

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

December 18, 2018

David Soule, P.E.  
Rio Grande Engineering  
PO Box 93924  
Albuquerque, NM 87199

**RE: Glendale Estates Unit 3  
Request for Pad Certification  
Lots 1-4, 6, 7 – Accepted  
Release of Financial Guarantee – Not Accepted  
Grading Plan Stamp Date: 4/28/18  
Certification Dated: 12/16/18  
Drainage File: B19D027**

Dear Mr. Soule:

Based on the submittal received on 12/17/18, the Engineer's Certification is approved for Lots 1-4, 6, and 7.

Prior to Pad Certification (Lot 5):

1. The swale shown in section D-D needs to be built across the south property line of Lot 5. Ensure the swale directs the drainage into the riprap channel and sidewalk culvert at the end of the cul-de-sac.

Prior to Release of Financial Guarantee (For Information):

2. The Infrastructure List shows two sidewalk culverts as being constructed in Glendale, but only one was built. The infrastructure list needs to be amended or the second culvert constructed.
3. At the sidewalk culvert in Glendale, raise the downhill side of the riprap channel so that storm water is forced into the sidewalk culvert and won't simply flow down the weed strip between the sidewalk and the wall.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** GLENDALE ESTATES 3 **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** B19D27

**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_

**Legal Description:** TRACT B GLENDALE ESTATES 2

**City Address:** UN ADDRESSED LOT ON GLENDALE BETWEEN BARSTOW AND WYOMING

**Applicant:** RANDY SCHMILLE **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_

**Phone#:** \_\_\_\_\_ **Fax#:** \_\_\_\_\_ **E-mail:** \_\_\_\_\_

**Other Contact:** RIO GRANDE ENGINEERING **Contact:** DAVID SOULE

**Address:** PO BOX 93924 ALB NM 87199

**Phone#:** 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

**TYPE OF DEVELOPMENT:** ☒ PLAT ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

Check all that Apply:

### DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION

### TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ DRAINAGE REPORT  
☐ DRAINAGE MASTER PLAN  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ STREET LIGHT LAYOUT  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☐ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

