



April 1, 2016

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Richard J. Berry, Mayor

**RE: Estates at Glendale Unit 2
Drainage Report and Grading and Drainage Plan
Engineer's Stamp Date 3-23-16 (File: B19D027)**

Dear Mr. Soule:

Based upon the information provided in your submittal received 3-24-16, the above referenced submittal cannot be approved for ESC Permit (Grading Permit) until the following comments are addressed:

1. An approved ESC plan is required for ESC Permit.
2. Provide a Benchmark on the plan.
3. Lot 12 SW Corner: Show the existing channel in the SW corner that was built by the previous development. Show ToChannel elevation, and the FG adjacent to the channel. (Show that flows can enter channel)
4. Lot 12: SW corner: The Previous plans shows that the channel is 3.33' wide (the note says 2'), and so the opening in the West wall should be the same. The note leader needs to point to the opening in the WEST wall, stating that the opening is to remain, and should state that flows from both Lot 12 and from the Lot to the South are to be accepted.
5. Lot 12 SW corner: The Previous plans show that a 3.33'x0.67' opening with a steel grate was provided in the existing wall for the Lot to the south to discharge through. Indicate that this opening is to remain. There needs to be a second note stating that the opening is to remain to accept flows from the Lot to the South.
6. First Flush ponds are shown in Section B-B, however, show a depth. Also show in the plan view the approximate location and area of pond needed to capture 40cfs as stated in Section B-B. Show first flush calculation.
7. The SW Culvert at NW corner of site shifted East, but elevations remained unchanged. Verify elevations on the Work Order.
8. Lot 9: Overlapping text of TW elevations with existing contour label.
9. Fade back existing contours.
10. Show how overflow from pond will discharge to the SW Culvert.
11. Lot 13 South Wall: provide a series of evenly spaced block opening that would allow 4.49 cfs to flow through rather than 1 location of 5 overturned blocks.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

12. The 1.31 cfs should enter thru overturned blocks on South wall, on undeveloped site. Move location of overturned blocks slightly east so that flows from that site can enter.
13. Detail and dimension channel that will allow the 1.31 cfs from offsite flows along with the 4.49 cfs to flow to the SW culvert at the end of the cul-de-sac.
14. Call out and the number and width of SW culverts needed at end of cul-de-sac.
15. No revised report submitted.
16. No pond volume calculations submitted. Please submit.
17. Add to the Legend the hatch pattern used for existing Retaining Walls. Is the existing south wall a screen wall? If so, it does not match the screen wall hatch pattern.
18. If there is to be "recontouring" on the lots to the south, then show on the plan and add the following note: CONTRACTOR MUST COORDINATE GRADING ON OFFSITE LOTS WITH NEIGHBOR(S) TO THE SOUTH PRIOR TO BEGINNING WORK
19. Note the type of Curb and Gutter on the plan, and the extents of the different types. Is it Standard Curb and Gutter. Note so in the Legend.

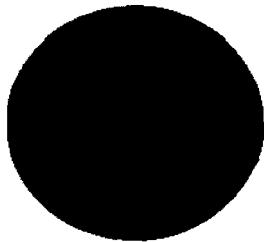
If you have any questions, you can contact me at 924-3695.

Sincerely,

A handwritten signature in black ink, appearing to read "Rita P.H.", with a long horizontal stroke extending to the right.

