

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

May 10, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

**RE: Glendale Estates Unit 3
Grading and Drainage Plan
Engineer's Stamp Date 4/28/18
Hydrology File: B19D027**

Dear Mr. Soule:

Based on the information provided in your submittal received 5/18/18, the Grading and Drainage Plan is approved for Grading Permit and Work Order.

PO Box 1293

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Albuquerque

Sincerely,

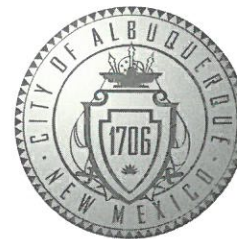
NM 87103

A handwritten signature in black ink, appearing to read "Dana Peterson".

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

CITY OF ALBUQUERQUE



May 10, 2018

David Soule, P.E.
Rio Grande Engineering
PO Box 93924
Albuquerque, NM, 87199

RE: **Glendale Estates Unit 3**
Grading and Drainage Plan
Engineer's Stamp Date 4/28/18
Hydrology File: B19D027

Dear Mr. Soule:

Based on the information provided in your submittal received 5/3/18, the Grading and Drainage Plan cannot be approved for Building Permit until the following are addressed:

1. Provide written and signed permission from the adjoining landowner to the south for the footer encroachment onto their property.
2. Provide supporting calculations for the HGL in the new storm drain.

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR

TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CITY OF ALBUQUERQUE

Planning Department
David S. Campbell, Director



Timothy M. Keller, Mayor

February 5, 2018

David Soule, PE
Rio Grande Engineering
1606 Central SE Suite 201
Albuquerque, NM 87106

**Re: Glendale Estates Unit 3 Grading & Drainage Plan
Engineer's Stamp Dated 1/29/2017
(B19D027)**

Dear Mr. Soule,

Based upon the information provided in the submittal received on 1/2/2018 the above-referenced plan is approved for Preliminary Plat. Prior to approval for Grading Permit and Work Order the following must be addressed.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

- Add a section through the south property line at the point of maximum retainage showing existing and proposed grades and dimensions to the existing property line and any existing walls. The section should show how this development will comply with DPM Section 22.5.B "*Particular attention must be given to grading (either cut or fill) near property lines. Care should be taken to ensure that existing foundations, retaining walls, stable slopes or other structures are not endangered and that the adjacent property is not damaged or its use constrained due to grading at or near the property line*". **ADDED SECTION AND NOTE**
- An ESC plan must be submitted to Stormwater Quality Control Plan. After the ESC plan is approved an ESC Permit must be obtained prior to beginning construction. **ACKNOWLEDGED**

If you have any questions, you can contact me at 924-3986 or e-mail Jhughes@cabq.gov.

Sincerely,

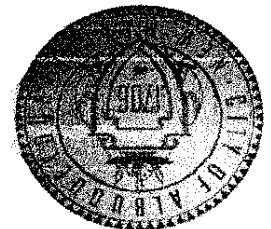
James D. Hughes, P.E.
Principal Engineer, Planning Dept.
Development Review Services

City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)



Project Title: Glendale Estates Unit 3

Building Permit #: _____

City Drainage #: B19D027

DRB#: _____

EPC#: _____

Work Order#: _____

Legal Description: tract B2 glendale estates unit 2

City Address: Glendale between barstow and wyoming

Engineering Firm: RIO GRANDE ENGINEERING

Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: ashon homes

Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: none

Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____

Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

HYDROLOGY/ DRAINAGE

TRAFFIC/ TRANSPORTATION

MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

ENGINEER/ ARCHITECT CERTIFICATION

CONCEPTUAL G & D PLAN

GRADING PLAN

DRAINAGE MASTER PLAN

DRAINAGE REPORT

CLOMR/LOMR

TRAFFIC CIRCULATION LAYOUT (TCL)

TRAFFIC IMPACT STUDY (TIS)

EROSION & SEDIMENT CONTROL PLAN (ESC)

OTHER (SPECIFY)

IS THIS A RESUBMITTAL? Yes No

DATE SUBMITTED: 5/15/18

By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

BUILDING PERMIT APPROVAL

CERTIFICATE OF OCCUPANCY

PRELIMINARY PLAT APPROVAL

SITE PLAN FOR SUB'D APPROVAL

SITE PLAN FOR BLDG. PERMIT APPROVAL

FINAL PLAT APPROVAL

SIA/ RELEASE OF FINANCIAL GUARANTEE

FOUNDATION PERMIT APPROVAL

GRADING PERMIT APPROVAL

SO-19 APPROVAL

PAVING PERMIT APPROVAL

GRADING/ PAD CERTIFICATION

WORK ORDER APPROVAL

CLOMR/LOMR

PRE-DESIGN MEETING

OTHER (SPECIFY)

