

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

February 14, 2019

David Soule, P.E.
Rio Grande Engineering
P.O. Box 93924
Albuquerque, NM, 87199

**RE: 8500 Glendale Ave NE
Reclamation Plan
Engineer's Stamp Date: 01/22/19
Engineer's Certification Date: 02/08/19
Hydrology File: B20D067**

Dear Mr. Soule:

PO Box 1293

Based upon the information provided in your submittal received 02/11/2019 and a site visit on 02/14/2019, the Reclamation Plan is approved for Grading Certification. No further action will be done on the Violation Notice by the City.

Albuquerque

As a reminder, your November 13, 2018 submittal for Building Permit, based upon the information provided this Grading Plan **was not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

NM 87103

www.cabq.gov

1. Per the IDO § 6-4(Q), the property owner of the property is responsible for building the adjacent half of Glendale Ave to include curb & gutter, sidewalk, and 84" storm sewer per the North Albuquerque Acer Master Drainage Plan. The plan will have to go to the DRB for approval of the Infrastructure List which will have to financially guaranteed.
2. Please add a drainage easement along the 100 year floodplain line granted to the City. The Permanent Easement form can be obtained at the Hydrology Section's webpage. <https://www.cabq.gov/planning/development-review-services/hydrology-section>
3. Please clarify the finished floor elevation and finished pad elevation. They are currently over the existing grade text and it is difficult to read.
4. Please provide the sections and structural calculations of the scour walls.
5. Please clarify the placement of the leader for the turn 4 blocks @ 5493.00 near the southwest corner of the property. It is currently pointing in the arroyo and not the scour wall.

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6. Please provide an additional scour depth equation (3.90 in the Sediment and Erosion Design Guide) for flows at a 90° to the scour wall. The current scour depth equation is only good for flows parallel to the scour wall. This will increase the scour wall depth in the areas where flows are at 90° to it.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Curtis Cherne, PE, ccherne@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

A handwritten signature in purple ink that reads 'Renée C. Brissette'.

PO Box 1293

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: 8500 GLENDALE **Building Permit #:** _____ **Hydrology File #:** B20D067
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: lot 5, BLOCK 17 TRACT 1 UNIT 1 NORTH ALB ACRES
City Address: 8500 GLENDALE

Applicant: JOHN JONES **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: RIO GRANDE ENGINEERING **Contact:** DAVID SOULE
Address: PO BOX 93924 ALB NM 87199
Phone#: 505.321.9099 **Fax#:** 505.872.0999 **E-mail:** david@riograndeengineering.com

TYPE OF DEVELOPMENT: PLAT RESIDENCE DRB SITE ADMIN SITE

Check all that Apply:

DEPARTMENT:
 HYDROLOGY/ DRAINAGE
 TRAFFIC/ TRANSPORTATION

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
 BUILDING PERMIT APPROVAL
 CERTIFICATE OF OCCUPANCY

TYPE OF SUBMITTAL:
 ENGINEER/ARCHITECT CERTIFICATION
 PAD CERTIFICATION
 CONCEPTUAL G & D PLAN
 GRADING PLAN
 DRAINAGE REPORT
 DRAINAGE MASTER PLAN
 FLOODPLAIN DEVELOPMENT PERMIT APPLIC
 ELEVATION CERTIFICATE
 CLOMR/LOMR
 TRAFFIC CIRCULATION LAYOUT (TCL)
 TRAFFIC IMPACT STUDY (TIS)
 STREET LIGHT LAYOUT
 OTHER (SPECIFY) _____
 PRE-DESIGN MEETING?

PRELIMINARY PLAT APPROVAL
 SITE PLAN FOR SUB'D APPROVAL
 SITE PLAN FOR BLDG. PERMIT APPROVAL
 FINAL PLAT APPROVAL
 SIA/ RELEASE OF FINANCIAL GUARANTEE
 FOUNDATION PERMIT APPROVAL
 GRADING PERMIT APPROVAL
 SO-19 APPROVAL
 PAVING PERMIT APPROVAL
 GRADING/ PAD CERTIFICATION
 WORK ORDER APPROVAL
 CLOMR/LOMR
 FLOODPLAIN DEVELOPMENT PERMIT
 OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

