



April 1, 2016

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Richard J. Berry, Mayor

**RE: Estates at Glendale Unit 2
Drainage Report and Grading and Drainage Plan
Engineer's Stamp Date 3-23-16 (File: B19D027)**

Dear Mr. Soule:

Based upon the information provided in your submittal received 3-24-16, the above referenced submittal cannot be approved for ESC Permit (Grading Permit) until the following comments are addressed:

1. An approved ESC plan is required for ESC Permit.
2. Provide a Benchmark on the plan.
3. Lot 12 SW Corner: Show the existing channel in the SW corner that was built by the previous development. Show ToChannel elevation, and the FG adjacent to the channel. (Show that flows can enter channel)
4. Lot 12: SW corner: The Previous plans shows that the channel is 3.33' wide (the note says 2'), and so the opening in the West wall should be the same. The note leader needs to point to the opening in the WEST wall, stating that the opening is to remain, and should state that flows from both Lot 12 and from the Lot to the South are to be accepted.
5. Lot 12 SW corner: The Previous plans show that a 3.33'x0.67' opening with a steel grate was provided in the existing wall for the Lot to the south to discharge through. Indicate that this opening is to remain. There needs to be a second note stating that the opening is to remain to accept flows from the Lot to the South.
6. First Flush ponds are shown in Section B-B, however, show a depth. Also show in the plan view the approximate location and area of pond needed to capture 40cfs as stated in Section B-B. Show first flush calculation.
7. The SW Culvert at NW corner of site shifted East, but elevations remained unchanged. Verify elevations on the Work Order.
8. Lot 9: Overlapping text of TW elevations with existing contour label.
9. Fade back existing contours.
10. Show how overflow from pond will discharge to the SW Culvert.
11. Lot 13 South Wall: provide a series of evenly spaced block opening that would allow 4.49 cfs to flow through rather than 1 location of 5 overturned blocks.

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12. The 1.31 cfs should enter thru overturned blocks on South wall, on undeveloped site. Move location of overturned blocks slightly east so that flows from that site can enter.
13. Detail and dimension channel that will allow the 1.31 cfs from offsite flows along with the 4.49 cfs to flow to the SW culvert at the end of the cul-de-sac.
14. Call out and the number and width of SW culverts needed at end of cul-de-sac.
15. No revised report submitted.
16. No pond volume calculations submitted. Please submit.
17. Add to the Legend the hatch pattern used for existing Retaining Walls. Is the existing south wall a screen wall? If so, it does not match the screen wall hatch pattern.
18. If there is to be "recontouring" on the lots to the south, then show on the plan and add the following note: CONTRACTOR MUST COORDINATE GRADING ON OFFSITE LOTS WITH NEIGHBOR(S) TO THE SOUTH PRIOR TO BEGINNING WORK
19. Note the type of Curb and Gutter on the plan, and the extents of the different types. Is it Standard Curb and Gutter. Note so in the Legend.

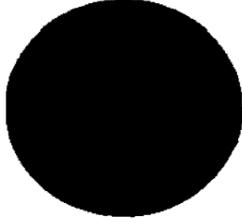
If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita P.H.", with a long horizontal line extending to the right.

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf: via Email: Recipient



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: THE ESTATES AT GLENDALE UNIT 2 SUBDIVISION Building Permit #: _____ City Drainage #: B19D027
 DRB#: 1008656 EPC#: _____ Work Order#: _____
 Legal Description: TRACTS A AND B GLENDALE ESTATES
 City Address: UNADDRESSED LOT ON GLENDALE BETWEEN WYOMING AND BARSTOW

Engineering Firm: RIO GRANDE ENGINEERING Contact: DAVID SOULE
 Address: PO BOX 93924, ALBUQUERQUE, NM 87199
 Phone#: 505.321.9099 Fax#: 505.872.0999 E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: ASHTON HOMES, LLC Contact: _____
 Address: 3519 CAMPBELL FARM LANE ALB, NM 87401
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: none Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:
 HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION
 MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
 BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:
 ENGINEER/ ARCHITECT CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE MASTER PLAN
 DRAINAGE REPORT
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 EROSION & SEDIMENT CONTROL PLAN (ESC)

PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR

OTHER (SPECIFY) _____

PRE-DESIGN MEETING
 OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 3/23/16 By: _____

