

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



October 11, 2016

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Richard J. Berry, Mayor

**RE: Estates at Glendale Unit 2 - 7900 Glendale (File: B19D027)
Pad Certification for plat lots 2, 3, and 4 (Lots 10, 11, and 12 per G&D)
Grading and Drainage Plan, Engineer's Stamp Date 4-29-16
Certification dated 9-29-2016**

Dear Mr. Soule:

Based upon the information provided in your Certification received 10-3-2016, the above referenced Certification is acceptable for Building Pad Certification for Lots 2, 3, and 4 (10, 11, and 12 per G&D) with the following conditions:

- Prior to Final Plat, Private cross lot easements on Lots 1,2, 3 (9,10,11 per G&D) for the benefit of Lots 2,3, and 4 (10, 11, 12) – to be maintained by said lots.
- Provide erosion control in the temporary swale to the SW culvert on Glendale.
- Ensure that drainage cannot enter Unit 1 walkway thru gate until Retaining Wall is built. (Temp. Sand bags in place, but ensure this is maintained)
- Screen/garden walls between lots 2,3, and 4 (or 10,11, and 12 on G&D plan) must have an overturned block. G&D only notes an opening between Lots 9&10.
- Since cross-lot drainage was not a part of the approved Drainage Plan, provide gutters to direct roof drainage to the front of lots for Lots 3 and 4 (11,12).

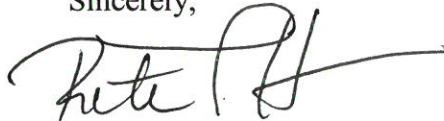
Prior to Pad Certification for Lot 1 (Lot 9 per G&D) , the double retaining wall must be built with the opening in the wall to discharge to the SW Culvert per Section C-C of Grading Plan. Rip-rap to culvert must also be in place.

Prior to Pad Certification for Lot 13, 14,15,16 (Lot 5, 6, 7,8 per G&D) , the double retaining wall must be built.

The Bottom of wall elevations at the rear of Lots 6 and 7 (14, 15) were raised on the Glendale Unit 3 grading plan and approved per that plan. The Engineers Certified plan for these lots need to reflect the this change. Provide gutters to direct roof drainage to the front of these lots, since there is little to no slope across the rear yards.

If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita Harmon", with a long horizontal flourish extending to the right.

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file

c.pdf: Miranda, Rachel; Cordova, Camille C.; Sandoval, Darlene M.; Blocker, Lois



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

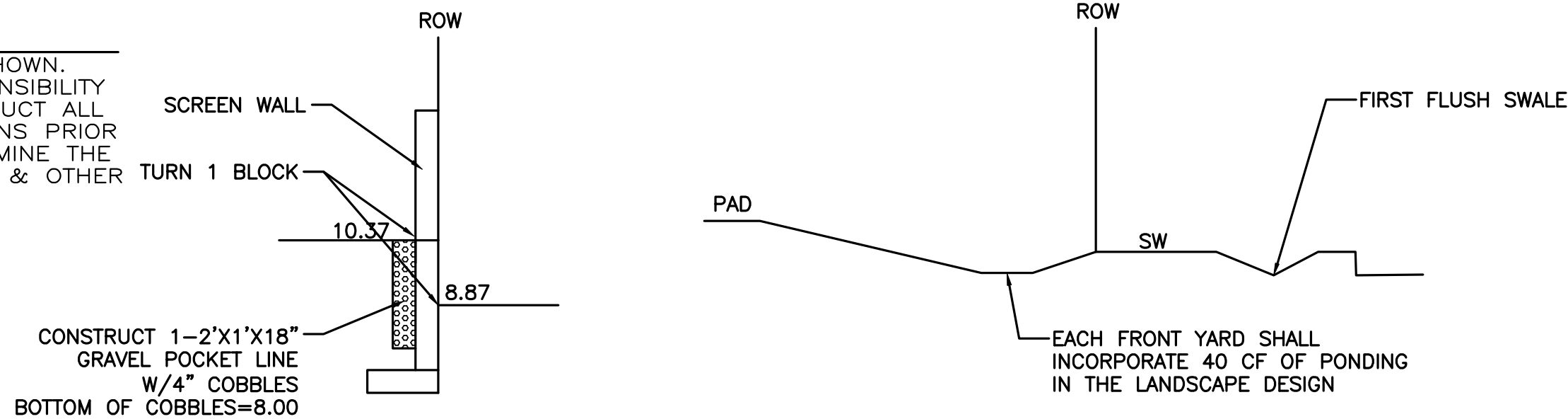
- ☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/**PAD CERTIFICATION**
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