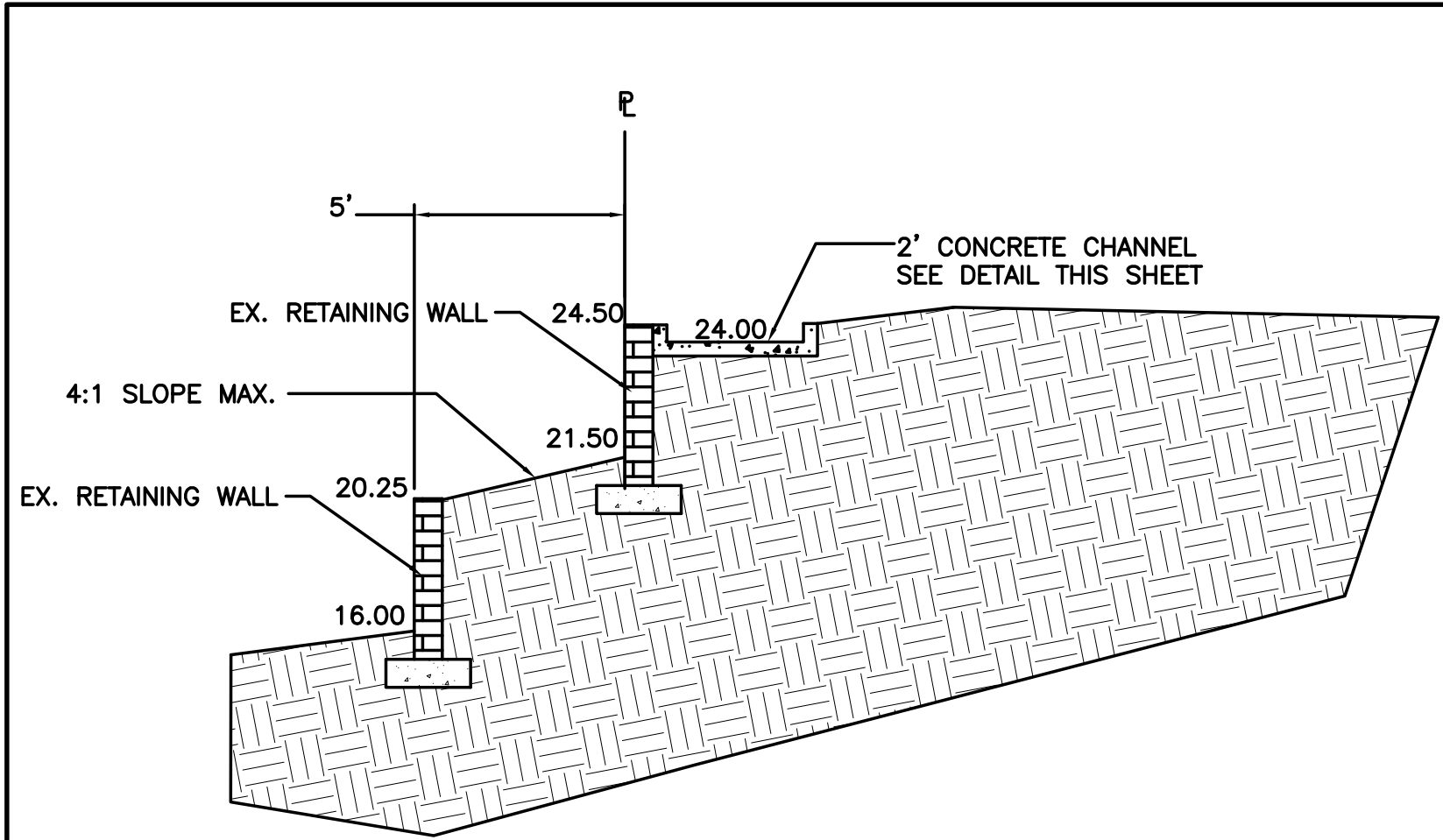
**DATE SUBMITTED:** \_\_\_\_\_ **By:** \_\_\_\_\_

COA STAFF:

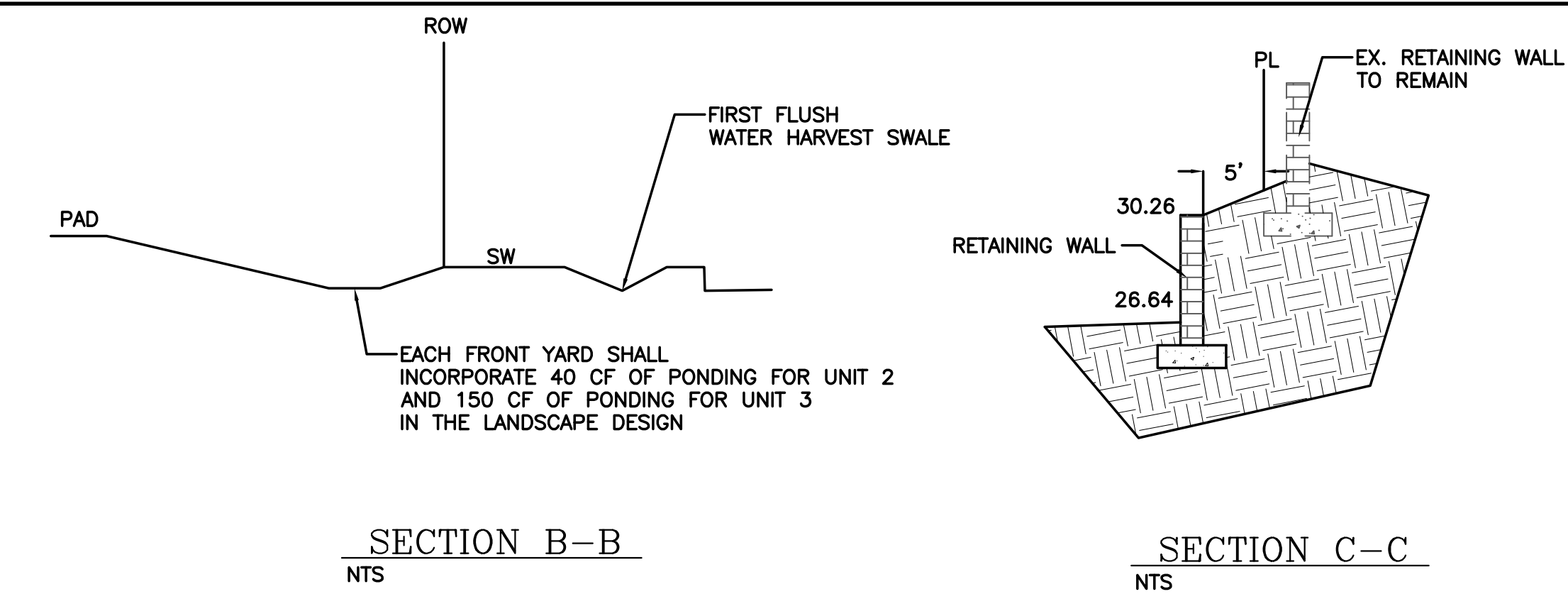
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FEE PAID: \_\_\_\_\_