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____



Richard J. Berry, Mayor

February 5, 2016

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

RE: **Estates at Glendale Unit 2**
Drainage Report and Grading and Drainage Plan
Engineer's Stamp Date 12-28-15 (File: B19D027)

Dear Mr. Soule:

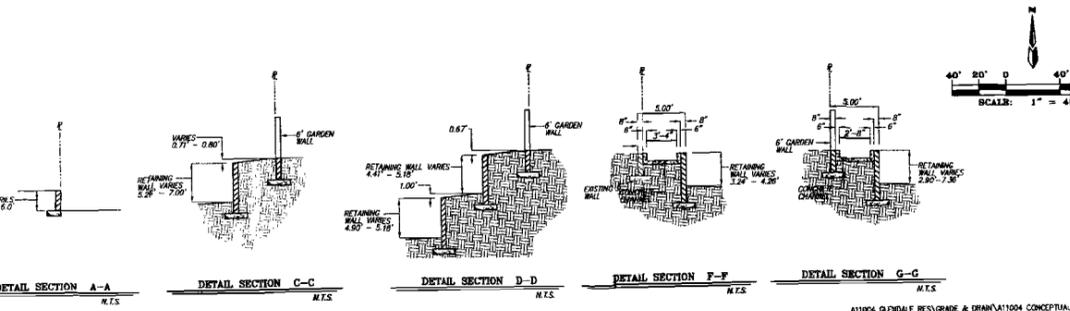
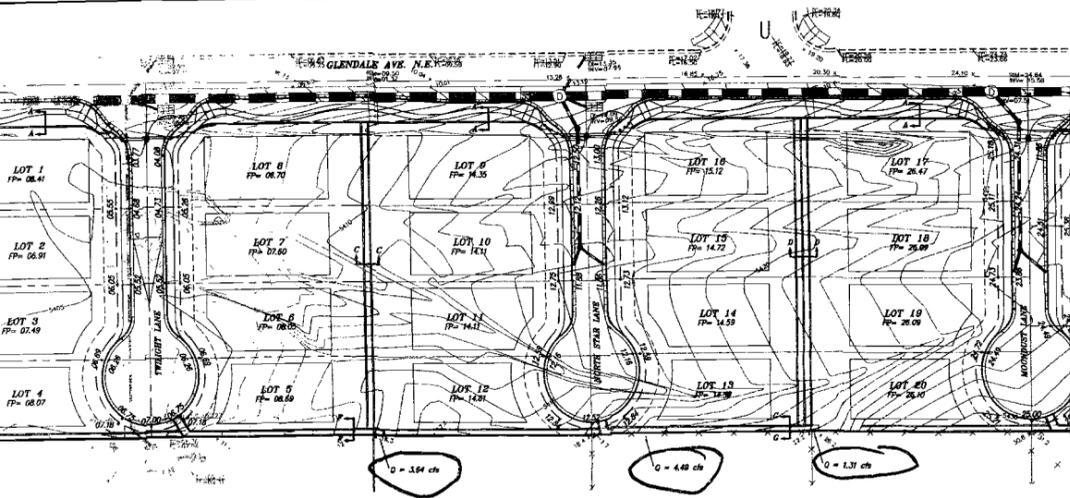
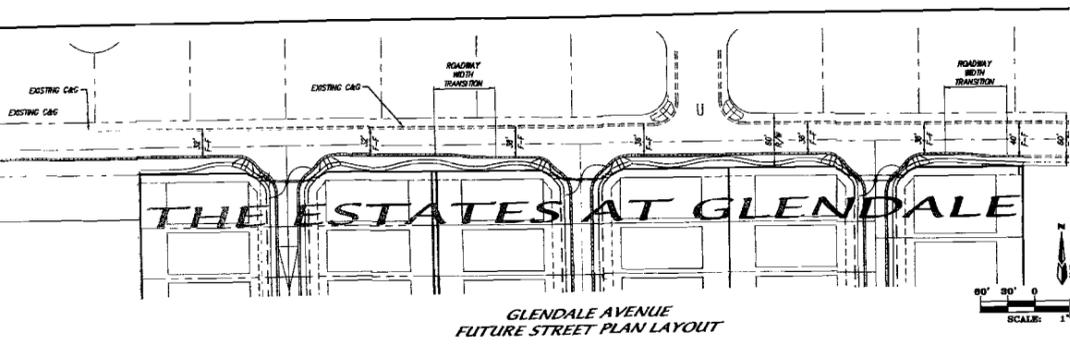
Based upon the information provided in your submittal received 12-29-15, the above referenced submittal is approved for action by the DRB on the Preliminary Plat.