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf: via Email: Recipient



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: THE ESTATES AT GLENDALE UNIT 2 SUBDIVISION

Building Permit #:

City Drainage #: B19D027

DRB#: 1008656

EPC#:

Work Order#:

Legal Description: TRACTS A AND B GLENDALE ESTATES

City Address: UNADDRESSED LOT ON GLENDALE BETWEEN WYOMING AND BARSTOW

Engineering Firm: RIO GRANDE ENGINEERING

Contact: DAVID SOULE

Address: PO BOX 93924, ALBUQUERQUE, NM 87199

Phone#: 505.321.9099

Fax#: 505.872.0999

E-mail: DAVID@RIOGRANDEENGINEERING.COM

Owner: ASHTON HOMES, LLC

Contact:

Address: 3519 CAMPBELL FARM LANE ALB, NM 87401

Phone#:

Fax#:

E-mail:

Architect: none

Contact:

Address:

Phone#:

Fax#:

E-mail:

Other Contact:

Contact:

Address:

Phone#:

Fax#:

E-mail:

Check all that Apply:

DEPARTMENT:

☒ HYDROLOGY/ DRAINAGE

☐ TRAFFIC/ TRANSPORTATION

☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☐ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL

☐ CERTIFICATE OF OCCUPANCY

☒ PRELIMINARY PLAT APPROVAL

☒ SITE PLAN FOR SUB'D APPROVAL

☐ SITE PLAN FOR BLDG. PERMIT APPROVAL

☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE

☐ FOUNDATION PERMIT APPROVAL

☒ GRADING PERMIT APPROVAL

☐ SO-19 APPROVAL

☐ PAVING PERMIT APPROVAL

☐ GRADING/ PAD CERTIFICATION

☐ WORK ORDER APPROVAL

☐ CLOMR/LOMR

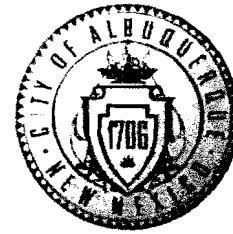
☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY)

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: 3/23/16 By:

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:



February 5, 2016

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM 87199

Richard J. Berry, Mayor

RE: **Estates at Glendale Unit 2**
Drainage Report and Grading and Drainage Plan
Engineer's Stamp Date 12-28-15 (File: B19D027)

Dear Mr. Soule:

Based upon the information provided in your submittal received 12-29-15, the above referenced submittal is approved for action by the DRB on the Preliminary Plat.

The Grading and Drainage Plans cannot be approved for Grading Permit until the following comments are addressed:

- PO Box 1293
- Albuquerque
- New Mexico 87103
- www.cabq.gov
1. Submit an ESC plan to Curtis Cheme for approval. we have submitted
 2. Provide a Benchmark. we have added bench
 3. Section A-A, show Property Line at Center of wall. we have centered wall
 4. Back yard ponding is not allowed as homeowners can eventually fill in. First flush ponds should be in the front. Revise report to state this. we have removed ponds
 5. Lot 10 discharges to Lot 9 via a turned block in side wall. Correct leader to point to sidewall. we have corrected
 6. Call out a curb cut on existing channel so that rear of lot 12 can discharge to channel. we have added note
 7. Shift the SW culverts on Glendale to the west so that Lot 9 and pond will drain to them. We have moved and added wall drain section
 8. The wall elevations along the western boundary are marked as either TW or BW, but per our conversation, those elevations are FG (finished grade) elevations on the eastern side of the existing retaining wall, which has a garden wall on top. Therefore,
 - a. Call out existing retaining wall supporting an existing garden wall added
 - b. Change the abbreviations to FG for the elevations on the western side of wall. modified
 9. Show the offsite basins on an offsite basins map. They should match those shown on the Mark Goodwin & Associates (MG&A) plan (stamped 7/13/12) that show the offsite boundaries and flows. ADDED MGA MAP AND MATCHING FLOWS
 10. Since offsite basin (109 from MG&A) to drain thru 5 overturned blocks in wall. However, 5 adjacent blocks cannot be overturned to discharge into SW culvert. There must be some length of wall between overturned blocks (about 6'). Provide a series of overturned blocks, and provide a means to direct the flows to the cul-de-sac. WE HAVE SPREAD BLOCKS OUT, THEY WILL DISCHARGE TO THE CHANNEL THAT CONVEYS FLOWS

of 2

B19D027_PP_Appr2.doc

