

# CITY OF ALBUQUERQUE



September 7, 2016

Richard J. Berry, Mayor

Diane Hoelzer, P.E.  
Mark Goodwin & Associates, P.A.  
P.O. Box 90606  
Albuquerque, NM, 87199

**RE: Desert Ridge Pointe Subdivision  
Grading & Drainage Report/Plan  
Engineer's Stamp Date 9-6-2016  
Report Dated 8-29-2016 (File: B19D028)**

Dear Ms. Hoelzer:

Based upon the information provided in your submittal received 8-29-2016, the above referenced Grading & Drainage Plan and Report is approved for Preliminary Plat and ESC Grading Permit.

Prior to Pad Certification and/or Release of Financial Guarantee approval, Engineer Certification per the DPM checklist will be required.

PO Box 1293

If you have any questions, you can contact me at 924-3986.

Albuquerque

Sincerely,

New Mexico 87103

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

Orig: Drainage file



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Desert Ridge Pointe Subdivision Building Permit #: \_\_\_\_\_ City Drainage #: B19 / E028  
DRB#: 1010809 EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: Lots 31 and 32, Block 11, Tract 1, Unit 3, N.A.A.  
City Address: Glendale Avenue, West of Wyoming Blvd.

Engineering Firm: MARK GOODWIN AND ASSOCIATES, PA Contact: Diane Hoelzer, PE  
Address: PO BOX 90606, ABQ, NM 87199  
Phone#: 828-2200 Fax#: \_\_\_\_\_ E-mail: diane@goodwinengineers.com

Owner: Scott Schiabor Contact: Trace Salley  
Address: 8300 Carmel Drive NE, Ste 401, ABQ, NM, 87122  
Phone#: 828-9900 Fax#: \_\_\_\_\_ E-mail: trace@scottpatrickhomes.com

Architect: NA Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

- ☒ HYDROLOGY/ DRAINAGE  
☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

### TYPE OF SUBMITTAL:

☐ ENGINEER/ ARCHITECT CERTIFICATION

☐ CONCEPTUAL G & D PLAN

☒ GRADING PLAN

☐ DRAINAGE MASTER PLAN

☒ DRAINAGE REPORT

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ TRAFFIC IMPACT STUDY (TIS)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)

☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DATE SUBMITTED: July 25, 2016 By: Diane Hoelzer, PE

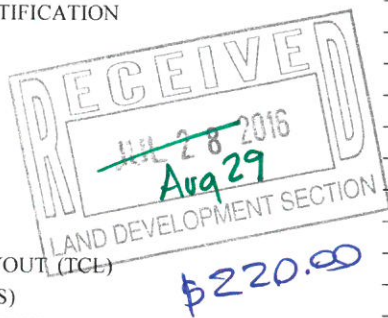
### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY

- ☒ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR

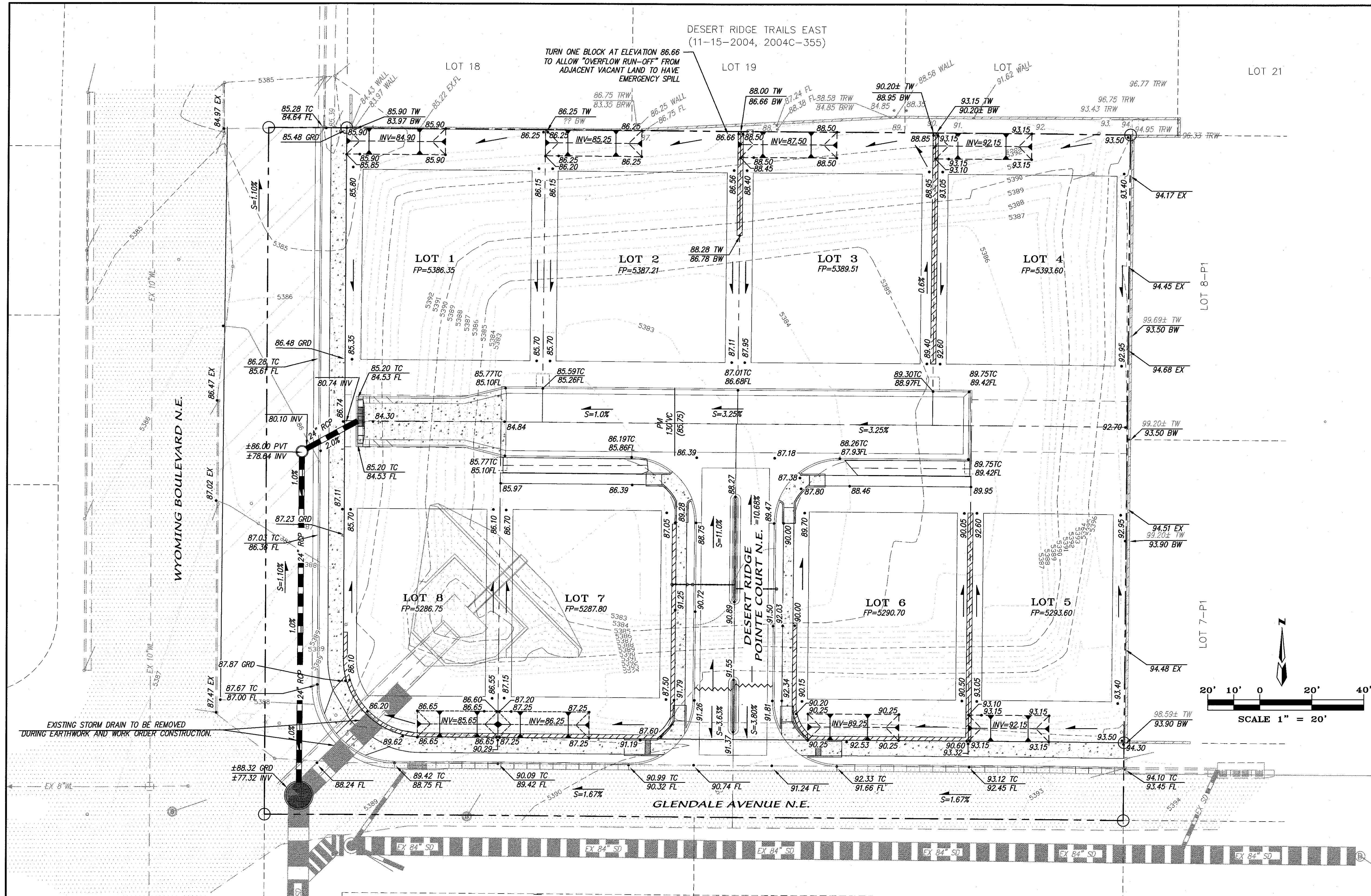
☐ PRE-DESIGN MEETING

☐ OTHER (SPECIFY) \_\_\_\_\_



COA STAFF: \_\_\_\_\_ ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_





HYDROLOGY NOTES

THE PROJECT SITE CONSISTS OF 1.61 ACRES. THE SITE IS NOT IN A 100YR FLOOD ZONE PER MAP 35001C0133H.

THE SITE IS LOCATED WITHIN NORTH ALBUQUERQUE ACRES ON THE CORNER OF WYOMING AND GLENDALE. THE PROJECT SITE SERVED AS A SEDIMENTATION/RETENTION POND FOR THE AREA. HOWEVER, THIS POND WAS ABANDONED AND REPLACED BY A PERMANENT POND ON THE SOUTHEAST CORNER OF GLENDALE AND BARSTOW. IN ADDITION, AN 84" STORM DRAIN WAS CONSTRUCTED IN GLENDALE FROM THE NEW POND TO THE 96" STORM DRAIN IN WYOMING AS PART OF THE "FINAL NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN" PREPARED BY RESOURCE TECHNOLOGY, INC. 10/28/98 TO MANAGE THE FLOWS FOR THIS AREA.

THE PURPOSE OF THIS GRADING PLAN IS TO SUBDIVIDE THE LOTS INTO 8 SINGLE FAMILY RESIDENTIAL UNITS.

THE HYDROLOGY FOR THE PROJECT SITE WAS CALCULATED FOR THE 100 YEAR 6 HOUR STORM EVENT PER COA DPM (ZONE 3) FOR SMALL WATERSHEDS. THE RESULTS ARE SUMMARIZED IN THE HYDROLOGY TABLE.

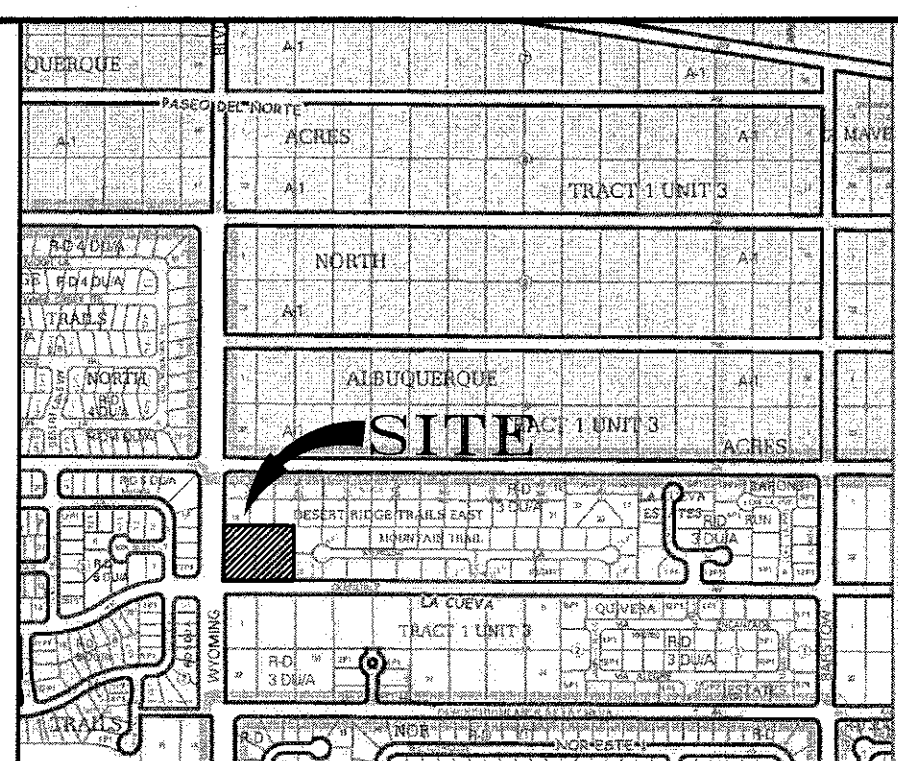
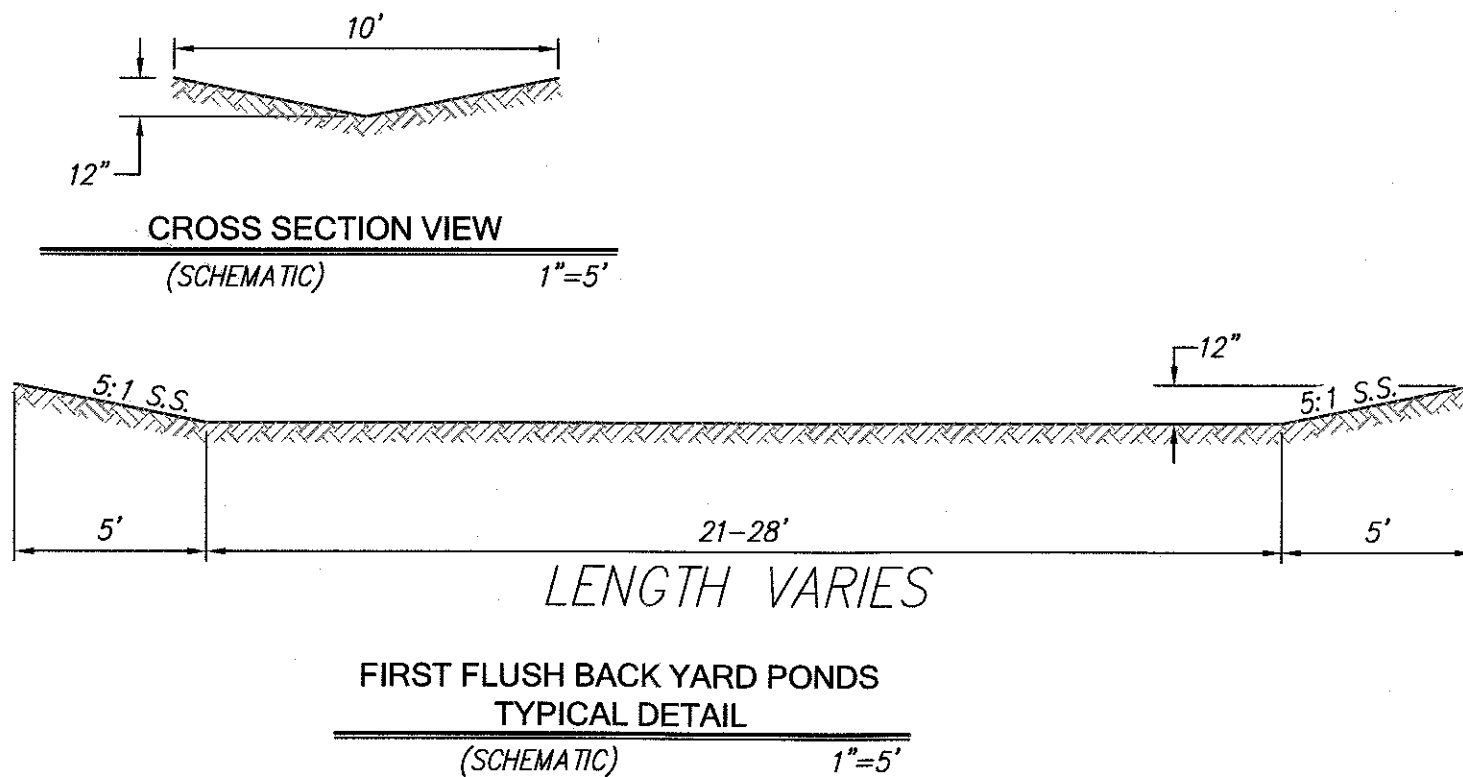
THERE ARE NO OFFSITE FLOWS ENTERING THE SITE.

THE FLOW GENERATED FROM THE SITE IS 5.19cfs. THIS FLOW WILL BE DIRECTED TO DESERT RIDGE POINTE CT AND CAPTURED BY AN INLET. A NEW 24" STORM DRAIN WILL BE CONSTRUCTED TO CONVEY THE RUNOFF ONTO WYOMING BLVD. AS FREE DISCHARGE.

GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

| FIRST FLUSH POND DIMENSIONS |         |
|-----------------------------|---------|
| LOT 1                       | 10'x35' |
| LOT 2                       | 10'x31' |
| LOT 3                       | 10'x38' |
| LOT 4                       | 10'x37' |
| LOT 5                       | 10'x37' |
| LOT 6                       | 10'x37' |
| LOT 7                       | 10'x31' |
| LOT 8                       | 10'x35' |



VICINITY MAP

ZONE ATLAS MAP B-19-Z

LEGAL DESCRIPTION

LOTS 31 AND 32, TRACT 1 UNIT 3  
NORTH ALBUQUERQUE ACRES  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LEGEND

- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING CURB & GUTTER
- EXISTING GATE VALVE
- EXISTING STORMDRAIN MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING STORMDRAIN
- EXISTING WALL
- EXISTING PAVEMENT
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW TRANSITION MOUNTABLE CURB & GUTTER TO STANDARD CURB & GUTTER
- NEW SIDEWALK
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW GARDEN WALL
- NEW RETAINING WALL
- NEW SPOT ELEVATIONS
- EXISTING TOP OF WALL ELEVATIONS
- NEW BOTTOM OF WALL ELEVATIONS
- NEW TOP OF CURB ELEVATIONS
- NEW FLOW LINE ELEVATIONS
- DIRECTION OF FLOW
- NEW SLOPE
- WATERBLOCK
- NEW STORM DRAIN
- NEW STORM DRAIN MANHOLE
- NEW INLET
- NEW WHEELCHAIR RAMP (UNI-DIRECTIONAL)
- NEW WHEELCHAIR RAMP



MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT

DESERT RIDGE POINTE  
CONCEPTUAL GRADING & DRAINAGE PLAN

| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | DATE | MO./DAY/YR. | MO./DAY/YR. |
|-------------------------|------------------------|------|-------------|-------------|
|                         |                        |      |             |             |

| CITY PROJECT NO. | ZONE MAP NO. | SHEET | OF |
|------------------|--------------|-------|----|
|                  | B-19-Z       | 1     | 1  |

*Desert Ridge Pointe Subdivision  
(8 lots)*

*Drainage Management Plan*

*Prepared by  
Mark Goodwin & Associates, P.A.*

*August 2016*







# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

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Address: PO BOX 90606, ABQ, NM 87199  
Phone#: 828-2200 Fax#: \_\_\_\_\_ E-mail: diane@goodwinengineers.com

Owner: Scott Schiabor Contact: Trace Salley  
Address: 8300 Carmel Drive NE, Ste 401, ABQ, NM, 87122  
Phone#: 828-9900 Fax#: \_\_\_\_\_ E-mail: trace@scottpatrickhomes.com

Architect: NA Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Other Contact: \_\_\_\_\_ Contact: \_\_\_\_\_  
Address: \_\_\_\_\_  
Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

Check all that Apply:

### DEPARTMENT:

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☐ TRAFFIC/ TRANSPORTATION  
☐ MS4/ EROSION & SEDIMENT CONTROL

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☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☒ DRAINAGE REPORT  
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☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)  
☐ OTHER (SPECIFY) \_\_\_\_\_

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

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☐ CERTIFICATE OF OCCUPANCY  
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☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
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☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ PRE-DESIGN MEETING  
☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: August 29, 2016 By: Diane Hoelzer, PE

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

# DESERT RIDGE POINTE SUBDIVISION

## Table of Contents

*Revision letter dated August 26, 2016*  
*Hydrology Comment letter dated May 19, 2016*  
*Response letter dated July 23, 2016*

- I. PROJECT DESCRIPTION
- II. DESIGN CRITERIA AND PREVIOUS REPORTS
- III. EXISTING DRAINAGE CONDITIONS
- IV. DEVELOPED DRAINAGE CONDITIONS
- V. FIRST FLUSH PONDS

FIGURE 1 Vicinity Map  
FIGURE 2 Aerial Google Earth Map  
Infrastructure Lists  
Preliminary Plat  
Grading Plan  
Topographic Survey

APPENDIX A HYDROLOGY/HYDRAULICS  
First Flush Calculations  
Inlet Sump Calculation  
AHYMO file  
24" Storm Pipe Flow Chart  
Driveway Rundown Capacity Exhibit

POCKET 1 GRADING AND DRAINAGE PLAN  
PRELIMINARY PLAT



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

August 26, 2016

Ms. Rita Harmon, PE  
Hydrology Division, Planning Dept.  
Development and Building Services  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: Desert Ridge Pointe Grading and Drainage Plan  
Engineers Revised Stamp Date 8-26-16 (B19D028)**

Dear Ms. Harmon;

On August 25, 2016, the owners and myself met with Abiel to discuss an alternative option for the "first flush" volume treatment. It was agreed that a portion of the backyard area could be used to intercept the first flush volume. A revised "First Flush Volume Calculation" Exhibit has been added to the report. The back yard ponds have been added to the grading and drainage plan as well as a detail. Private backyard drainage easements will be added to each of the lots on the final plat.

Please call me if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

Diane Hoelzer, PE  
Senior Engineer

DLH/dlh

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# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



May 10, 2016

Mark Goodwin, P.E.  
**Mark Goodwin & Associates, P.A.**  
P.O. Box 90606  
Albuquerque, NM 87199

Richard J. Berry, Mayor

**RE: Desert Ridge Pointe (a.k.a Glendale Townhomes)**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date 3-22-2016 (File: B19D028)**

Dear Mr. Goodwin:

Based upon the information provided in your submittal received 4-25-16, the above referenced submittal cannot be approved for Site Plan for Building Permit until the following comments are addressed:

1. Since this site is within Basin 204 of the NAA MDP which discharges to the 96" Storm Drain in Wyoming at Glendale, this site must discharge to this Storm Drain. The outfall shown is a Sidewalk Culvert discharging to Wyoming, and contours show that it would flow north to a different outfall which may not have capacity.
2. The 84" Storm Drain in Glendale is deep, and therefore it is anticipated that a Storm Drain in Wyoming, north of Glendale will have enough fall to tie into the existing system.
3. The land treatments must be limited to those in the NAA MDP. For this basin it was 20% A, 20% B, 34% C, 26% D
4. The First Flush must be addressed.

**Since these comments will likely affect the overall drainage concept, a detailed review will not be done at this time.**

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Hydrology  
Planning Department

Orig: Drainage filec.pdf  
c.pdf Addressee via Email

B19D028\_SPBP\_Cmml.doc

1 of 1

*Albuquerque - Making History 1706-2006*





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539

July 22, 2016

Ms. Rita Harmon, PE  
Hydrology Division, Planning Dept.  
Development and Building Services  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

**Re: Desert Ridge Pointe Grading and Drainage Plan  
Engineers Revised Stamp Date 7-22-16 (B19D028)**

Dear Ms. Harmon;

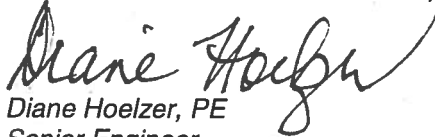
In response to your comment letter dated May 10, 2016, your comments are addressed below:

1. The proposed storm drain connection to the existing storm drain in Glendale has been changed accordingly,
2. OK,
3. The treatment values referred to from the 1998 NAA MDP are typical values used for a 1 acre developed lot. Typical existing projects in this area have been allowed to develop at higher densities. This projects' density is consistent with the surrounding subdivisions. A comparison between the actual peak discharge (7.39 cfs) versus the peak discharge using the Land Treatment values found in the NAA MDP report sited (5.94 cfs), results in an increase of about 1.45 cfs. Given that runoff from this project will be discharging into an existing 84"-96" RCP storm drain, I would suggest that an overall increase of about 1.45 cfs is insignificant.
4. The "First Flush" volume has been calculated and addressed on the plan.

Please call me if you have any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

  
Diane Hoelzer, PE  
Senior Engineer

DLH/dlh

f:\projects\14034\hydro\_ltr\_14034.docx

## **I. PROJECT DESCRIPTION**

*The Desert Pointe Subdivision project site covers an area of approximately 1.6 acres. This project proposes to develop private and public infrastructure to support 8 single family residential homes within a private "gated" community with public water and sanitary sewer easements (ABCWUA). The project will tie into existing Glendale Avenue just east of the Wyoming Blvd. intersection. There are existing subdivisions to the north and east of this project.*

## **II. DESIGN CRITERIA AND PREVIOUS DEVELOPMENT**

*The design criteria used in this report was in accordance with Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria, January 1993 edition. The 100-year 6-hour storm event was analyzed to determine street capacities and sizing of the storm drain outfall using  $P(1 \text{ hr})=2.15"$ ,  $P(6 \text{ hr})=2.55"$ . The onsite Land Treatment values used were determined by measuring the total impervious area.*

## **III. EXISTING DRAINAGE CONDITIONS**

*Under existing drainage conditions, the site is currently encumbered by a 13' deep pond. There is an 84" outfall pipe located at the southwest corner of the property that is connected to a larger storm drain system that conveys stormwater south and westward in an existing storm sewer system. This pond is a remnant of a temporary drainage condition that intercepted runoff from a large area of land to the east and north that at the time was undeveloped. The properties to the north and east have since been developed, so the pond no longer serves its original purpose. Due to all the surrounding developments, no offsite flows enter the site except for a thin sliver of property to the north where it appears the existing walls were not constructed on their property lines. If the proposed subdivision constructs their walls on their property line, then a block will be turned at the northeast corner of Lot 4 and allow overflow to enter at that point.*

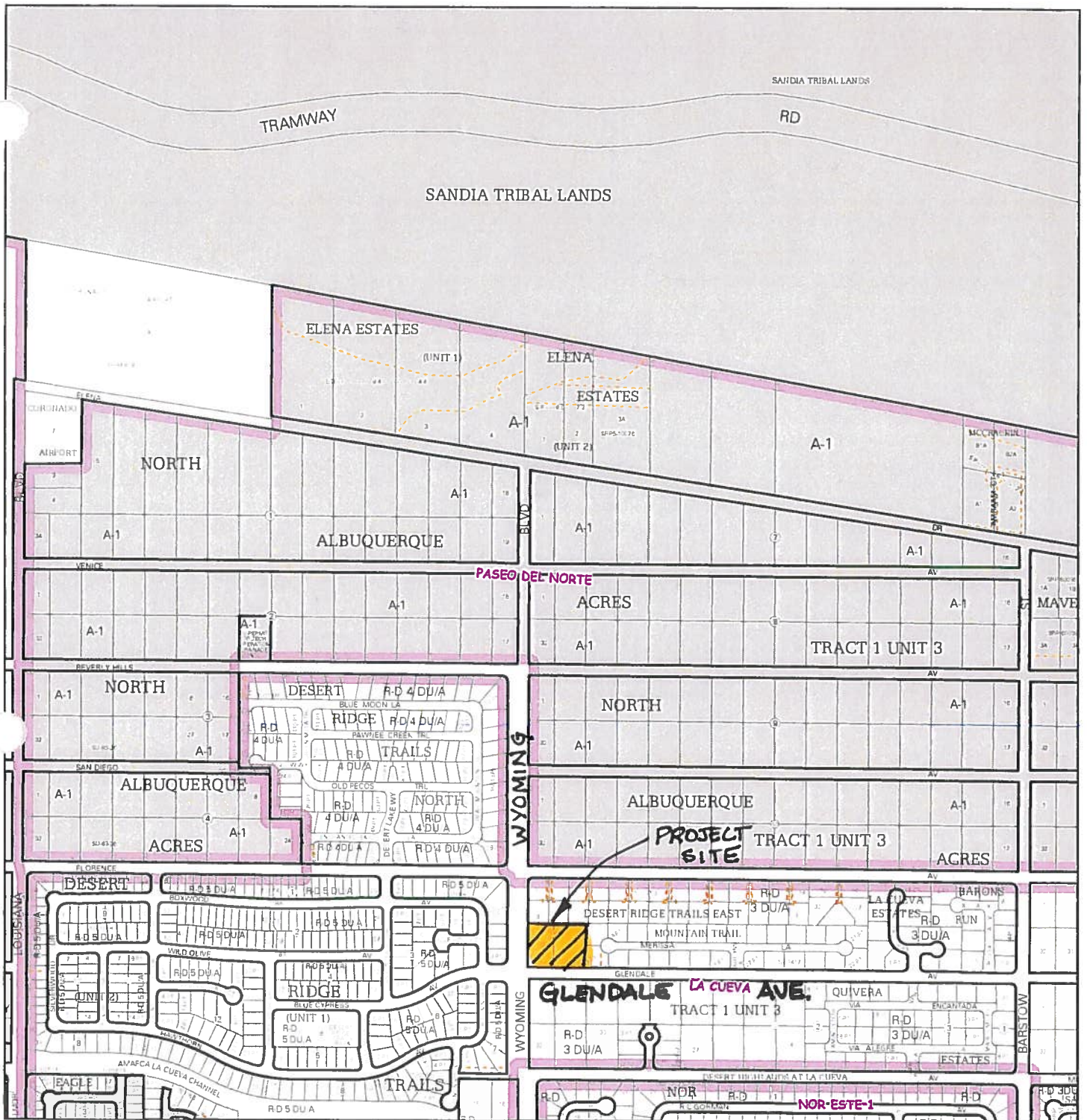
## **IV. DEVELOPED DRAINAGE CONDITIONS**

*Under developed conditions, the onsite 100 year peak flow of 7.39 cfs will be conveyed to the west end of the property as surface street runoff. At the far west end of the street and driveway for Lots 2 and 3, there is a double type A inlet in a sump condition that will intercept and connect to the existing storm drain in Wyoming Blvd.*

## **V. FIRST FLUSH PONDS**

*A portion of the backyards on each lot will be encumbered with a "first flush" pond that will capture runoff from the roof of each lot. The pond overflow will be conveyed down the side yard to the street. The final plat will have a drainage easement in the backyards for each of these pond areas to ensure the function of the area remains for use as a pond. Calculations for the first flush pond volume as well as the AHYMO printout can be found in the Appendix.*





For more current information and details visit: <http://www.cabq.gov/gis>

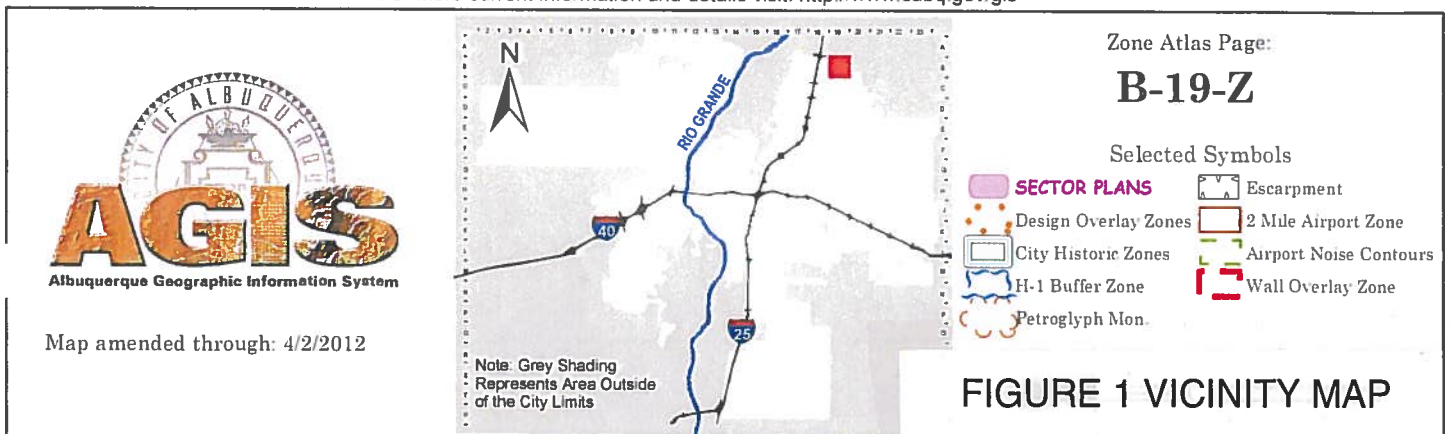






FIGURE 2 AERIAL GOOGLE EARTH MAP



Current DRC  
Project Number:

FIGURE 12

Date Submitted: 8/31/16  
Date Site Plan Approved:  
Date Preliminary Plat Approved:  
Date Preliminary Plat Expires:  
DRB Project No.:  
DRB Application No.: 1010809

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Desert Ridge Pointe

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Lots 31 & 32, Block 11, Tract 1, Unit 3, N.A.A.