The Grading and Drainage Plans cannot be approved for Grading Permit until the following comments are addressed:

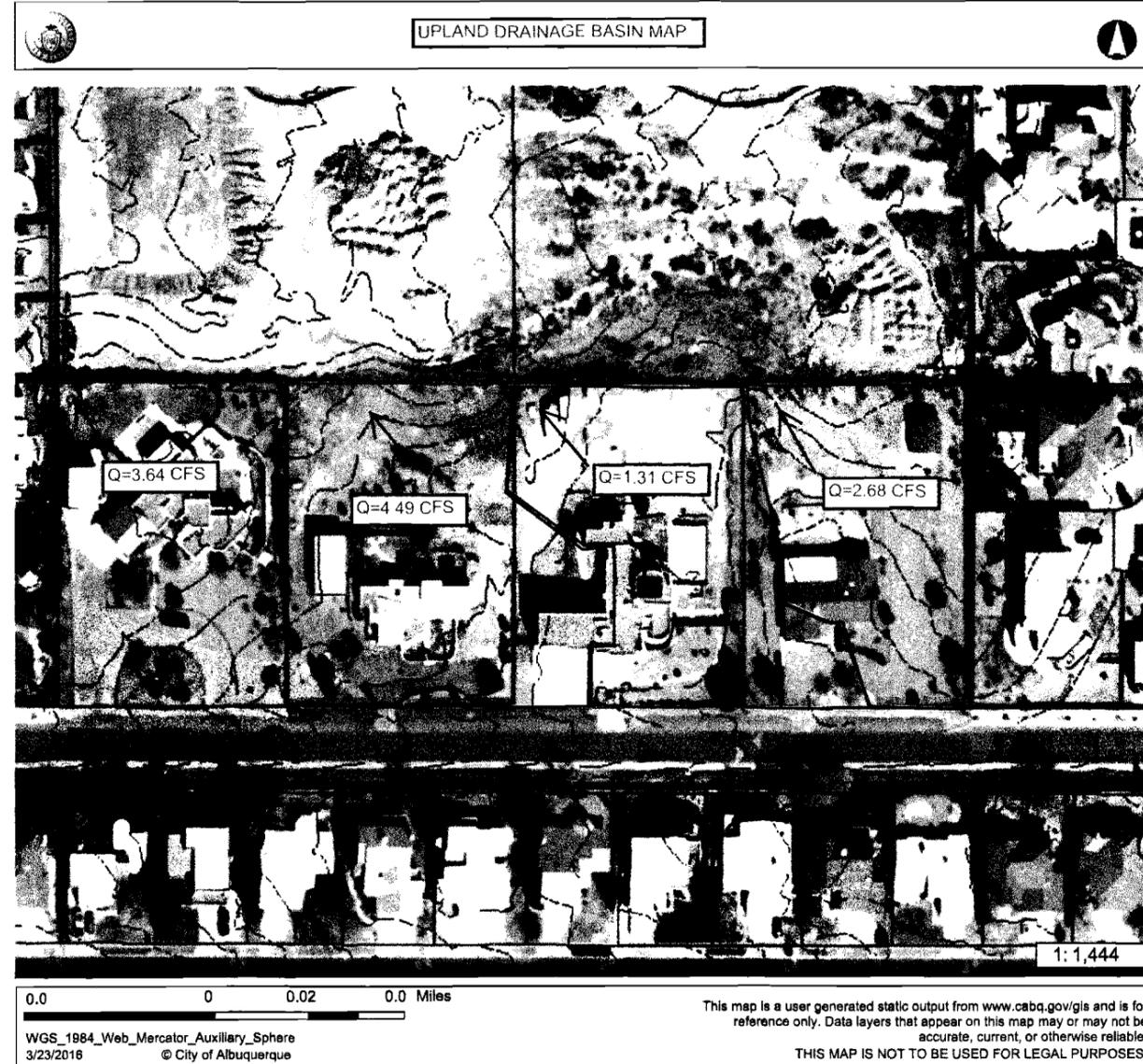
- PO Box 1293
Albuquerque
New Mexico 87103
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1. Submit an ESC plan to Curtis Cheme for approval. we have submitted
 2. Provide a Benchmark. we have added bench
 3. Section A-A, show Property Line at Center of wall. we have centered wall
 4. Back yard ponding is not allowed as homeowners can eventually fill in. First flush ponds should be in the front. Revise report to state this. we have removed ponds
 5. Lot 10 discharges to Lot 9 via a turned block in side wall. Correct leader to point to sidewall. we have corrected
 6. Call out a curb cut on existing channel, so that rear of lot 12 can discharge to channel. we have added note
 7. Shift the SW culverts on Glendale to the west so that Lot 9 and pond will drain to them. We have moved and added wall drain section.
 8. The wall elevations along the western boundary are marked as either TW or BW, but per our conversation, those elevations are FG (finished grade) elevations on the eastern side of the existing retaining wall, which has a garden wall on top. Therefore,
 - a. Call out existing retaining wall supporting an existing garden wall added
 - b. Change the abbreviations to FG for the elevations on the western side of wall. modified
 9. Show the offsite basins on an offsite basins map. They should match those shown on the Mark Goodwin & Associates (MG&A) plan (stamped 7/13/12) that show the offsite boundaries and flows. ADDED MGA MAP AND MATCHING FLOWS
 10. Since offsite basin (109 from MG&A) to drain thru 5 overturned blocks in wall. However, 5 adjacent blocks cannot be overturned to discharge into SW culvert. There must be some length of wall between overturned blocks (about 6'). Provide a series of overturned blocks, and provide a means to direct the flows to the cul-de-sac. WE HAVE SPREAD BLOCKS OUT, THEY WILL DISCHARGE TO THE CHANNEL THAT CONVEYS FLOWS

