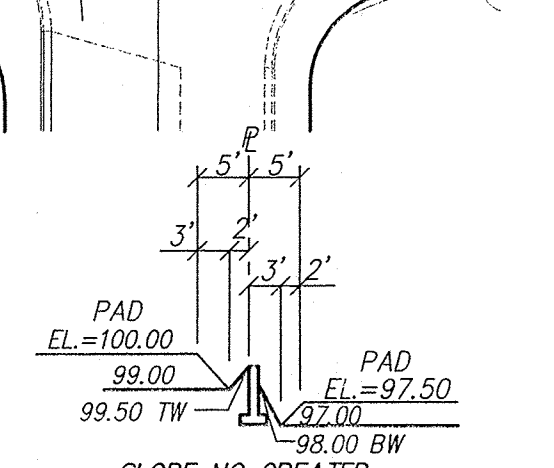


TYPICAL LOT LAYOUT: PLAN VIEW

N.T.S.

NOTES:

- ALL LOT RUNOFF DRAINS TO THE STREET IN FRONT OF THE LOT.



TYPICAL LOT LAYOUT: SECTION

N.T.S.

NOTE: RETAINING WALL REQUIRED WHEN THE DIFFERENCE BETWEEN PAD ELEVATIONS IS GREATER THAN 2.5

A3062QUIV/A306GD-500/12-29-03/ACH GJK

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: QUIVERA ESTATES GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

MO./DAY/YR. MO./DAY/YR.

CITY PROJECT NO. ZONE MAP NO. SHEET OF

B-19 I I

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	BY	DATE	NO.	CONTRACTOR	DATE
				ACS Brass Can stamped "1-820"	
				Located in the northeast quadrant of the intersection of Modesto Ave. N.E. and Barstow St. N.E.; approximately 30' north from the centerline of Modesto Ave. N.E. and approximately 30' east from the centerline of Barstow St. N.E.;	
				Geographic Position (NAD 1983), in feet	
				N.M. State Plane Coordinates (Central Zone)	
				X=410,237.56 Y=1,524,082.46	
				Elevation=5474.533, NGVD29, in feet	