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

| SIA<br>Sequence # | COA DRC<br>Project # |
|-------------------|----------------------|
|                   |                      |
|                   |                      |
|                   |                      |
|                   |                      |
|                   |                      |
|                   |                      |
|                   |                      |
|                   |                      |
|                   |                      |

| Size   | Type of Improvement       | Location                | From                      | To                       | Private<br>Inspector | City<br>Inspector | City Cnst<br>Engineer |
|--------|---------------------------|-------------------------|---------------------------|--------------------------|----------------------|-------------------|-----------------------|
| 30' FF | Art. Pvmnt                | Wyoming Blvd.           | North P.L. Existing Pvmnt | Glendale Ave.            | /                    | /                 | /                     |
| 6'     | Bike Lane (Stripe)        |                         |                           |                          | /                    | /                 | /                     |
| 16'    | Drive Lane (2) (Stripe)   |                         |                           |                          | /                    | /                 | /                     |
| 6'     | Curb & Gutter             | Wyoming Blvd.           | North P.L. Existing Pvmnt | Glendale Ave.            | /                    | /                 | /                     |
| 6'     | Sidewalk (Eastside)       | Wyoming Blvd.           | North P.L. Existing Pvmnt | Glendale Ave.            | /                    | /                 | /                     |
| 6'     | Sidewalk Curb & Gutter    | Glendale Ave.           | Wyoming Blvd.             | East P.L. (Lot 7)        | /                    | /                 | /                     |
| 6'     | Curb & Gutter             | Glendale Ave.           | Wyoming Blvd.             | East P.L. (Lot 7)        | /                    | /                 | /                     |
| 30' FF | Res Pvmnt                 | Desert Ridge Pointe Ct. | Glendale Ave.             | Hammerhead (Lot 3-6)     | /                    | /                 | /                     |
| 2'     | Median Curb & Gutter      | Desert Ridge Pointe Ct. | Glendale Ave.             | Hammerhead (Lot 3-6)     | /                    | /                 | /                     |
| 6'     | Sidewalk (westside)       | Desert Ridge Pointe Ct. | Glendale Ave.             | Hammerhead (Lot 3-6)     | /                    | /                 | /                     |
| 26' FF | Res Pvmnt                 | Desert Ridge Pointe Ct. | Lot 2/3                   | Lot 7/6                  | /                    | /                 | /                     |
| 4'     | Curb & Gutter             | Hammerhead              | .                         | .                        | /                    | /                 | /                     |
| 4'     | Sidewalk (South side) (1) | .                       | .                         | .                        | /                    | /                 | /                     |
| 18' FF | Res Pvmnt                 | Lot 2/3                 | 26' Pvmnt @ Lot 1/4 P.L.  | 5' East of Property line | /                    | /                 | /                     |

## 6" Waterline

9

## Waterline

## SANITARY SEWER

SAS



SAS

SAS



SAS

PRO-RATA \$2,059.18

PRO-RATA \$3,269.23

PRO-RATA \$6,927.96

PRO-RATA \$3,792.89

## DRAINAGE

PCP

•

ACP

A handwriting practice sheet for the letter 'i'. It features a grid of 20 rows, each with four horizontal lines (top, midline, baseline, and descender line). The letter 'i' is shown in its correct position on these lines. The first row is a model, and the following rows are for practice. The letter 'i' is written in a simple, sans-serif style. The first row shows the letter 'i' correctly positioned on the lines. The following rows show the letter 'i' written in various positions, some correctly and some incorrectly, for practice. The letter 'i' is written in a simple, sans-serif style. The first row shows the letter 'i' correctly positioned on the lines. The following rows show the letter 'i' written in various positions, some correctly and some incorrectly, for practice. The letter 'i' is written in a simple, sans-serif style. The first row shows the letter 'i' correctly positioned on the lines. The following rows show the letter 'i' written in various positions, some correctly and some incorrectly, for practice.Desert Ridge Point Ct  
Hammerhead

Glendale Ave Exist WL

Desert Ridge Pointe Ct.

Lot 67

Lot 2/3

Desert Ridge Pointe Ct.  
Hammerhead

Desert Ridge Pointe Ct.  
Hammerhead  
Lot 6/7

Glendale Ave. Exist SAS

Desert Ridge Pointe Ct.

Lot 677

Page 2/3

Desert Ridge Pointe Ct.

LOT 31 - WATER

LOT 31 -- SANITARY SEWER

LOT 32 - WATER

LOT 32 - SANITARY SEWER

20' Public Drainage Easmt  
Lot 2/3)

Exist 96° RCP (Wyoming)

Wyoming Blvd.

PCP

•

ACP



this listing. The items listed below are subject to the standard SIA requirements.

| Financially Guaranteed |       | Constructed Under | Size | Type of Improvement | Location | From | To | Construction Certification |                    |
|------------------------|-------|-------------------|------|---------------------|----------|------|----|----------------------------|--------------------|
| DRC #                  | DRC # | DRC #             |      |                     |          |      |    | Private Inspector P.E.     | City Cnst Engineer |
|                        |       |                   |      |                     |          |      |    | /                          | /                  |
|                        |       |                   |      |                     |          |      |    | /                          | /                  |

| Approval of Creditable Items:      |      |
|------------------------------------|------|
| Impact Fee Administrator Signature | Date |
|                                    |      |

| Approval of Creditable Items: |      |
|-------------------------------|------|
| City User Dept. Signature     | Date |
|                               |      |

- 1 Sidewalks to be Deleted
- 2 Street Lights Per DPM
- 3 Water Infrastructure includes Valves, Fittings, Valve Boxes, Fire Hydrants, and Appurtenances.
- 4 Sanitary Sewer includes manholes and service connection to property line
- 5 Grading & Drainage certification per DPM for release of SIA & Financial Guaranty's. Financial Guaranty's are not required for grading.

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Diane Hoelzer, P.E.

NAME (print)

MARK GOODWIN & ASSOCIATES

*Diane Hoelzer* 8-26-16

SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: N/A

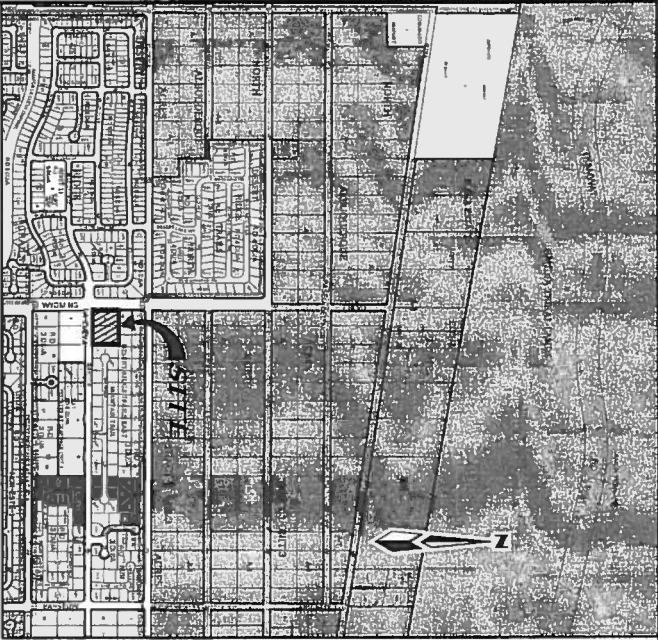
| DRB CHAIR - date                  | PARKS & GENERAL SERVICES - date |
|-----------------------------------|---------------------------------|
| TRANSPORTATION DEVELOPMENT - date | AMAFCA - date                   |
| UTILITY DEVELOPMENT - date        |                                 |
| CITY ENGINEER - date              |                                 |

DESIGN REVIEW COMMITTEE REVISIONS

| REVISION | DATE | DRC CHAIR | USER DEPARTMENT | AGENT /OWNER |
|----------|------|-----------|-----------------|--------------|
|          |      |           |                 |              |
|          |      |           |                 |              |
|          |      |           |                 |              |

| Curve Table |        |        |          |          |
|-------------|--------|--------|----------|----------|
| Curve #     | Length | Radius | Chord B. | Chord L. |
| C1          | 46.89' | 30.00' | 89.4444' | 42.33'   |
| C2          | 16.16' | 24.37' | 37.5848' | 15.86'   |
| C3          | 38.28' | 24.37' | 80.0000' | 34.47'   |
| C4          | 38.28' | 24.37' | 80.0000' | 34.47'   |
| C5          | 16.16' | 24.37' | 37.5848' | 15.86'   |
| C6          | 19.64' | 15.86' | 70.5318' | 18.41'   |
| C7          | 16.88' | 20.37' | 47.2430' | 16.34'   |
| C8          | 14.16' | 24.37' | 33.1728' | 13.88'   |
| C9          | 23.53' | 24.37' | 55.1812' | 22.67'   |

| Parcel Line Table |        |                   |
|-------------------|--------|-------------------|
| Line #            | Length | Direction         |
| L1                | 13.62' | S0° 23' 23.00" W  |
| L2                | 13.62' | S0° 23' 23.00" W  |
| L3                | 15.89' | N89° 36' 37.00" W |
| L4                | 14.89' | N89° 36' 37.00" W |



#### DESCRIPTION

A TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO, CONTAINING ALL OF LOTS 30 & 32, BLOCK 11, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931, IN PLAT BOOK D, PAGE 121A, AND CONTAINING 2.0035 GROSS ACRES MORE OR LESS.

#### SUBDIVISION DATA

GROSS ACREAGE: 2.0035 AC.  
ZONE ATLAS NO.: B-16-Z  
NO. OF LOTS CREATED: 8 LOTS

#### PURPOSE OF PLAT

- SUBDIVIDE LOTS 31 & 32, BLOCK 11, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 8 RESIDENTIAL LOTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN.
- GRANT NEW EASEMENTS AS SHOWN.

#### NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS O SHALL BE MARKED BY A #4 REBAR W/CAP STAMPED PS#7719
- BEARINGS ARE GRID BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES ARE THE FOLLOWING PLATS OF RECORD ENTITLED:

- "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-1931, D-121A)
- "DESERT RIDGE TRAILS, UNIT 1", (02-08-2002, 2002C-046)
- "DESERT RIDGE TRAILS, UNIT 1", (08-26-2002, 2002C-290)
- "DESERT RIDGE TRAILS EAST", (11-16-2004, 2004C-355)
- "MOUNTAIN TRAIL", (02-28-2005, 2005C-082)
- "ESTATES AT GLENDALE, UNIT 1", (09-16-2012, 2012C-093)
- "ESTATES AT GLENDALE, UNIT 1", (09-10-2012, 2012C-103)

ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

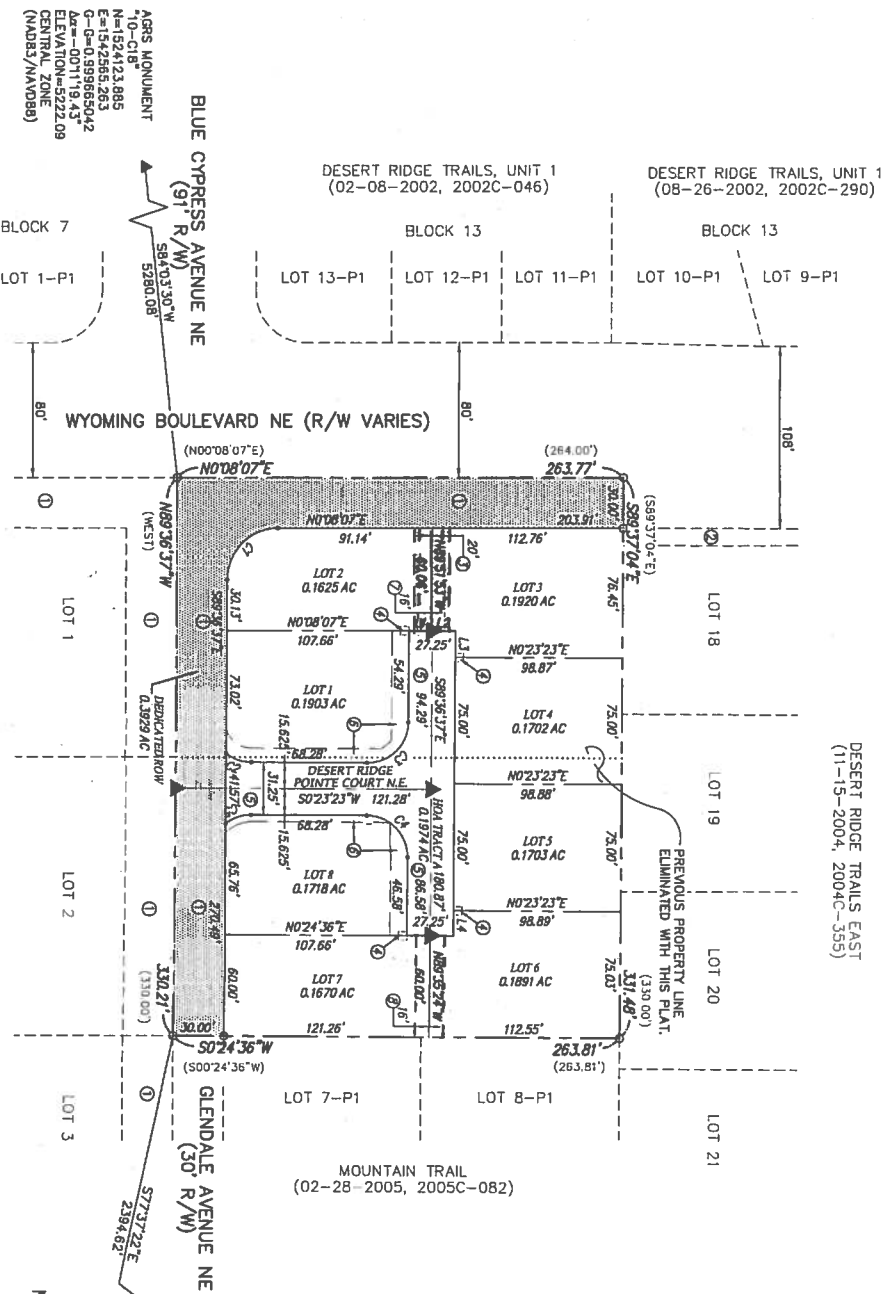
- FIELD SURVEY PERFORMED IN JUNE, 2016.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: R-D (7 D.U./S./Ac.)
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, AS SHOWN ON PANEL 133 OF B23, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED AUGUST 18, 2012. THIS PROPERTY DOES NOT LIE IN THE 100 YEAR FLOOD ZONE. B. TITLE REPORT: NONE PROVIDED.
- TITLE REPORT: NONE PROVIDED.

- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.S., P.T.S., ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS, ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:

"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"

"DO NOT DISTURB"

- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.



#### PROPERTY CORNERS

- SET 1/2" REBAR WITH CAP OR PK WITH TAG "LS 7719" (TYP.)

#### EASEMENTS

- EXISTING 30' ROADWAY AND UTILITY EASEMENT (09-10-1931, D-121A)
- EXISTING 10' PUE (11-15-2004, 2004C-355)
- NEW 20' PRIVATE DRAINAGE EASEMENT AND UNDERGROUND STORM DRAIN FOR BENEFIT OF ALL LOTS TO BE MAINTAINED BY HOA.
- NEW 5X5' ARCHWAY WATERLINE EASEMENT
- TRACT A IS A PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT FOR BENEFIT OF ALL LOTS TO BE MAINTAINED BY HOA, AND PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO THE WATER AUTHORITY (W.A.), AND
- HOA SHALL BE RESPONSIBLE FOR MAINTENANCE OF SURFACE AREAS: PARKING, SIDEWALK AND LANDSCAPE.
- PRIVATE SIDEWALK AND LANDSCAPE EASEMENT MAINTAINED BY THE HOA. (SEE DETAIL THIS SHEET)
- 20' PRIVATE ACCESS EASEMENT TO BE SHARED AND MAINTAINED BY LOTS 2 AND 3.
- 26' PRIVATE ACCESS EASEMENT TO BE SHARED AND MAINTAINED BY LOTS 6 AND 7.

#### APPROVED

AGD DEVELOPMENT LLC,  
OWNERS: LOTS 31 & 32, BLOCK 11, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES

7-21-16

SCOTT SCHABOR  
MANAGER/MEMBER SCOTT PATRICK HOMES

DATE

Steven P. S. 7/22/16  
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M.

DATE

#### SITE BENCHMARK

AGRS MONUMENT  
"1-B20"  
ELEVATION=5477.179  
(NAD83/NAVD83)

#### OWNERS

AGD DEVELOPMENT LLC,  
SCOTT PATRICK HOMES &  
SUPERIOR LAND INVESTMENTS  
8300 CARMEL N.E.  
ALBUQUERQUE, NEW MEXICO 87122

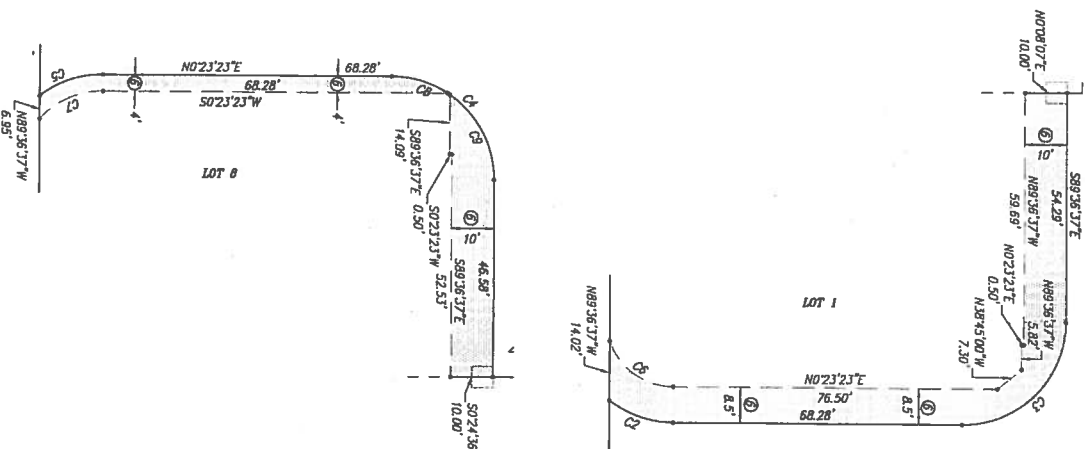
#### SURVEYOR

ALDRICH LAND SURVEY  
P.O. BOX 30701  
ALBUQUERQUE, N.M. 87190-0701  
(505) 884-1990

#### ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 8966  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 823-2200

PRELIMINARY PLAT  
DESERT RIDGE POINTE SUBDIVISION  
WITHIN  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 7  
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMAPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2016



PRIVATE SEWER & LANDSCAPE  
EASEMENT DETAIL  
SCALE: 1"=20'

ALDRICH LAND  
SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190  
505-884-1990

MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS

P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

| Designed: | DWG      | Drawn: | SFS       | Checked: | DWG    | Sheet: | Z of Z |
|-----------|----------|--------|-----------|----------|--------|--------|--------|
| Scale:    | 1" = 50' | Date:  | 7/21/2016 | Job:     | A14034 |        |        |



### HYDROLOGY NOTES

THE PROJECT SITE CONSISTS OF 161 ACRES. THE SITE IS NOT IN A 100-YR FLOOD ZONE FOR ANY SUBSTANTIAL.

THE SITE IS LOCATED WITHIN NORTH ALBUQUERQUE ACRES ON THE CORNER OF WYOMING AND GLENDALE. THE PROJECT SITE SERVED AS A SEMI-DESIGNATED/RETENTION POND FOR THE AREA. HOWEVER, THIS POND WAS ABANDONED AND REPLACED BY A PERMANENT POND ON THE SOUTHWEST CORNER OF GLENDALE AND BARSTOW. IN ADDITION, AN 84' STORM DRAIN WAS CONSTRUCTED IN GLENDALE FROM THE NEW POND TO THE 96' STORM DRAIN IN WYOMING AS PART OF THE FINAL NORTH ALBUQUERQUE ACRES MASTER PLAN. THE POND WAS DESIGNED BY RESURANCE TECHNOLOGY, INC. 10/28/98 TO MAINTAIN THE FLOWS FOR THIS AREA.

THE PURPOSE OF THIS GRADING PLAN IS TO SUBDUCE THE LOTS INTO 8 SINGLE FAMILY RESIDENTIAL UNITS.

THE HYDROLOGY FOR THE PROJECT SITE WAS CALCULATED FOR THE 100 YEAR FLOOD. THE FLOOD FLOW WAS 3.77 CFS. THE FLOOD FLOW WAS 3.77 CFS. THE RESULTS ARE SUMMARIZED IN THE HYDROLOGY TABLE.

THERE ARE NO OFFSITE FLOWS ENTERING THE SITE.

THE FLOW GENERATED FROM THE SITE IS 5.10 CFS. THE FLOW WILL BE DIRECTED TO DESERT RIDGE POINT COURT AND CAPTURED BY AN INLET. A NEW 24" STORM DRAIN WILL BE CONSTRUCTED TO CONVEY THE RUNOFF ONTO WYOMING BLVD. AS FREE DISCHARGE.

### GENERAL NOTES

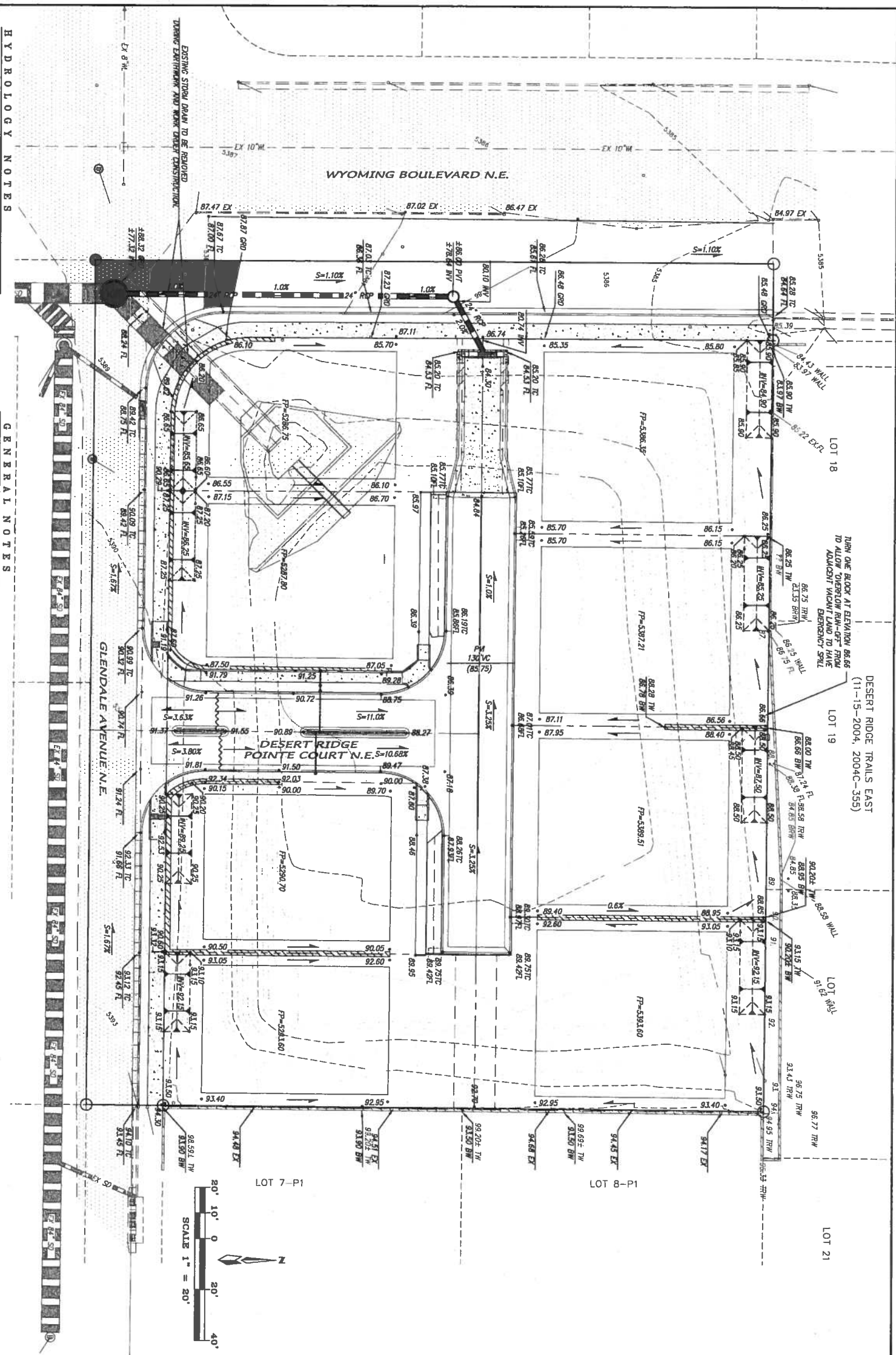
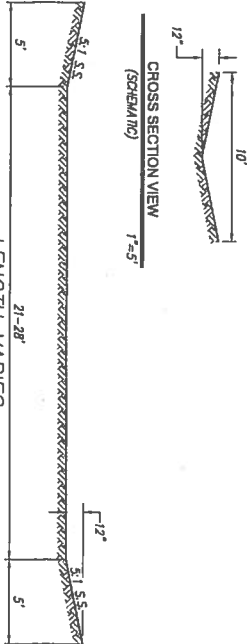
1. CONTRACTOR MUST OBTAIN A TOP-SOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONVEY TO ALL CITY, COUNTY, STATE AND FEDERAL DISTRICT CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

| FIRST FLUSH POND DIMENSIONS |
|-----------------------------|
| LOT 1 10'x35'               |
| LOT 2 10'x31'               |
| LOT 3 10'x38'               |
| LOT 4 10'x37'               |
| LOT 5 10'x37'               |
| LOT 6 10'x37'               |
| LOT 7 10'x31'               |
| LOT 8 10'x35'               |

LENGTH VARIES

FIRST FLUSH BACK YARD PONDS

TYPICAL DETAIL



### LEGAL DESCRIPTION

LOTS 31 AND 32, TRACT 1, UNIT 3  
NORTH ALBUQUERQUE ACRES  
CITY OF ALBUQUERQUE, BERNILLO COUNTY, NEW MEXICO

### LEGEND

- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING C&G & GUTTER
- EXISTING GATE VALVE
- EXISTING STORMDRAIN MANHOLE
- EXISTING SANITARY SINKER MANHOLE
- EXISTING WATERLINE
- EXISTING SANITARY SINKER
- EXISTING STORMDRAIN
- EXISTING WALL
- EXISTING PAVEMENT
- NEW MOUNTAIN C&G & GUTTER
- NEW STANDARD C&G & GUTTER
- NEW TRANSITION MOUNTAIN C&G & GUTTER TO STANDARD C&G & GUTTER
- NEW SIDEWALK
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW GARDEN WALL
- NEW RETAINING WALL
- NEW SPOT ELEVATIONS
- EXISTING TOP OF WALL ELEVATIONS
- NEW BOTTOM OF WALL ELEVATIONS
- NEW TOP OF C&G ELEVATIONS
- NEW FLOW LINE ELEVATIONS
- DIRECTION OF FLOW
- NEW SLOPE
- INTERLOCK
- NEW STORM DRAIN
- NEW STORM DRAIN MANHOLE
- NEW INLET
- NEW WHEELCHAIR RAMP
- NEW WHEELCHAIR RAMP (ONE-DIRECTIONAL)
- NEW WHEELCHAIR RAMP