B19D027_PP_Appr2.doc

of 2



A11004 GLENDALE RESURFIDE & DRAIN\A11004 CONCEPTUAL



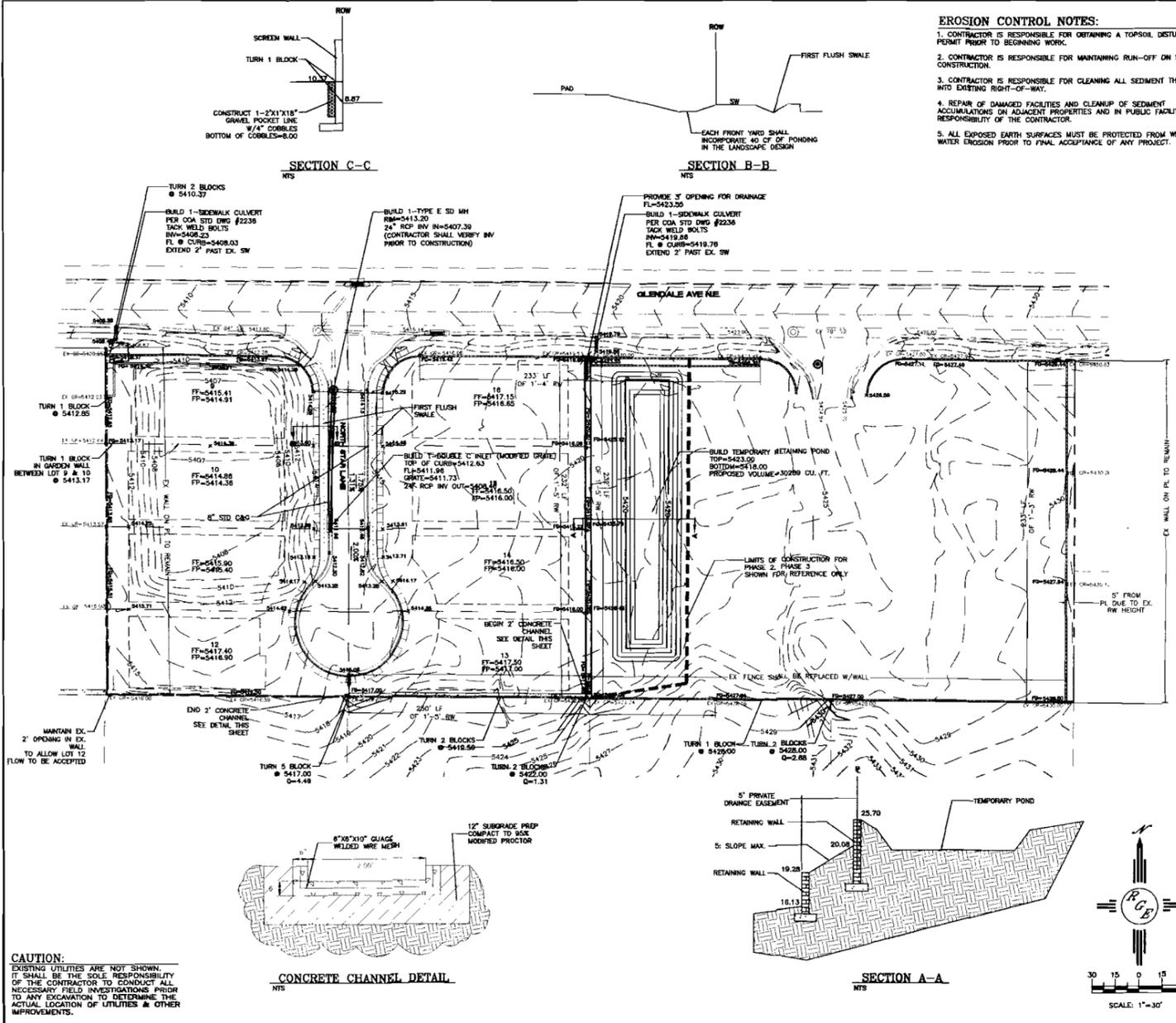
WGS_1984_Web_Mercator_Auxillary_Sphere
3/23/2018 © City of Albuquerque