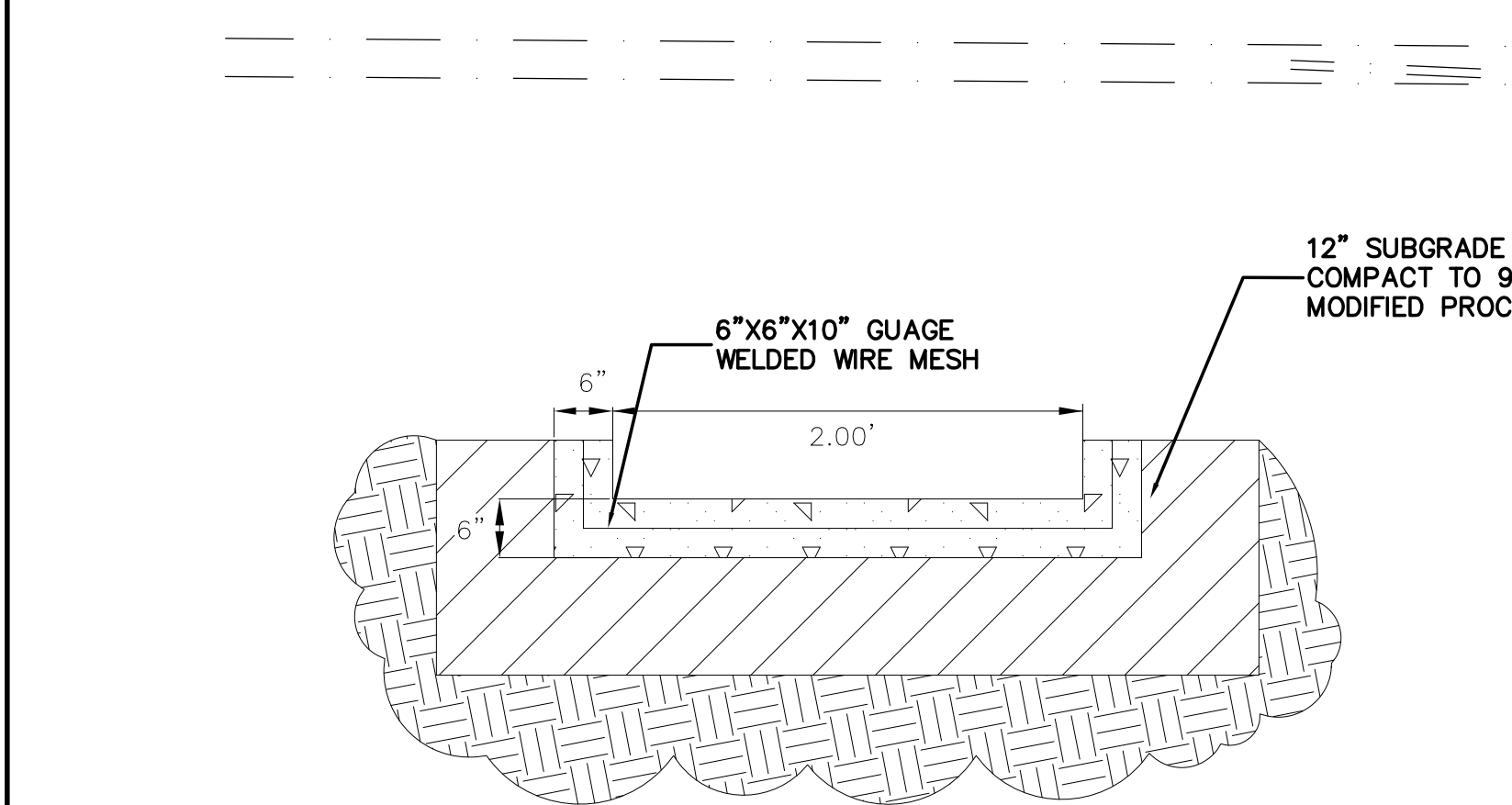


SECTION A-A  
NTS

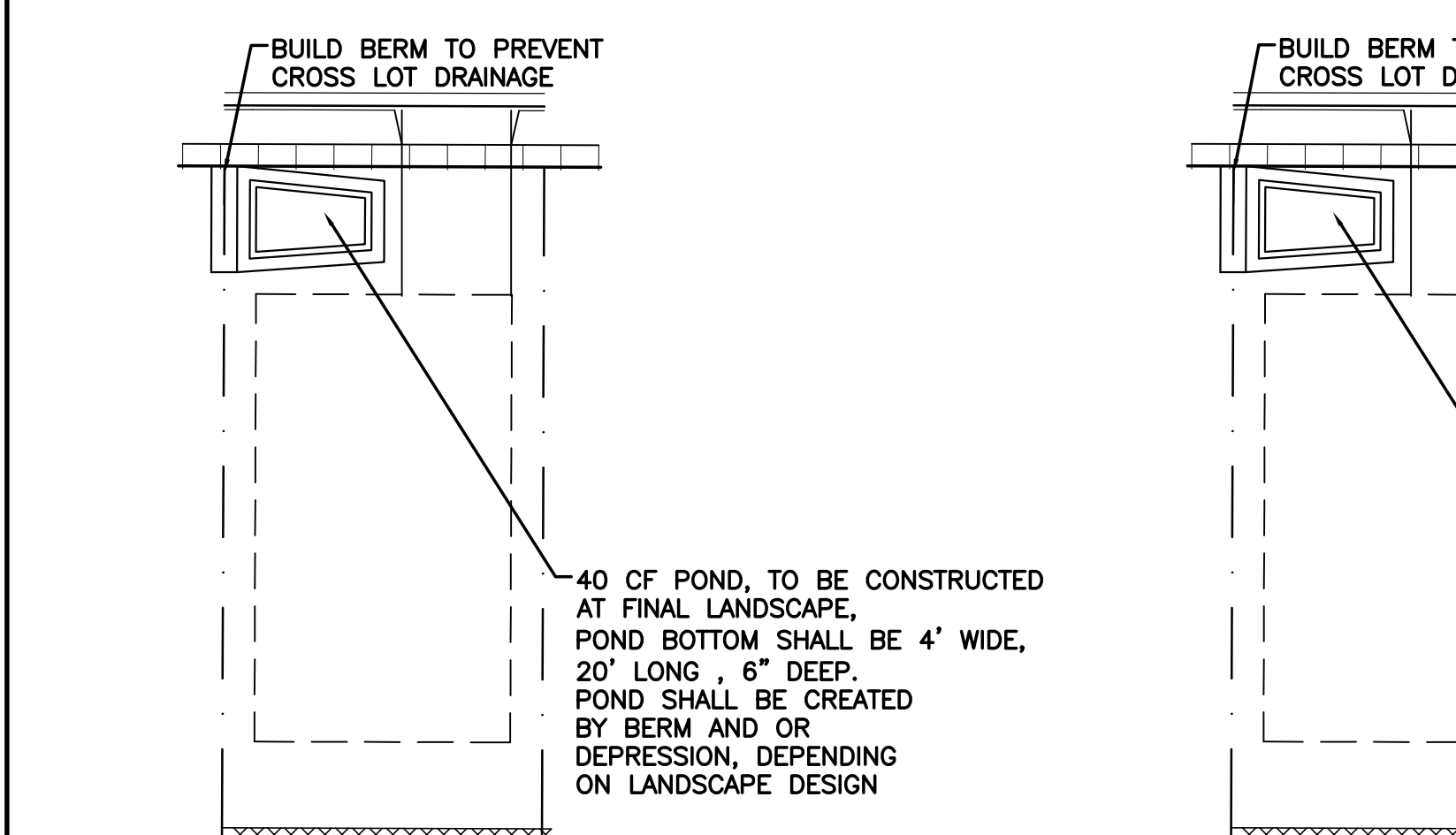


SECTION B-B  
NTS

SECTION C-C  
NTS

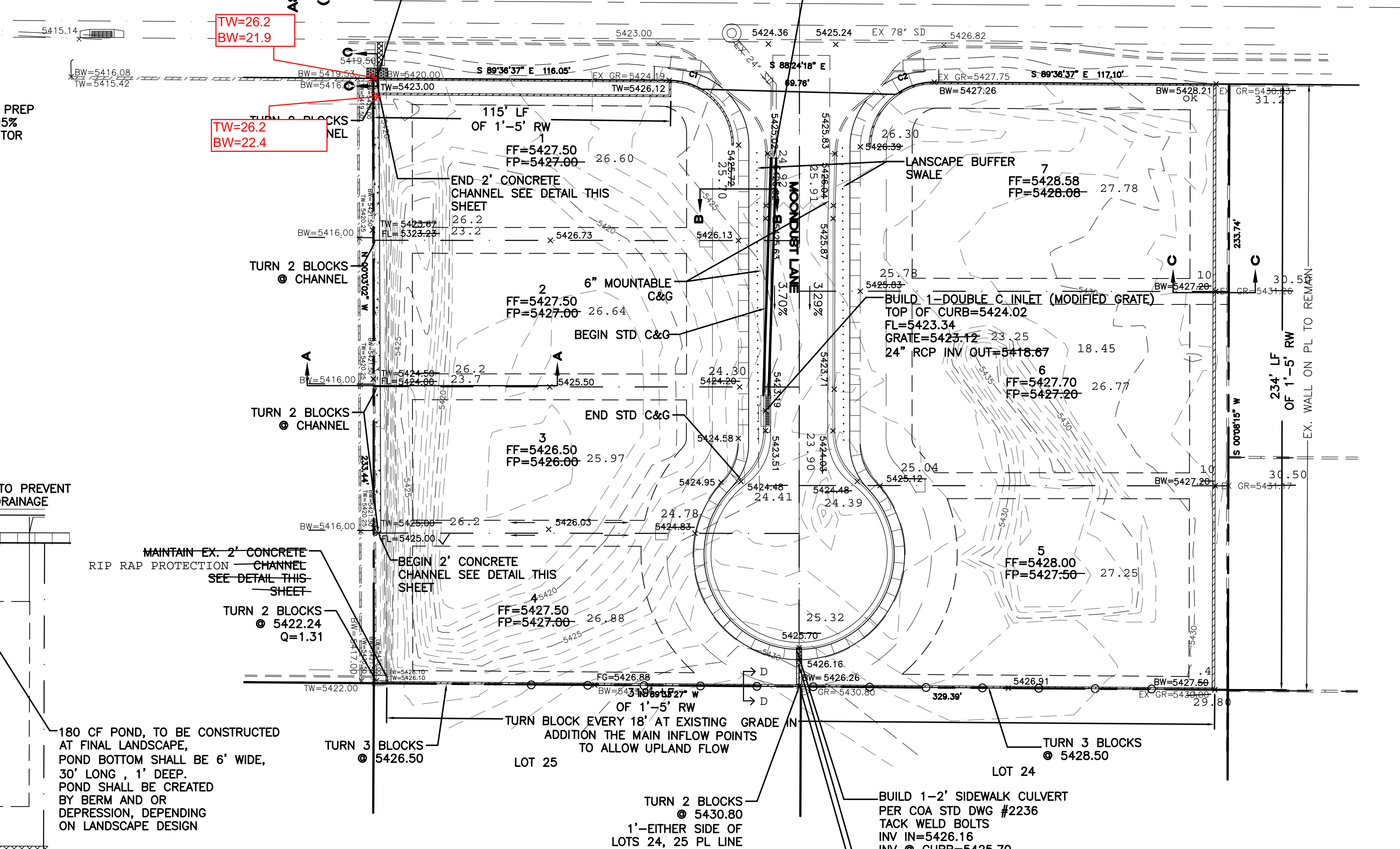


CONCRETE CHANNEL DETAIL  
NTS



TYPICAL WATER HARVETING AREAS-UNIT 2  
NTS

**CAUTION:**  
EXISTING UTILITIES ARE NOT SHOWN.  
IT SHALL BE THE SOLE RESPONSIBILITY  
OF THE CONTRACTOR TO CONDUCT ALL  
NECESSARY FIELD INVESTIGATIONS PRIOR  
TO ANY EXCAVATION TO DETERMINE THE  
ACTUAL LOCATION OF UTILITIES & OTHER  
IMPROVEMENTS.



DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL  
SURVEYOR

DRAINAGE CERTIFICATION  
I, DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY  
CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN  
SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN  
INTENT OF THE APPROVED PLAN DATED 4/28/18. THE RECORD  
INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN  
OBTAINED BY TIM ALDRICH, NMPS 7719, OF THE FIRM ALDRICH LAND  
SURVEYORS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE  
PROJECT SITE ON DECEMBER 12, 2018 AND HAVE DETERMINED BY VISUAL  
INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF  
ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY  
KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A  
REQUEST FOR PAD CERTIFICATION AND RELEASE OF FINANCIAL GUARANTEE.  
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY  
COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE  
GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS  
RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF  
ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DAVID SOULE, NMPE 14522