HYDRAULIC GRADE LINE

MANNING'S EQUATION

$$Q = 1.49 \cdot n^{-1} \cdot A \cdot R^{4/3} \cdot S^{1/2}$$

DEPTH (IN)	DEPTH (FT)	DIAMETER (IN)	SLOPE (FT/FT)	THETA	AREA (FT ²)	WP	R	Q (CFS)
24.00	2.00	24	0.088	6.28	3.14	6.28	0.50	10.22

head loss calcs 0.2185993

friction slope= 0.002043

Q 10.22

n 0.013

z 1.486

a 3.14

R= 0.5

HGL at connection=19.05

HGL at inlet=19.27

ASHTON HOMES LLC
11209 SPYGLASS HILL LN NE
Albuquerque, NM 87111
505-315-0312

5-11-18

City of Albuquerque
Planning Department

RE: Estates at Glendale Subdivision

LETTER OF AUTHORIZATION

Ashton Homes LLC has our permission to do minimal grading on our lot to build foundation and retaining wall on adjacent owner's property for Estates at Glendale subdivision. It is understood that the actual wall itself, when constructed, will be on their side (Ashton Homes LLC) of the lot and will be responsible to bring area disturbed back to original condition. Ashton Homes LLC will indemnify and hold harmless adjacent property owner from any damages or lawsuits resulting from the work done on adjacent property.

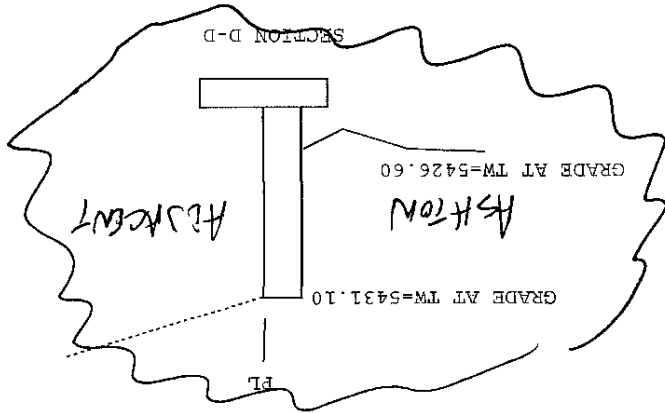
Randall J. Schmilke

Randall J. Schmilke, Managing Member, Ashton Homes LLC
Date 5/11/18

Address:
Adjacent Property Owner:
Mark Whitson

Signature
Date 5-11-18
MARK WHITSON 7911 MODESTO DR

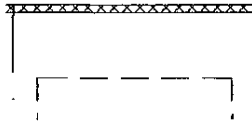
* DEVELOPER WILL OBTAIN PERMISSION OF ADJACENT LOT OWNER FOR TEMPORARY WORK PERMISSION UPON SAID LOT FOR THE CONSTRUCTION AND BACK FILL OF WALL. FACE OF WALL SHALL BE ENTIRELY WITHIN THIS DEVELOPMENT



TYPICAL WATER HARVESTING AREAS-UNIT 3 ^{NTS}

AS-UNIT 2

POND SHALL BE CREATED BY BERM AND OR DEPRESSION, DEPENDING ON LANDSCAPE DESIGN



ALL BE CREATED AND OR DEPENDING ON LANDSCAPE DESIGN



Screenshot_20180514-124309_Messages.jpg
424.3KB

Sent from Yahoo Mail on Android

text message.

Acknowledgement for Ashton Holmes to allow grading and building of a wall on McCallister's back property line by

Subject: McCallister 8001 Modesto

From: schmilleco@yahoo.com

To: schmilleco@yahoo.com

Date: Monday, May 14, 2018, 1:10:58 PM MDT

Jim And Dixie Mc Callister

5053013011

Saturday, May 12, 2018

Dixie and Jim McCallister 2:37 PM

Sunday, May 13, 2018

I can't see a message or name. Who is this writing? 12:16 PM

Monday, May 14, 2018

Hi Jim and Dixie. This is Randy behind you. Per our conversation Saturday, are we ok to use the 2' you left us from the moving of your fence to do the grading/trenching to build the wall? Are we ok to center the wall on the property line? Thank you. Randy Schmilie, Ashton Homes 6:54 AM

Yes, centering the block wall on the property line is fine. Just do not touch the fence. 12:35 PM

Thank you Jim and Dixie! 12:42 PM

Enter message