### ENGINEER'S SEAL



### SURVEY INFORMATION

| NO. | BY | DATE |
|-----|----|------|
|     |    |      |
|     |    |      |
|     |    |      |

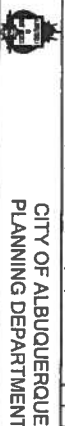
### BENCH MARKS

CDA Brass DISC stamped "1-B20"  
From the intersection of Louisiana Blvd and Paseo Del Norte NE  
go east on Paseo Del Norte 1.0 mile to Barstow St;  
then north on Barstow 1.0 mile to Modesta Ave.  
The station is located in the northeast quadrant of the intersection.  
Geographic Position, in feet (NAD83)  
N.M. State Plane Coordinates (Central Zone)  
N=11524154.945, E=1550483.349  
Elevation, in feet (NAVD83)=5447.179

### AS BUILT INFORMATION

| CONTRACTOR             | DATE |
|------------------------|------|
|                        |      |
| WORK                   | DATE |
| INSPECTOR'S            | DATE |
| ACCEPTANCE BY          | DATE |
| FIELD                  | DATE |
| VERIFICATION BY        | DATE |
| DRAWINGS               | DATE |
| CONTROLLED BY          | DATE |
| MICRO-FILM INFORMATION |      |
| RECORDED BY            | DATE |
| NO.                    |      |

### CITY OF ALBUQUERQUE PLANNING DEPARTMENT

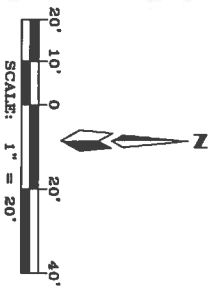
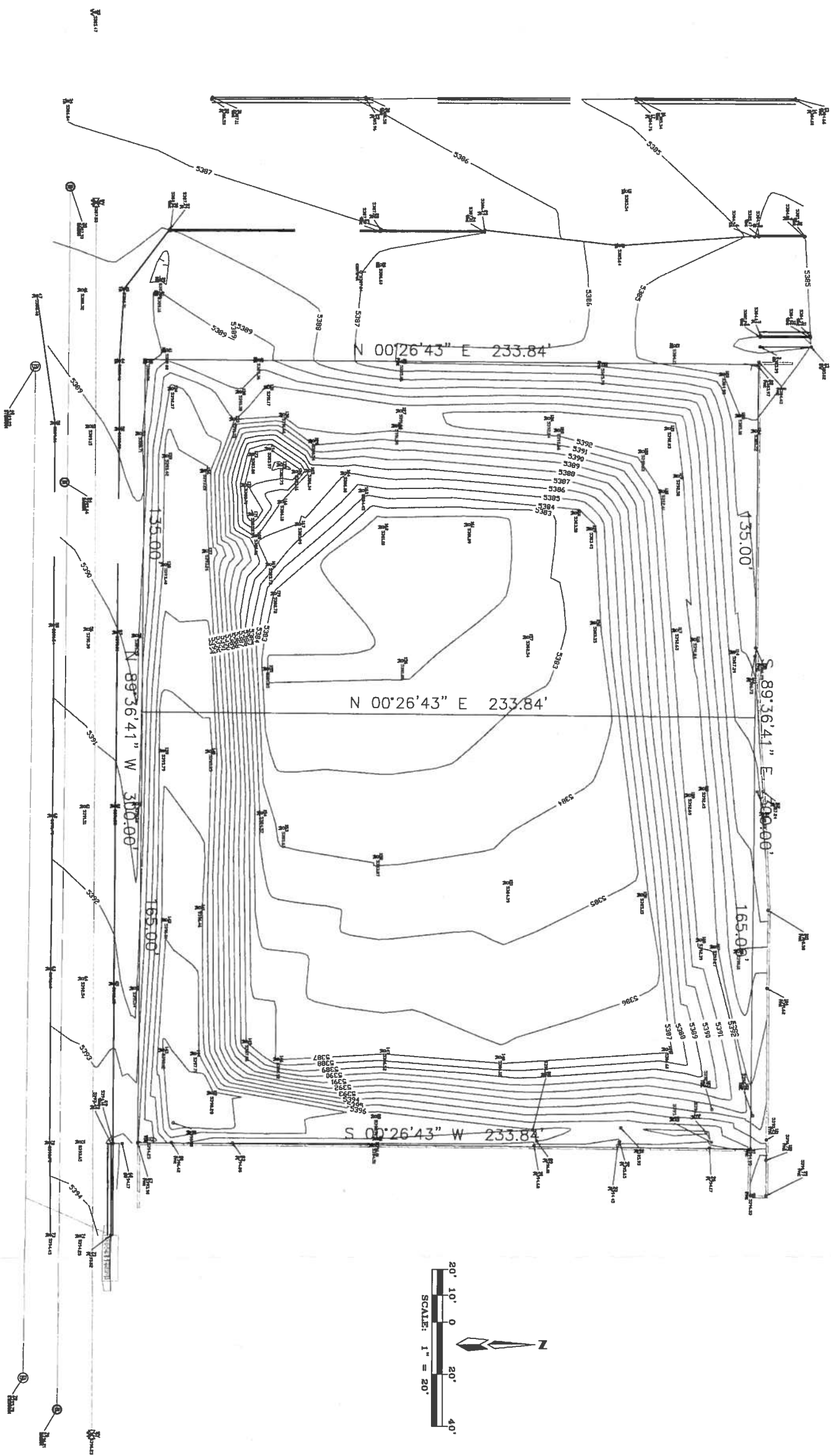


MARK GOODWIN & ASSOCIATES, P.A.  
P.O. BOX 50806  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 265-2004, FAX (505) 781-4559

| NO.         | DATE | REMARKS | BY    |
|-------------|------|---------|-------|
| REVISIONS   |      |         |       |
| DESIGN      |      |         |       |
| DESIGNED BY | KMK  | DATE    | 02/16 |
| DRAWN BY    | DER  | DATE    | 02/16 |
| CHECKED BY  | DMG  | DATE    | 02/16 |

### DESERT RIDGE POINTE CONCEPTUAL GRADING & DRAINAGE PLAN

| CITY PROJECT NO. | ZONE MAP NO. | SHEET | OF |
|------------------|--------------|-------|----|
|                  | B-19-Z       | 1     | 1  |



**DESERT RIDGE POINTE SUBD**  
**TOPOGRAPHIC SURVEY**

|                                                                                                                                                |                 |              |              |  |
|------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|--------------|--------------|--|
|                                                             |                 |              |              |  |
| MARK GOODWIN & ASSOCIATES, P.A.<br>CONSULTING ENGINEERS<br>P.O. BOX 90606<br>ALBUQUERQUE, NEW MEXICO 87199<br>(505)828-2200, FAX (505)797-9539 |                 |              |              |  |
| Designed: JM                                                                                                                                   | Drawn: SRS      | Checked: DMG | Sheet 1 of 1 |  |
| Scale: 1" = 20'                                                                                                                                | Date: 7/25/2014 | Job:         |              |  |



## ***APPENDIX – HYDROLOGY/HYDRAULICS***

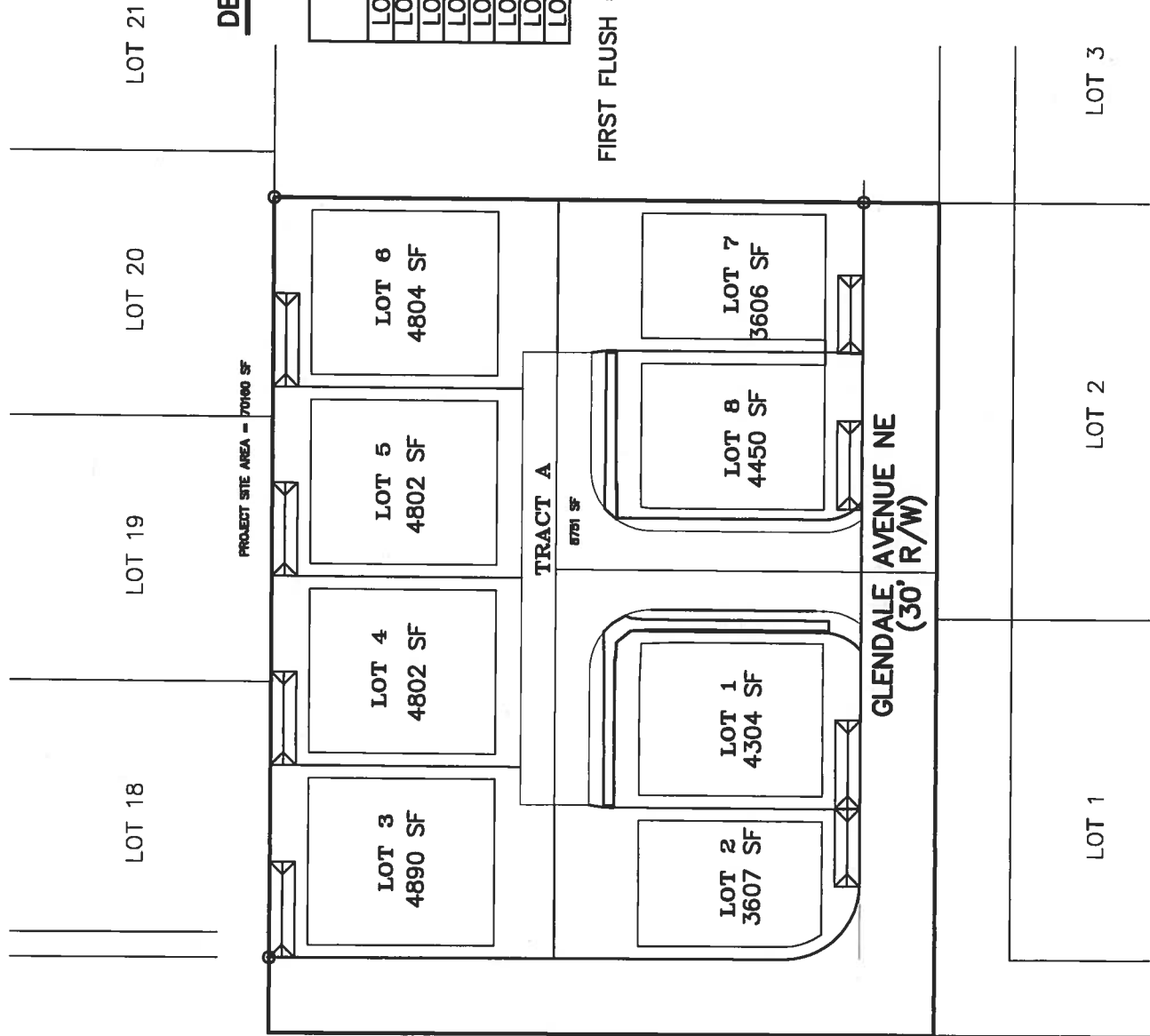
*First Flush Volume Calculations*

*Inlet Sump Calculation*

*AHYMO file*

*24" Storm Pipe Flow Chart*

*Driveway Rundown Capacity Exhibit*



**DESERT RIDGE POINTE SUBDIVISION**

**FIRST FLUSH CALCULATIONS**

|       | Pad Area | Flush Volume | Pond Depth | Pond Length |
|-------|----------|--------------|------------|-------------|
| LOT 1 | 4304 SF  | 122 CF       | 12"        | 25 FT       |
| LOT 2 | 3607 SF  | 102 CF       | 12"        | 21 FT       |
| LOT 3 | 4890 SF  | 139 CF       | 12"        | 28 FT       |
| LOT 4 | 4802 SF  | 136 CF       | 12"        | 27 FT       |
| LOT 5 | 4802 SF  | 136 CF       | 12"        | 27 FT       |
| LOT 6 | 4804 SF  | 136 CF       | 12"        | 27 FT       |
| LOT 7 | 3606 SF  | 102 CF       | 12"        | 21 FT       |
| LOT 8 | 4450 SF  | 126 CF       | 12"        | 25 FT       |

FIRST FLUSH = (PAD AREA)x(.34")/(12) = CU.FT. VOLUME



**CALCULATIONS FOR INLETS AT SUMP  
for  
Desert Ridge Pointe Subdivision**

*Capacity is measured by the weir equation at the lip of the gutter assuming an allowable ponding elevation equal to the lowest adjacent right of way elevation. The length of the double grate facing the street is 6.5' and the maximum depth is 0.725' at the lip of the gutter. The sides are each 2' long and the average depth is 0.892'. These depths assume an 8" curb with right of way 9' behind the curb for an additional depth of 0.18' above the top of curb. From the weir equation:*

**FOR SINGLE 'C' INLET**

*Front Q cap = (3.0) x (3.0') x (0.725) \*\*1.5 = 5.56 cfs*

*Sides Q cap = (3.0) x (4.0') x (0.892) \*\*1.5 = 10.11 cfs*

*Total Q cap = 5.56 cfs + 10.11 cfs = 15.67 cfs*

**FOR DOUBLE 'C' INLET**

*Front Q cap = (3.0) x (6.5') x (0.725) \*\*1.5 = 12.04 cfs*

*Sides Q cap = (3.0) x (4.0') x (0.892) \*\*1.5 = 10.11 cfs*

*Total Q cap = 12.04 cfs + 10.11 cfs = 22.15 cfs*

**FOR TRIPLE 'C' INLET**

*Front Q cap = (3.0) x (9.75') x (0.725) \*\*1.5 = 18.06 cfs*

*Sides Q cap = (3.0) x (4.0') x (0.892) \*\*1.5 = 10.11 cfs*

*Total Q cap = 12.04 cfs + 10.11 cfs = 28.17 cfs*

***The 100 year flow to the sump inlet at the west end of the project site is 7.94 cfs.***

***Design recommendation: Construct a Double Grate Type A inlet in sump conditions (5' transition on either side).***

Version: S4.01a - Rel: 01a  
AHYMO PROGRAM (AHYMO-S4)  
RUN DATE (MON/DAY/YR) = 07/12/2016  
START TIME (HR:MIN:SEC) = 14:23:55  
INPUT FILE = C:\Program Files (x86)\AHYMO-S4\DRP\_R.DAT  
USER NO.= M-GoodwinMSiteA90075759

\*\*\*\*\*  
\*S DESERT RIDGE POINTE SUBDIVISION  
\*S PROPOSED DRAINAGE CONDITIONS  
\*S 100 YEAR 24 HOUR STORM EVENT  
\*S FILE: DRP.DAT  
\*S LAST REVISED: 7-12-16  
\*S NOAA ATLAS 2, VOL IV ZONE B-18  
\*S TIME=0.0 HR PUNCH CODE=0 PRINT LINES=-6  
\*S NEW MEXICO  
\*S LOCATION  
\*S State of New Mexico soil infiltration values (LAND FACTORS) used for computations.  
Land Treatment Initial Abstr.(in) Unif. Infilt.(in/hour)  
A 0.65 1.67  
B 0.50 1.25  
C 0.35 0.83  
D 0.10 0.04

RAINFALL  
TYPE=2 RAIN QUARTER=0.0  
RAIN ONE=2.15 IN RAIN SIX=2.55 IN  
RAIN DAY=2.95 IN DT=0.0333 HRS

\*\*\*\*\*  
\*S PROPOSED DRAINAGE CONDITIONS  
\*\*\*  
\*\*\* PROJECT SITE  
\*\*\* AREA= 1.607 ACRES  
\*\*\*  
COMPUTE NM HYD ID=1 HYD NO=100.0 AREA= 0.002512 SQ MI  
PER A=0 PER B=16.5 PER C=16.5 PER D=67  
TP=-.1333 HR MASS RAIN=-1

K = 0.072649HR TP = 0.133300HR K/TP RATIO = 0.545000 SHAPE CONSTANT, N = 7.106428  
UNIT PEAK = 6.6447 CFS UNIT VOLUME = 0.9975 B = 526.28 P60 = 2.1500  
AREA = 0.001683 SQ MI IA = 0.10000 INCHES INF = 0.04000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.033300

K = 0.121401HR TP = 0.133300HR K/TP RATIO = 0.910734 SHAPE CONSTANT, N = 3.888525  
UNIT PEAK = 2.1621 CFS UNIT VOLUME = 0.9942 B = 347.67 P60 = 2.1500  
AREA = 0.000829 SQ MI IA = 0.42500 INCHES INF = 1.04000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.033300

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 100.00

RUNOFF VOLUME = 2.20487 INCHES = 0.2954 ACRE-FEET  
PEAK DISCHARGE RATE = 7.39 CFS AT 1.532 HOURS BASIN AREA = 0.0025 SQ. MI.