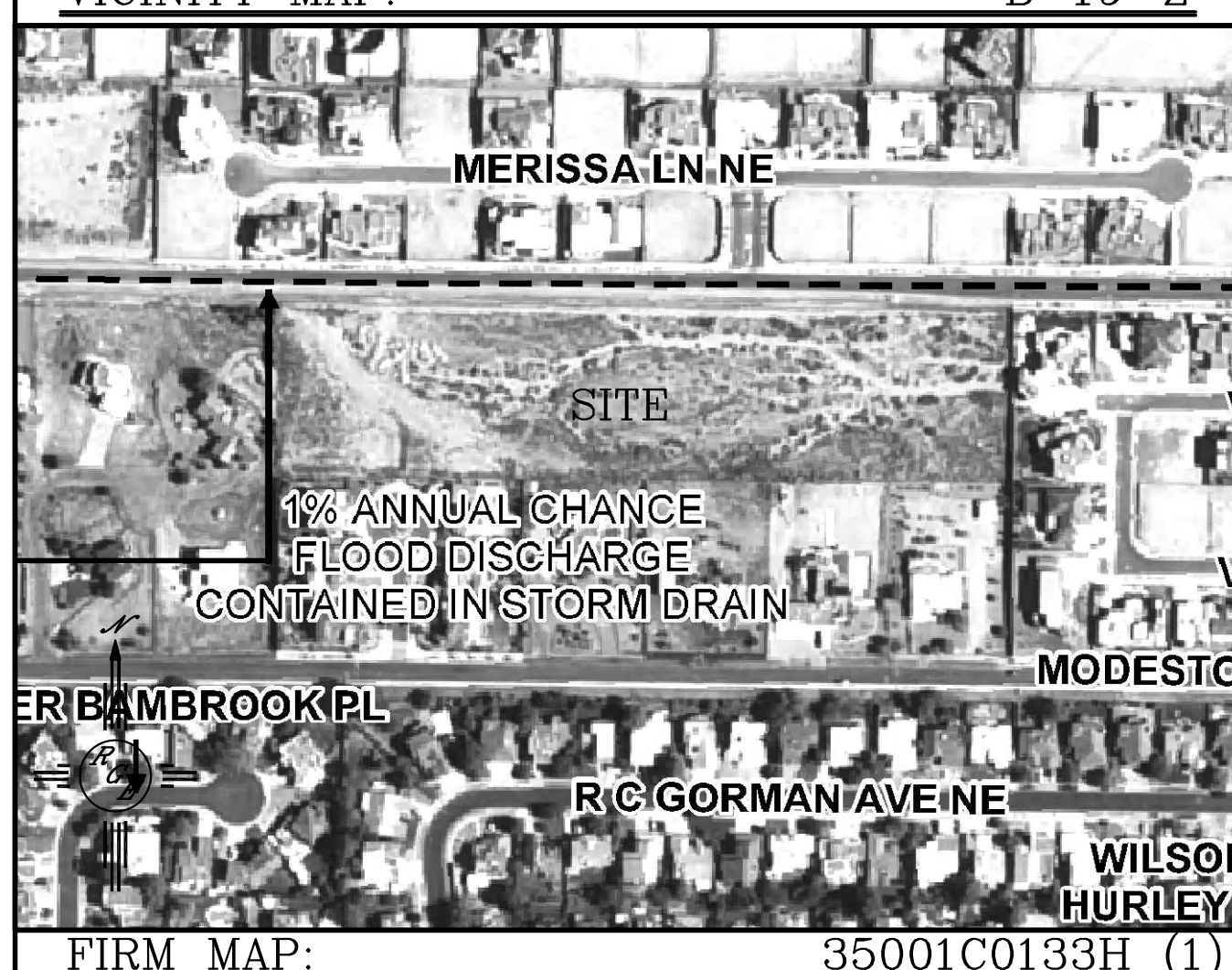