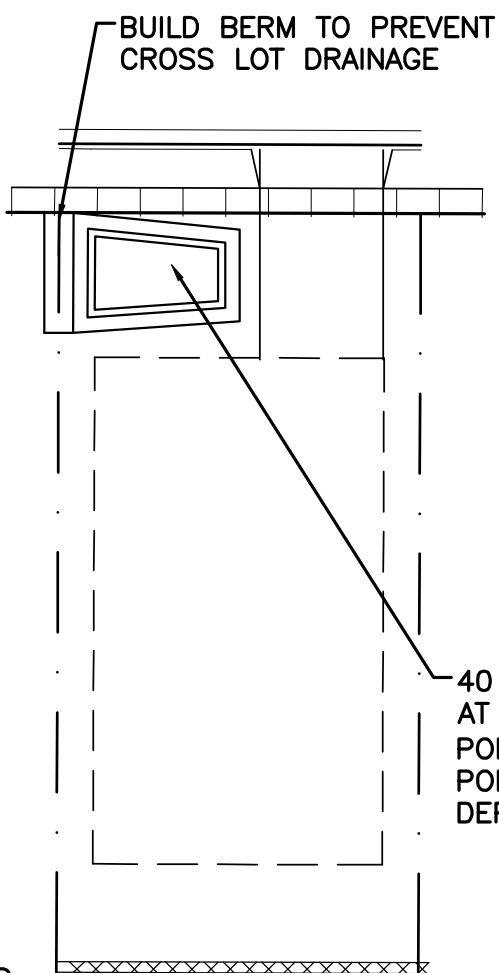
COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN.
IT SHALL BE THE SOLE RESPONSIBILITY
OF THE CONTRACTOR TO CONDUCT ALL
NECESSARY FIELD INVESTIGATIONS PRIOR
TO ANY EXCAVATION TO DETERMINE THE
ACTUAL LOCATION OF UTILITIES & OTHER
IMPROVEMENTS.



EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



40 CF POND, TO BE CONSTRUCTED AT FINAL LANDSCAPE, POND BOTTOM SHALL BE 4' WIDE, 20' LONG , 6" DEEP. POND SHALL BE CREATED BY BERM AND OR DEPRESSION, DEPENDING ON LANDSCAPE DESIGN

BUILD 1-SIDEWALK CULVERT complete
PER COA STD DWG #2236
TACK WELD BOLTS
INV IN=5419.86
INV @ CURB=5419.76
EXTEND 2' PAST EX. SW

BUILD 6" RIP RAP CHANNEL
TO SW CULVERT
TO BE 6" FRACTURED ROCK-HAND PLACED

TYPICAL WATER HARVETING AREAS

NTS

GLENDALE AVE NE.

I David Soule, NMPE 14522, of the firm Rio Grande Engineering, hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intend of the approved plan dated 4/29/16 The record information edited on the original design document has performed by me or under my direct supervision and is true and correct to the best of my knowledge and belief. The as-built survey was provided DAVID ACOSTA NMPS 21082. The certification is submitted in support of a request for Pad certification for building permit release. The record information presented heron is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