This map is a user generated static output from www.cabq.gov/gis and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
THIS MAP IS NOT TO BE USED FOR LEGAL PURPOSES

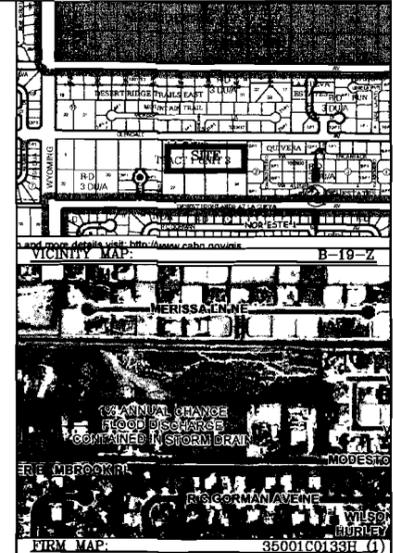
Legend

- City Parcels
- Municipal Limits**
 - Corrales
 - Edgewood
 - Los Ranchos
 - Rio Rancho
 - Tijeras
 - UNINCORPORATED
- World Street Map

Notes



- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



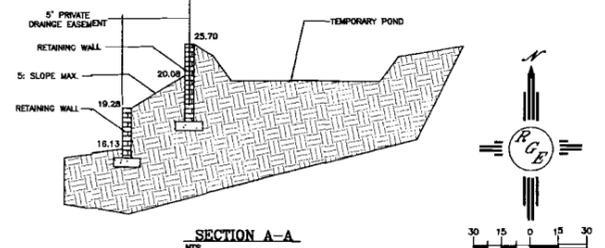
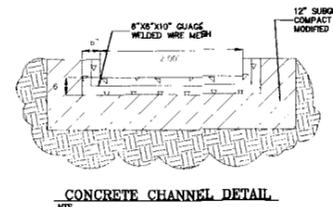
LEGAL DESCRIPTION:
TR. A AND B, THE ESTATES AT GLENDALE

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOE LINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL RETAINING WALL DESIGN SHALL BE BY OTHERS.
 3. ALL CURB AND GUTTER SHALL BE 8" STANDARD UNLESS OTHERWISE NOTED.

LEGEND

---	EXISTING CONTOUR
- - - -	EXISTING INDEX CONTOUR
---	PROPOSED CONTOUR
---	PROPOSED INDEX CONTOUR
---	SLOPE TE
x	EXISTING SPOT ELEVATION
x	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	PROPOSED DRAINAGE EASEMENT
---	PROPOSED CURB AND GUTTER
---	EXISTING CURB AND GUTTER
---	PROPOSED SCREEN WALL (16" MAX RETAINAGE)
---	PROPOSED RETAINING WALL (HEIGHT VARIES-DESIGN BY OTHERS)
---	EXISTING SCREEN WALL

CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



	ESTATES AT GLENDALE UNIT 2 AND UNIT 3	DRAWN BY MCM
	GRADING AND DRAINAGE PLAN	DATE 10-19-15
3/25/16		SHEET # ---
DRAWN SCALE P.L. # 14522		JOB # 21422