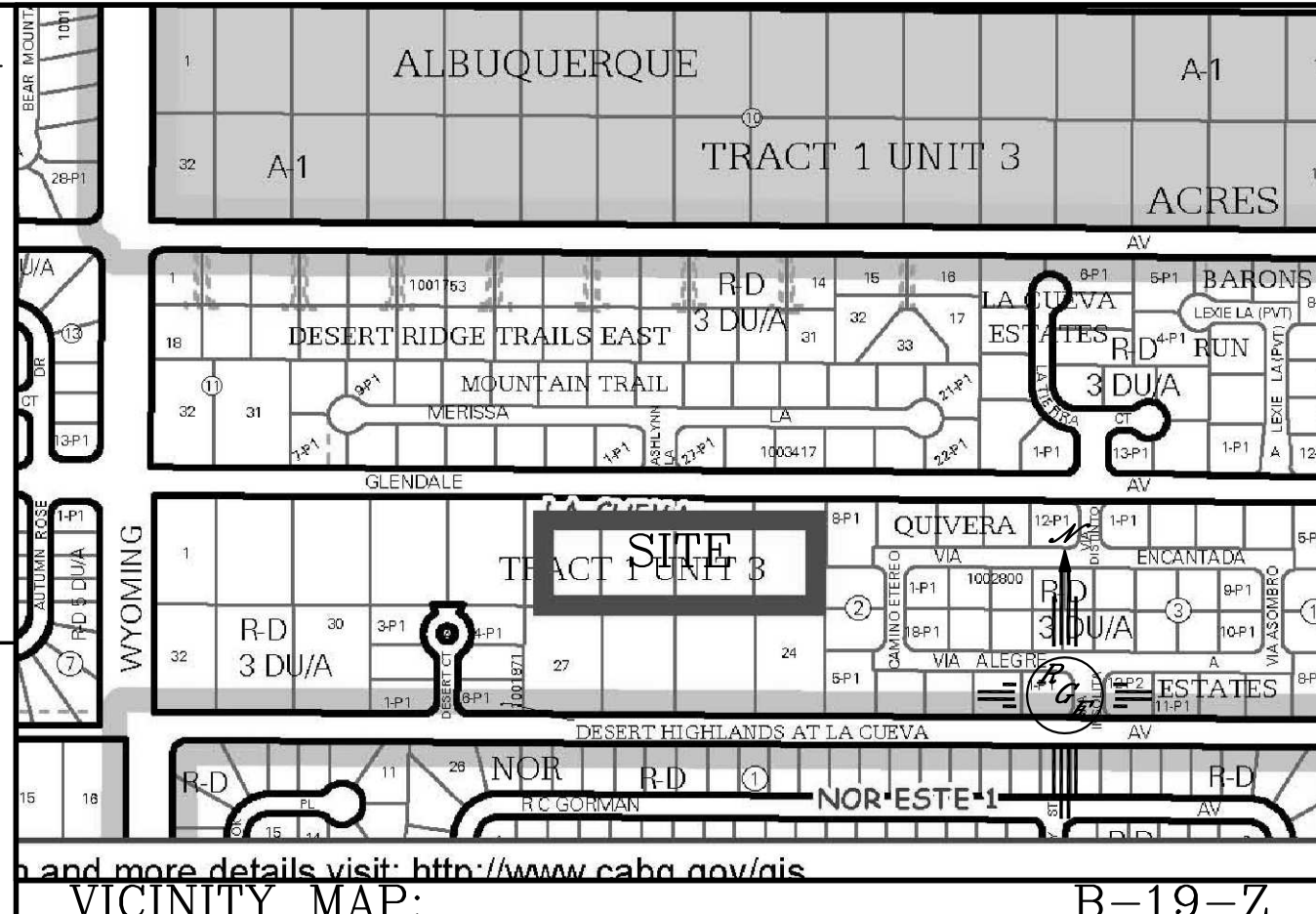
12/16/18