9/29/16

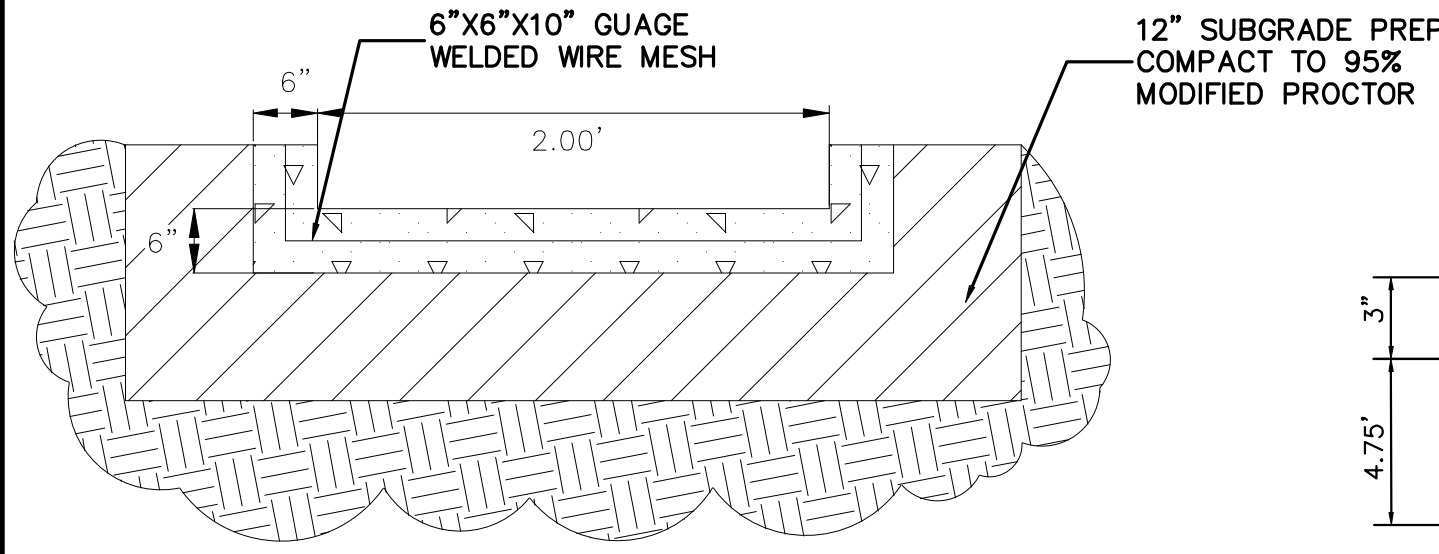
LIMITS OF CONSTRUCTION FOR PHASE 2, PHASE 3 SHOWN FOR REFERENCE ONLY

EX. FENCE SHALL BE REPLACED W/WALL

ACS CONTROL STATION 1_B20
N 1524154.945 E
1550483.349 NEW MEXICO
STATE PLANE CENTRAL ZONE
G-G= 0.999651137
DELTA-ALPHA= -00°10'
24.45° NAD 1983