7.39 cfs

\*\*\* \*\*\*\*\*  
\*\*\* PROJECT SITE  
\*\*\* AREA=1.607 ACRES  
\*\*\* \*\*\*\*\*  
COMPUTE NM HYD

ID=1 HYD NO=100.0 AREA= 0.002512 SQ MI  
PER A=20 PER B=20 PER C=34 PER D=26  
TP=-.1333 HR MASS RAIN=-1

K = 0.072649HR TP = 0.133300HR K/TP RATIO = 0.545000 SHAPE CONSTANT, N = 7.106428  
UNIT PEAK = 2.5786 CFS UNIT VOLUME = 0.9948 B = 526.28 P60 = 2.1500  
AREA = 0.000653 SQ MI IA = 0.10000 INCHES INF = 0.04000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.033300

K = 0.129094HR TP = 0.133300HR K/TP RATIO = 0.968446 SHAPE CONSTANT, N = 3.647363  
UNIT PEAK = 4.6149 CFS UNIT VOLUME = 0.9974 B = 330.94 P60 = 2.1500  
AREA = 0.001859 SQ MI IA = 0.47162 INCHES INF = 1.17054 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = 0.033300

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 100.00

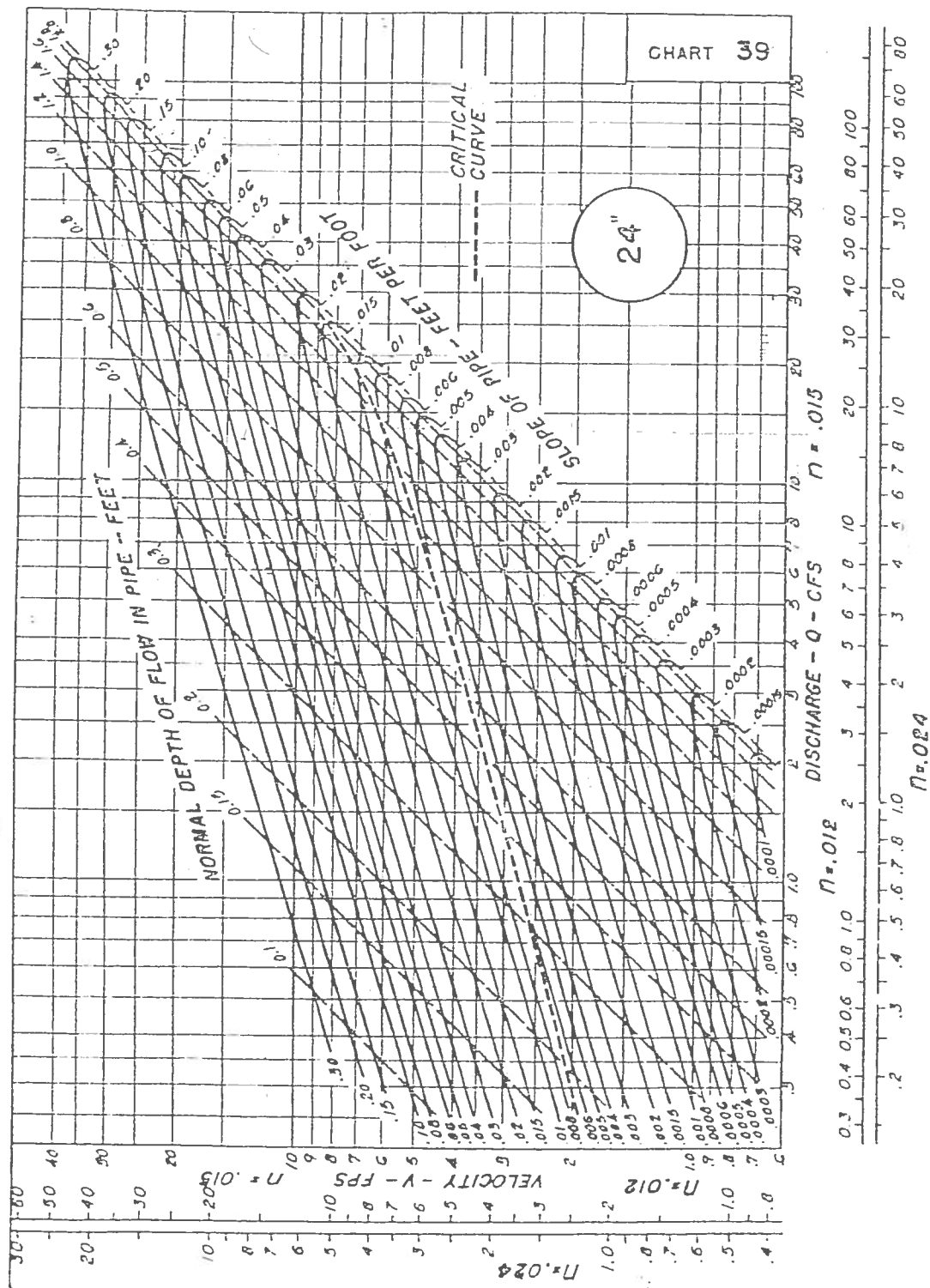
RUNOFF VOLUME = 1.53364 INCHES = 0.2055 ACRE-FEET  
PEAK DISCHARGE RATE = 5.94 CFS AT 1.532 HOURS BASIN AREA = 0.0025 SQ. MI.

594cfs

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 14:23:55



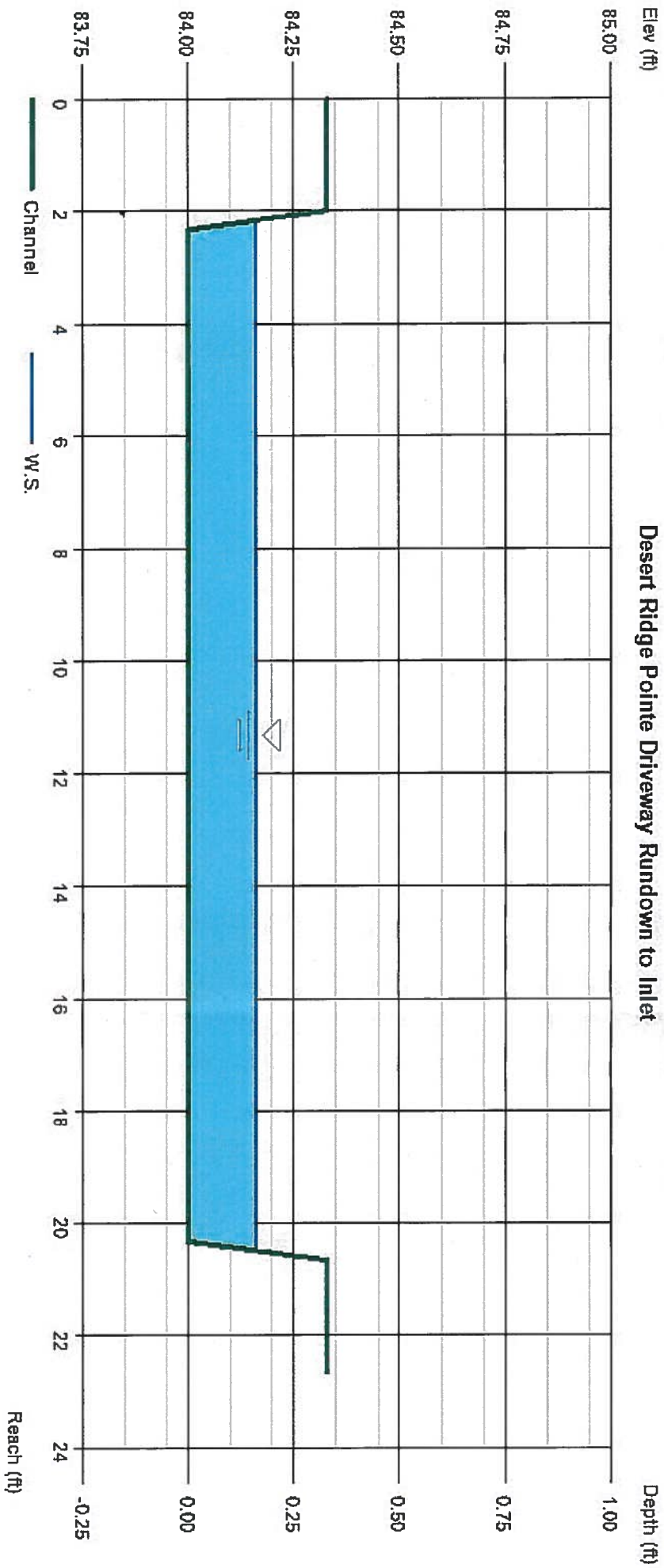


PIPE FLOW CHART  
24-INCH DIAMETER

| Section | Item              | Input       |
|---------|-------------------|-------------|
| Channel | Section Type =    | Trapezoidal |
|         | Btm Width (ft)    | 18.00       |
|         | Side Slope, z:1 = | 1.00: 1.00  |
|         | Tot Depth (ft) =  | 0.33        |
|         | Inv Elev (ft) =   | 84.00       |
|         | Slope (%) =       | 1.00        |
|         | n-value =         | 0.017       |
|         | Compute by =      | Known Q     |
| Calcs   | Q (cfs) =         | 7.39        |

Clear

Run



| Depth | Q     | Area   | Veloc  | WP    | Yc   | TopWidth | Energy |
|-------|-------|--------|--------|-------|------|----------|--------|
| (ft)  | (cfs) | (sqft) | (ft/s) | (ft)  | (ft) | (ft)     | (ft)   |
| 0.16  | 7.390 | 2.906  | 2.54   | 18.45 | 0.18 | 18.32    | 0.26   |



F:\A14\0085\A14034 Desert Ridge Trails Unit 3\GRADE & DRAIN\A14034\_G&D\_DLH.dwg, 8/29/2016 10:04:02 AM, 595

#### HYDROLOGY NOTES

THE PROJECT SITE CONSISTS OF 1.61 ACRES. THE SITE IS NOT IN A 100YR FLOOD ZONE PER MAP 35001C0133H.

THE SITE IS LOCATED WITHIN NORTH ALBUQUERQUE ACRES ON THE CORNER OF WYOMING AND GLENDALE. THE PROJECT SITE SERVED AS A SEDIMENTATION/DETENTION POND FOR THE AREA. HOWEVER, THIS POND WAS ABANDONED AND REPLACED BY A PERMANENT POND ON THE SOUTHEAST CORNER OF GLENDALE AND BARSTOW. IN ADDITION, AN 84" STORM DRAIN WAS CONSTRUCTED IN GLENDALE FROM THE NEW POND TO THE 96" STORM DRAIN IN WYOMING AS PART OF THE "FINAL NORTH ALBUQUERQUE ACRES MASTER DRAINAGE PLAN" PREPARED BY RESOURCE TECHNOLOGY, INC. 10/28/98 TO MANAGE THE FLOWS FOR THIS AREA.

THE PURPOSE OF THIS GRADING PLAN IS TO SUBDIVIDE THE LOTS INTO 8 SINGLE FAMILY RESIDENTIAL UNITS.

THE HYDROLOGY FOR THE PROJECT SITE WAS CALCULATED FOR THE 100 YEAR 6 HOUR STORM EVENT PER COA DPM (ZONE 3) FOR SMALL WATERSHEDS. THE RESULTS ARE SUMMARIZED IN THE HYDROLOGY TABLE.