**EROSION CONTROL NOTES:**

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

**LEGAL DESCRIPTION:**

TR. A AND B, THE ESTATES AT GLENDALE



**NOTES:**

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
3. ALL CURB AND GUTTER SHALL BE 4" MOUNTABLE UNLESS OTHERWISE NOTED.
4. THE REAR HALF OF LOT 20, SHALL DRAIN TO CHANNEL IN SW CORNER OF SAID LOT.
5. THE CONTRACTOR SHALL COORDINATE WITH THE LOT OWNERS TO THE SOUTH PRIOR TO OFFSITE GRADING ACTIVITY.
6. LOT 17,18,19 WILL REQUIRED CROSS LOT DRAINAGE EASEMENTS AT TIME OF PLATTING.
7. LOT 20 WILL NEED CROSS LOT DRAINAGE EASEMENT FOR BENFIT OF LOT 25 AT TIME OF PLATTING.
8. LOT 21 WILL NEED CROSS LOT DRAINAGE EASEMENT FOR BENFIT OF LOT 24 AT TIME OF PLATTING.

**LEGEND**

- 5414 --- EXISTING CONTOUR
- 5415 --- EXISTING INDEX CONTOUR
- 5414 --- PROPOSED CONTOUR
- 5415 --- PROPOSED INDEX CONTOUR
- 5415 --- SLOPE TIE
- 5415 --- EXISTING SPOT ELEVATION
- 5415 --- PROPOSED SPOT ELEVATION
- 5415 --- BOUNDARY
- 5415 --- CENTERLINE
- 5415 --- RIGHT-OF-WAY
- 5415 --- PROPOSED DRAINAGE EASEMENT
- 5415 --- PROPOSED STANDARD CURB AND GUTTER
- 5415 --- EXISTING CURB AND GUTTER
- 5415 --- PROPOSED SCREEN WALL (18" MAX RETAINAGE)
- 5415 --- PROPOSED RETAINING WALL (HEIGHT VARIES-DESIGN BY OTHERS)
- 5415 --- EXISTING SCREEN WALL

ENGINEER'S SEAL  4/28/18 DAVID SOULE P.E. #14522	ESTATES AT GLENDALE UNIT 3	DRAWN BY: WCUJ DATE: 1-18-17 21425-LAYOUT-1-25-18
	GRADING AND DRAINAGE PLAN	SHEET # 3
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	JOB # 21425