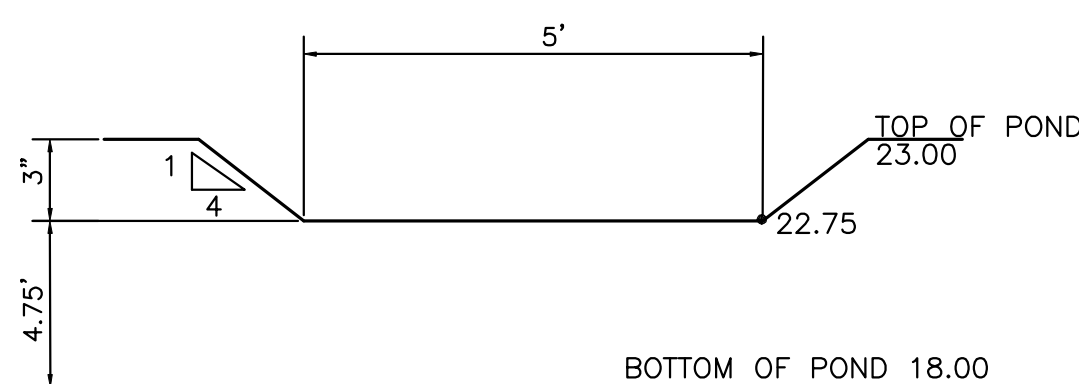
CONCRETE CHANNEL DETAIL

NTS



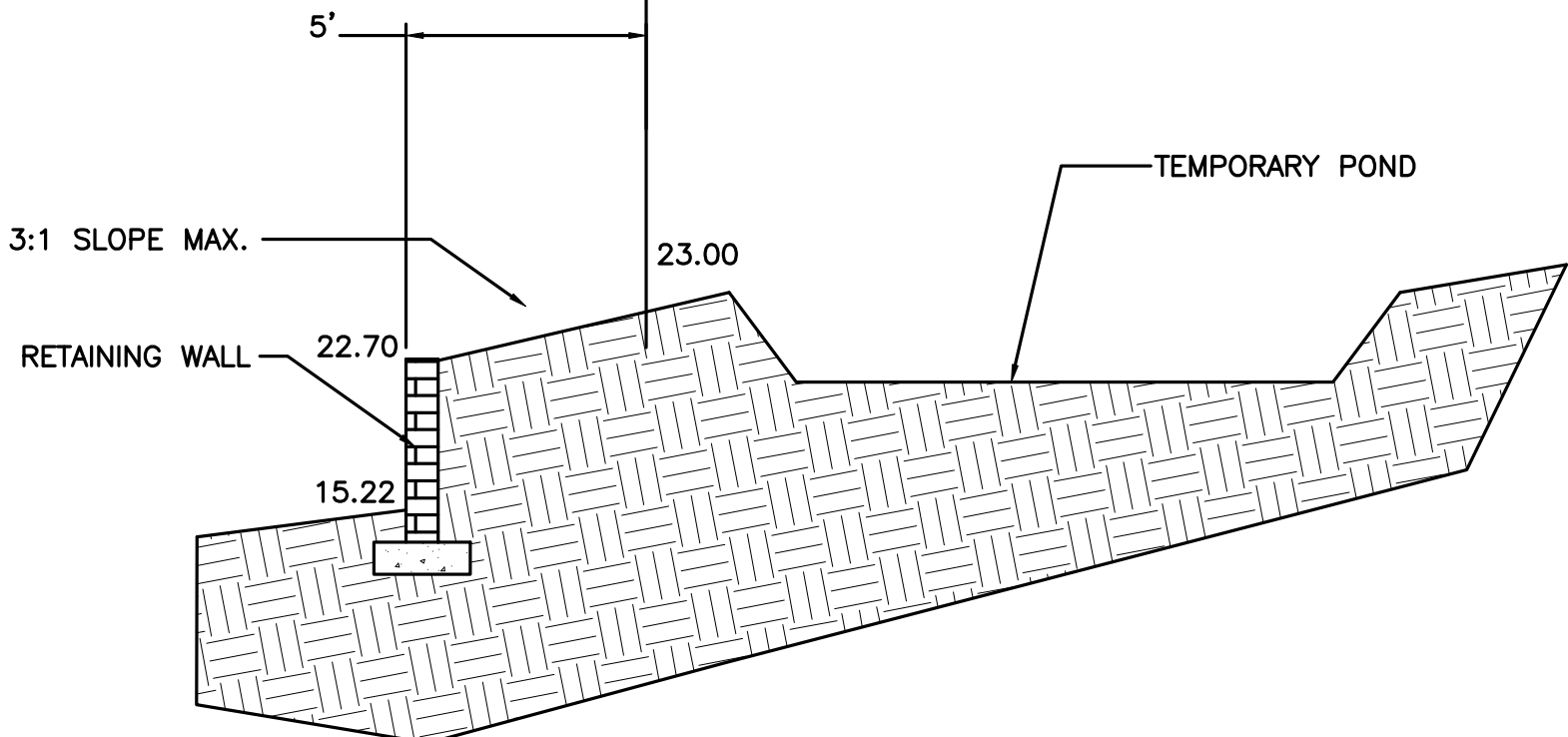
EMERGENCY OVERFLOW DETAIL

NTS



SECTION A-A

NTS



 4/29/16 DAVID SOULE P.E. #14522	ESTATES AT GLENDALE UNIT 2 AND UNIT 3		DRAWN BY WCVJ
	GRADING AND DRAINAGE PLAN		DATE 3-31-16
	 Rio Grande Engineering 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0898		21425-LAYOUT-12-18-14
			SHEET # — JOB # 21425