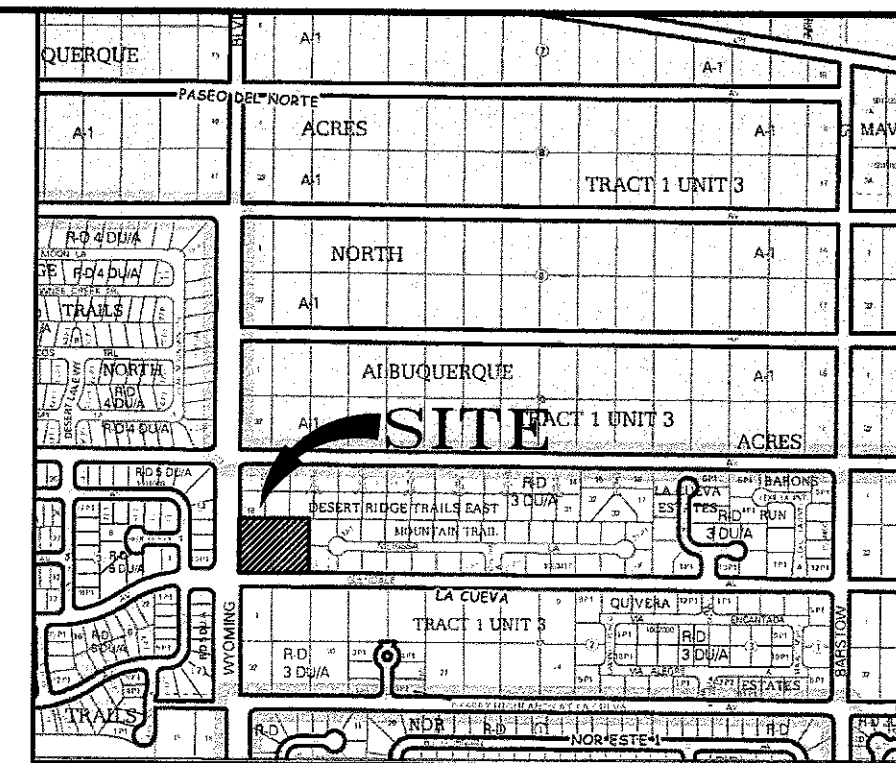
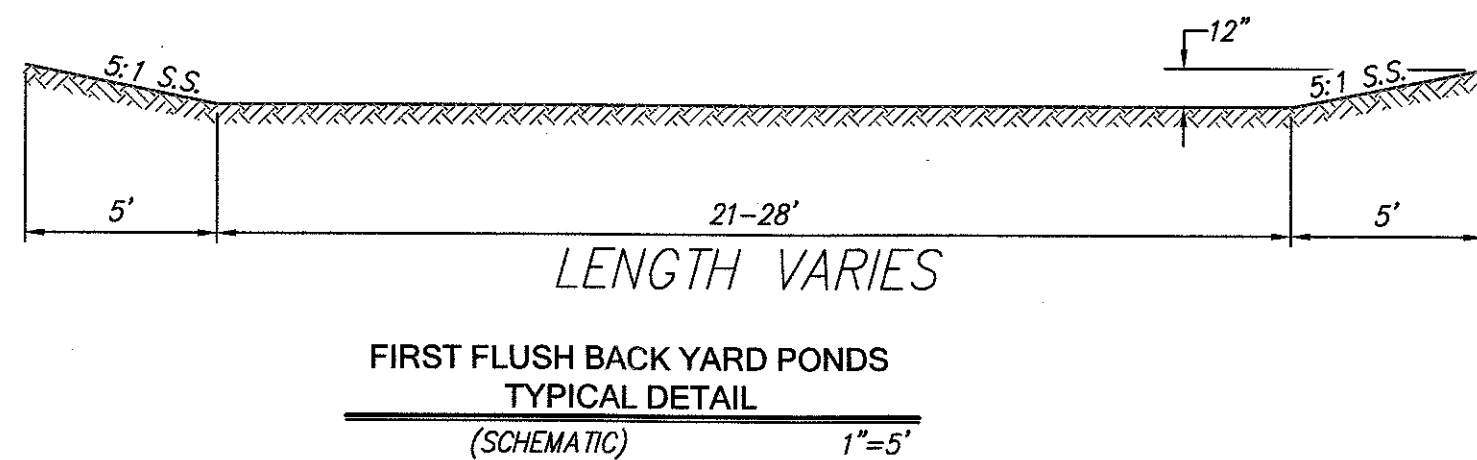
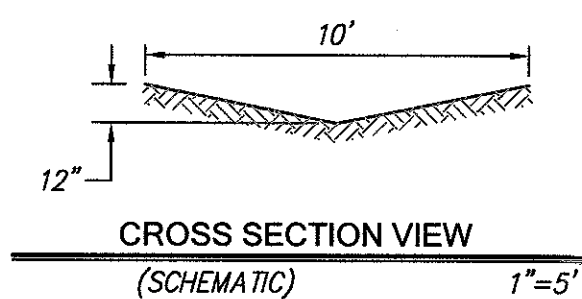
THERE ARE NO OFFSITE FLOWS ENTERING THE SITE.

THE FLOW GENERATED FROM THE SITE IS 5.19cfs. THIS FLOW WILL BE DIRECTED TO DESERT RIDGE POINTE CT AND CAPTURED BY AN INLET. A NEW 24" STORM DRAIN WILL BE CONSTRUCTED TO CONVEY THE RUNOFF ONTO WYOMING BLVD. AS FREE DISCHARGE.

#### GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, LATEST EDITION SHALL GOVERN ALL WORK.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

| FIRST FLUSH POND DIMENSIONS |         |
|-----------------------------|---------|
| LOT 1                       | 10'x35' |
| LOT 2                       | 10'x31' |
| LOT 3                       | 10'x38' |
| LOT 4                       | 10'x37' |
| LOT 5                       | 10'x37' |
| LOT 6                       | 10'x37' |
| LOT 7                       | 10'x31' |
| LOT 8                       | 10'x35' |



#### VICINITY MAP

ZONE ATLAS MAP B-19-Z

#### LEGAL DESCRIPTION

LOTS 31 AND 32, TRACT 1 UNIT 3  
NORTH ALBUQUERQUE ACRES  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

#### LEGEND

|           |                                                                  |
|-----------|------------------------------------------------------------------|
| 5615      | EXISTING CONTOUR (MAJOR)                                         |
| 5616      | EXISTING CONTOUR (MINOR)                                         |
| 5158.80   | EXISTING SPOT ELEVATION                                          |
| WV        | EXISTING CURB & GUTTER                                           |
| ⊙         | EXISTING GATE VALVE                                              |
| ⊙         | EXISTING STORMDRAIN MANHOLE                                      |
| ⊙         | EXISTING SANITARY SEWER MANHOLE                                  |
| -EX WL-   | EXISTING WATERLINE                                               |
| -EX SAS-  | EXISTING SANITARY SEWER                                          |
| -EX SD-   | EXISTING STORMDRAIN                                              |
| ---       | EXISTING WALL                                                    |
| ---       | EXISTING PAVEMENT                                                |
| ---       | NEW MOUNTABLE CURB & GUTTER                                      |
| ---       | NEW STANDARD CURB & GUTTER                                       |
| ---       | NEW TRANSITION MOUNTABLE CURB & GUTTER TO STANDARD CURB & GUTTER |
| ---       | NEW SIDEWALK                                                     |
| ---       | NEW RIGHT-OF-WAY                                                 |
| ---       | NEW CENTERLINE                                                   |
| ---       | NEW LOT LINES                                                    |
| ---       | NEW EASEMENTS                                                    |
| ---       | NEW GARDEN WALL                                                  |
| ---       | NEW RETAINING WALL                                               |
| • 20.00   | NEW SPOT ELEVATIONS                                              |
| 99.69± TW | EXISTING TOP OF WALL ELEVATIONS                                  |
| 18.21FC   | NEW BOTTOM OF WALL ELEVATIONS                                    |
| 18.21FL   | NEW TOP OF CURB ELEVATIONS                                       |
| ---       | NEW FLOW LINE ELEVATIONS                                         |
| ---       | DIRECTION OF FLOW                                                |
| ---       | NEW SLOPE                                                        |
| ---       | WATERBLOCK                                                       |
| ---       | NEW STORM DRAIN                                                  |
| ---       | NEW STORM DRAIN MANHOLE                                          |
| ---       | NEW INLET                                                        |
| ---       | NEW WHEELCHAIR RAMP (UNI-DIRECTIONAL)                            |
| ---       | NEW WHEELCHAIR RAMP                                              |



MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
OFFICE (505) 828-2200, FAX (505) 797-9539



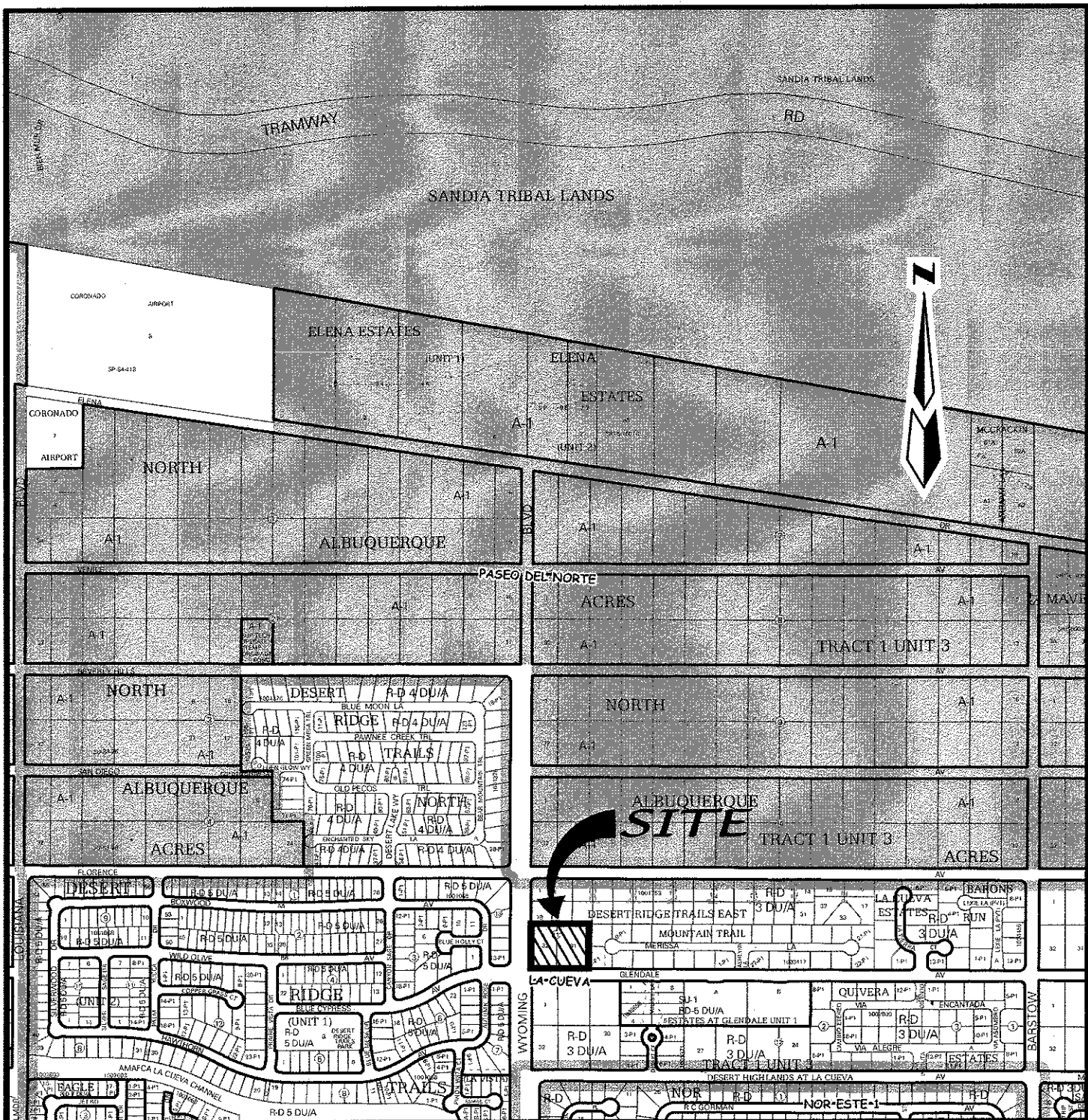
CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT

TITLE: **DESERT RIDGE POINTE  
CONCEPTUAL GRADING & DRAINAGE PLAN**

| DESIGN REVIEW COMMITTEE | CITY ENGINEER APPROVAL | MO./DAY/YR. | MO./DAY/YR. |
|-------------------------|------------------------|-------------|-------------|
|                         |                        |             |             |
|                         |                        |             |             |
|                         |                        |             |             |
|                         |                        |             |             |

|                  |               |          |          |
|------------------|---------------|----------|----------|
| CITY PROJECT NO. | ZONE MAP NO.  | SHEET    | OF       |
|                  | <b>B-19-Z</b> | <b>1</b> | <b>1</b> |





VICINITY MAP (NTS) ZONE ATLAS MAP B-18

### DESCRIPTION

A TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 7, TOWNSHIP 11 NORTH, RANGE 4 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING ALL OF LOTS 31 & 32, BLOCK 11, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES, AS THE SAME IS SHOWN AND DESIGNATED ON SAID PLAT, FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON SEPTEMBER 10, 1931, IN PLAT BOOK D, PAGE 121A, AND CONTAINING 2.0035 GROSS ACRES MORE OR LESS.

### SUBDIVISION DATA

GROSS ACREAGE . . . . . 2.0035 Ac.  
ZONE ATLAS NO. . . . . B-18-Z  
NO. OF LOTS CREATED . . . . . 8 LOTS

### PURPOSE OF PLAT

- SUBDIVIDE LOTS "31 & 32" BLOCK 11, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES INTO 8 RESIDENTIAL LOTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN.
- GRANT NEW EASEMENTS AS SHOWN.

### NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS O SHALL BE MARKED BY A #4 REBAR W/CAP STAMPED PS#7719
- BEARINGS ARE GRID BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM (CENTRAL ZONE).
- DISTANCES ARE GROUND DISTANCES.
- BEARINGS AND DISTANCES IN PARENTHESIS ARE RECORD.
- BASIS OF BOUNDARY ARE THE FOLLOWING PLATS OF RECORD ENTITLED:  
"NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-1931, D-121A)  
"DESERT RIDGE TRAILS, UNIT 1", (02-08-2002, 2002C-046)  
"DESERT RIDGE TRAILS, UNIT 1", (08-26-2002, 2002C-290)  
"DESERT RIDGE TRAILS EAST", (11-15-2004, 2004C-355)  
"MOUNTAIN TRAIL", (02-28-2005, 2005C-082)  
"ESTATES AT GLENDALE, UNIT 1", (08-16-2012, 2012C-093)  
"ESTATES AT GLENDALE, UNIT 1", (09-10-2012, 2012C-103)

ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

- FIELD SURVEY PERFORMED IN JUNE, 2016.
- CITY OF ALBUQUERQUE, NEW MEXICO ZONE: R-D (7 D.U.'S/Ac.)
- 100 YEAR FLOOD ZONE DESIGNATION: ZONE X, AS SHOWN ON PANEL 133 OF 825, FLOOD INSURANCE RATE MAP, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, DATED AUGUST 16, 2012. THIS PROPERTY DOES NOT LIE IN THE 100 YEAR FLOOD ZONE. 8. TITLE REPORT: NONE PROVIDED.
- TITLE REPORT: NONE PROVIDED.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS, ▲ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:

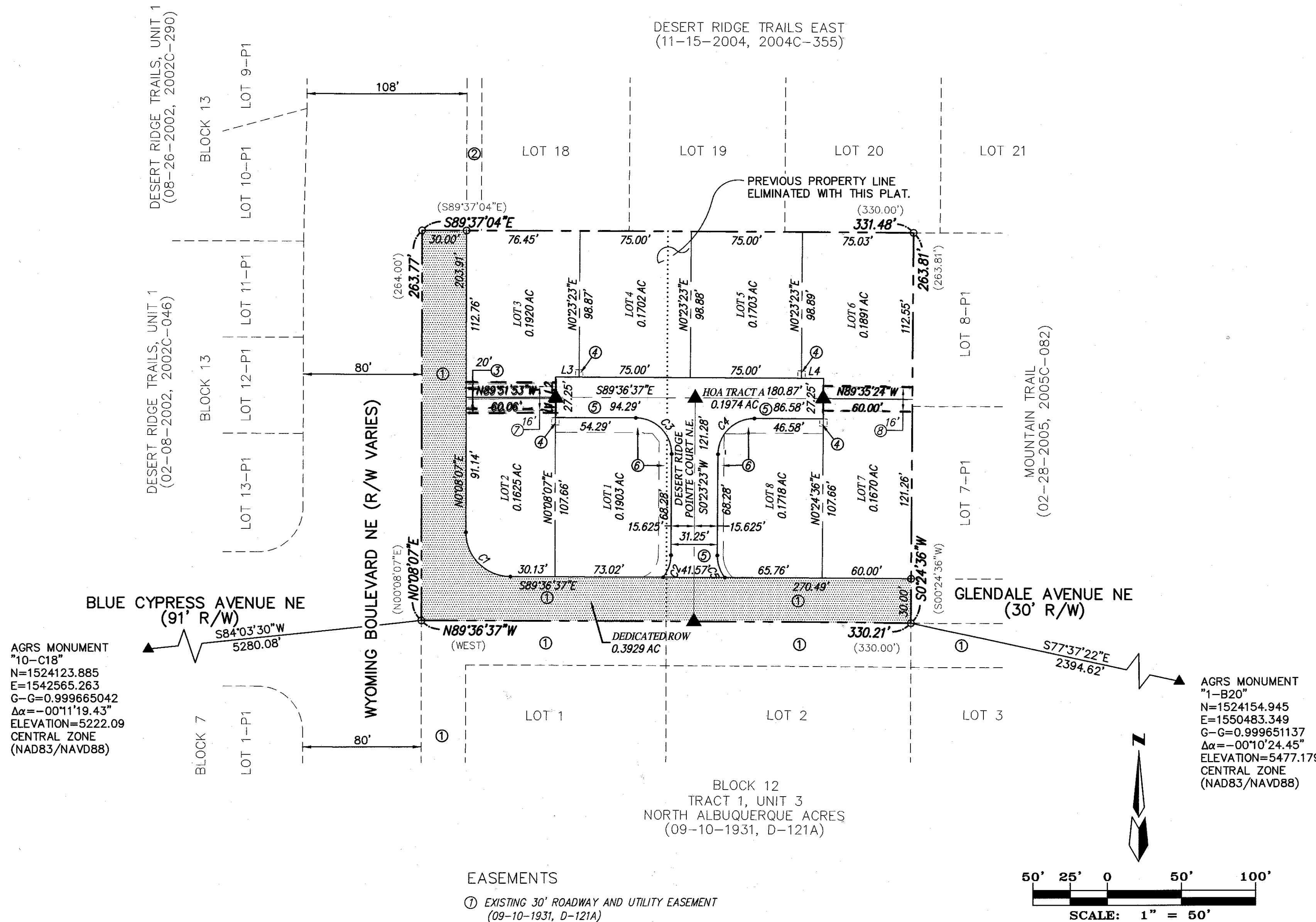
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"  
"DO NOT DISTURB"  
N.M.P.S.#7719

- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

| Curve Table |        |        |           |                    |
|-------------|--------|--------|-----------|--------------------|
| Curve #     | Length | Radius | Delta     | Chord B.           |
| C1          | 46.99' | 30.00' | 89°44'44" | S44°44'15"E 42.33' |
| C2          | 16.16' | 24.37' | 37°58'48" | S19°22'47"W 15.86' |
| C3          | 38.29' | 24.37' | 90°00'00" | S44°36'37"E 34.47' |
| C4          | 38.29' | 24.37' | 90°00'00" | N45°23'23"E 34.47' |
| C5          | 16.16' | 24.37' | 37°58'48" | S18°36'01"E 15.86' |
| C6          | 19.64' | 15.88' | 70°53'18" | N35°50'02"E 18.41' |
| C7          | 16.86' | 20.37' | 47°24'30" | S23°18'52"E 16.38' |
| C8          | 14.16' | 24.37' | 33°17'26" | S17°02'06"W 13.96' |
| C9          | 23.53' | 24.37' | 55°18'12" | S62°44'17"W 22.62' |

| Parcel Line Table |        |                  |
|-------------------|--------|------------------|
| Line #            | Length | Direction        |
| L1                | 13.62  | S0° 23' 23.00"W  |
| L2                | 13.62  | S0° 23' 23.00"W  |
| L3                | 15.89  | N89° 36' 37.00"W |
| L4                | 14.99  | N89° 36' 37.00"W |

PRELIMINARY PLAT  
DESERT RIDGE POINTE SUBDIVISION  
WITHIN  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 7  
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JUNE, 2016



### EASEMENTS

- EXISTING 30' ROADWAY AND UTILITY EASEMENT (09-10-1931, D-121A)
- EXISTING 10' PUE (11-15-2004, 2004C-355)
- NEW 20' PRIVATE DRAINAGE EASEMENT AND UNDERGROUND STORM DRAIN FOR BENEFIT OF ALL LOTS TO BE MAINTAINED BY HOA.
- NEW 5'X5' ABCWUA WATERLINE EASEMENT
- TRACT A IS A PRIVATE ACCESS AND PRIVATE DRAINAGE EASEMENT FOR BENEFIT OF ALL LOTS TO BE MAINTAINED BY HOA, AND  
PUBLIC WATER AND SANITARY SEWER EASEMENT GRANTED TO THE WATER AUTHORITY (W.A.), AND  
WATER AND SANITARY SEWER LINES TO BE MAINTAINED BY W.A., AND  
HOA SHALL BE RESPONSIBLE FOR MAINTENANCE OF SURFACE AREAS: PAVEMENT, SIDEWALK AND LANDSCAPING.
- PRIVATE SIDEWALK AND LANDSCAPE EASEMENT MAINTAINED BY THE H.O.A. (SEE DETAIL THIS SHEET)
- 20' PRIVATE ACCESS EASEMENT TO BE SHARED AND MAINTAINED BY LOTS 2 AND 3.
- 20' PRIVATE ACCESS EASEMENT TO BE SHARED AND MAINTAINED BY LOTS 6 AND 7.

### APPROVED

ABQ DEVELOPMENT LLC:  
OWNERS: LOTS 31 & 32, BLOCK 11, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES  
7-21-16  
SCOTT SCHIABOR  
MANAGER/MEMBER SCOTT PATRICK HOMES  
DATE

Scott M. Rioschauer, P.S.  
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M.

7/22/16  
DATE

### ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200

### SURVEYOR

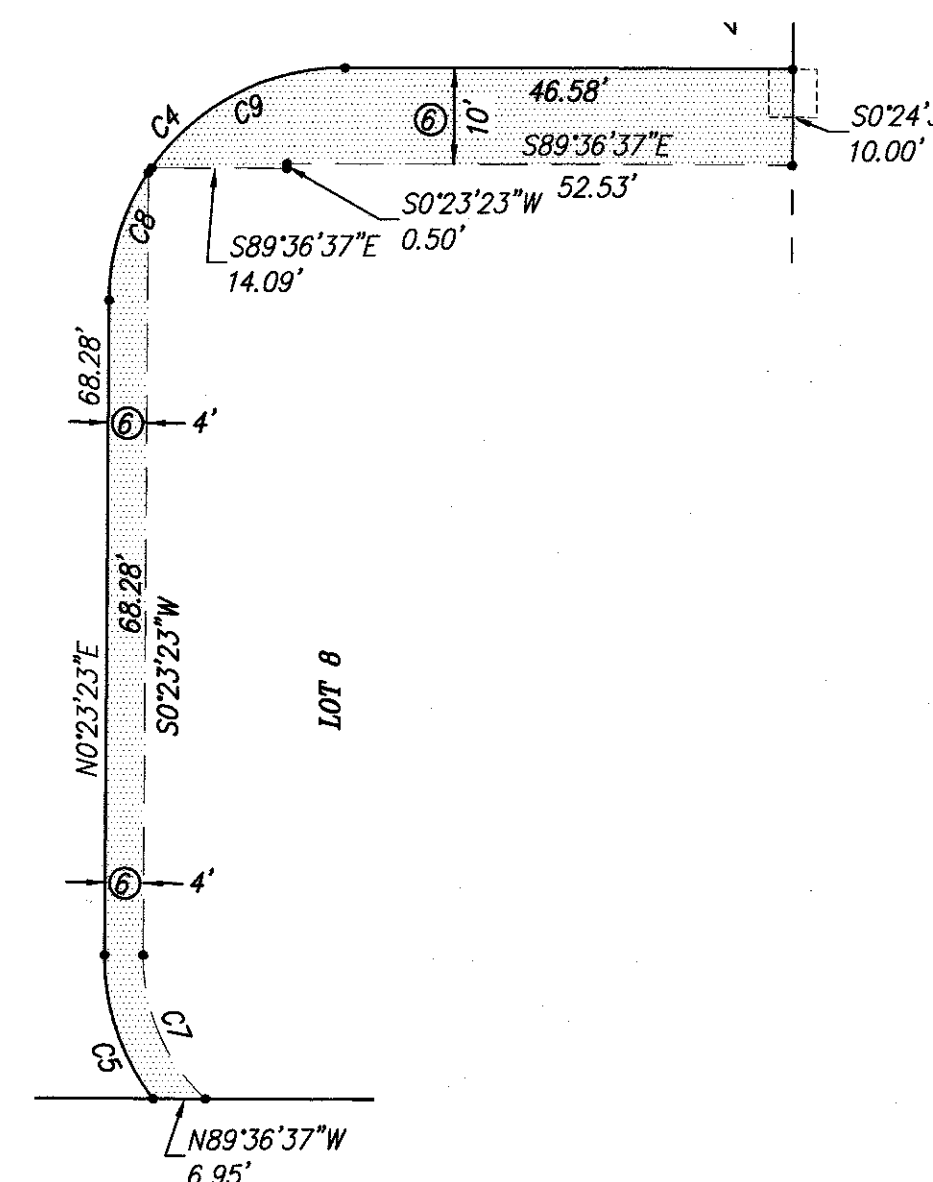
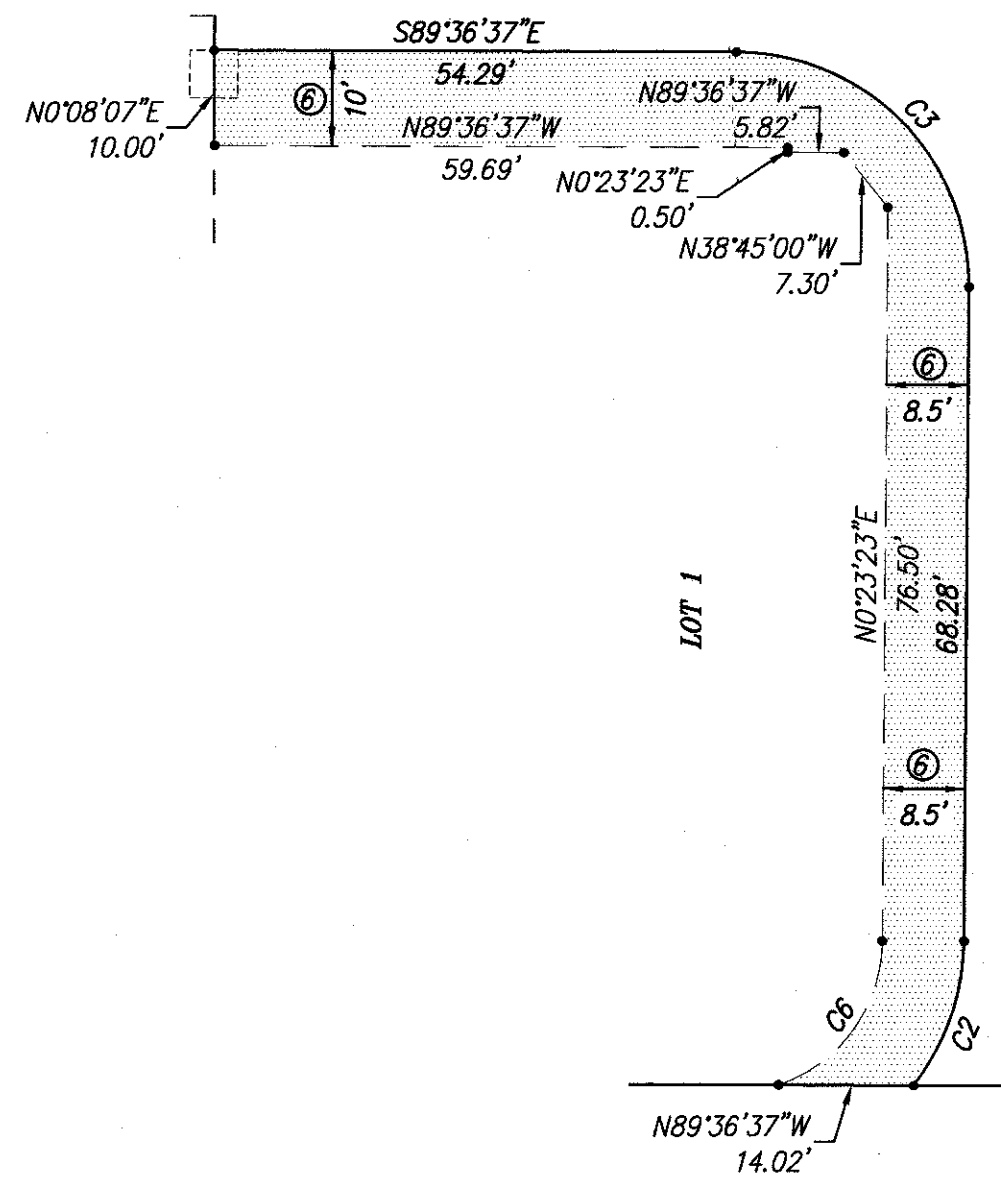
ALDRICH LAND SURVEY  
P.O. BOX 30701  
ALBUQUERQUE, N.M. 87190-0701  
(505) 884-1990

### OWNERS

ABQ. DEVELOPMENT,  
SCOTT PATRICK HOMES &  
SUPERIOR LAND INVESTMENTS  
8300 CARMEL N.E.  
ALBUQUERQUE, NEW MEXICO 87122

### SITE BENCHMARK

AGRS MONUMENT  
"1-B20"  
ELEVATION=5477.179  
(NAD83/NAVD88)



PRIVATE SIDEWALK & LANDSCAPE  
EASEMENT DETAIL  
SCALE: 1"=20'

ALDRICH LAND  
SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190  
505-884-1990

|                                                                                     |                 |              |              |
|-------------------------------------------------------------------------------------|-----------------|--------------|--------------|
| MARK GOODWIN & ASSOCIATES, P.A.<br>CONSULTING ENGINEERS                             |                 |              |              |
| P.O. BOX 90606<br>ALBUQUERQUE, NEW MEXICO 87199<br>(505)828-2200, FAX (505)797-9539 |                 |              |              |
| Designed: DMG                                                                       | Drawn: SPS      | Checked: DMG | Sheet 1 of 1 |
| Scale: 1" = 50'                                                                     | Date: 7/21/2016 | Job: A14034  |              |