DRAINAGE CERTIFICATION WITH SURVEY WORK BY PROFESSIONAL SURVEYOR

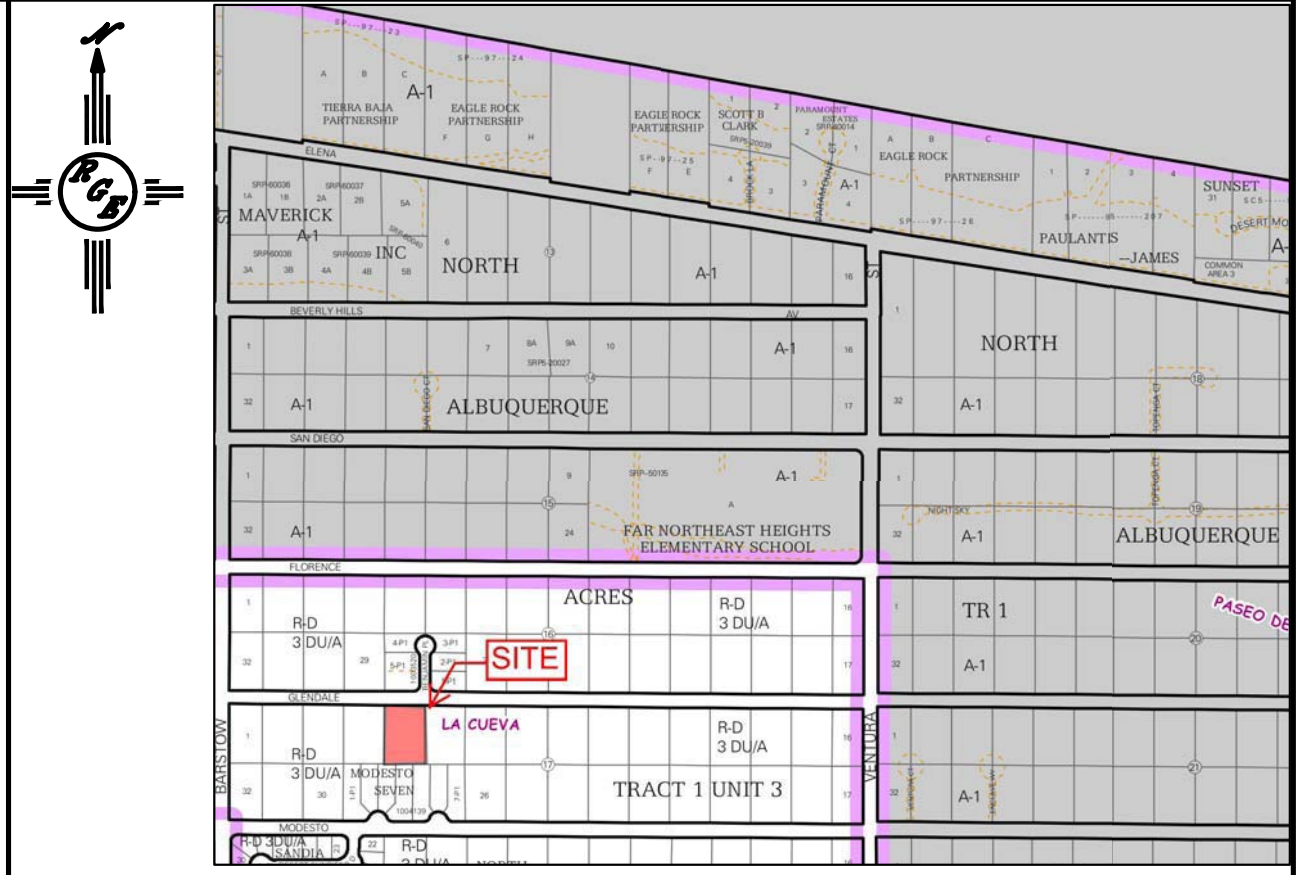
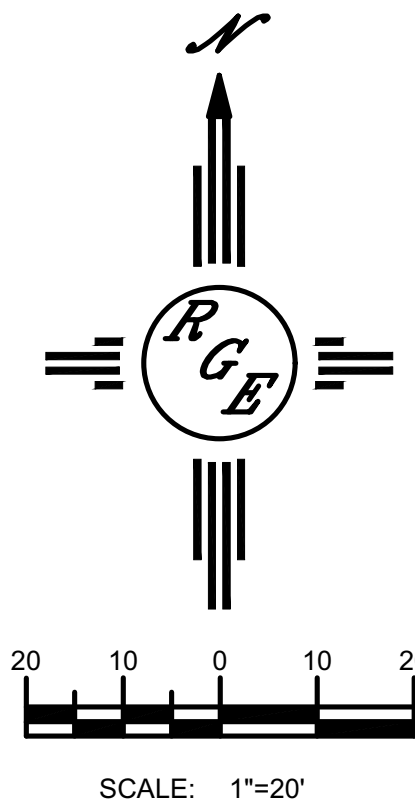
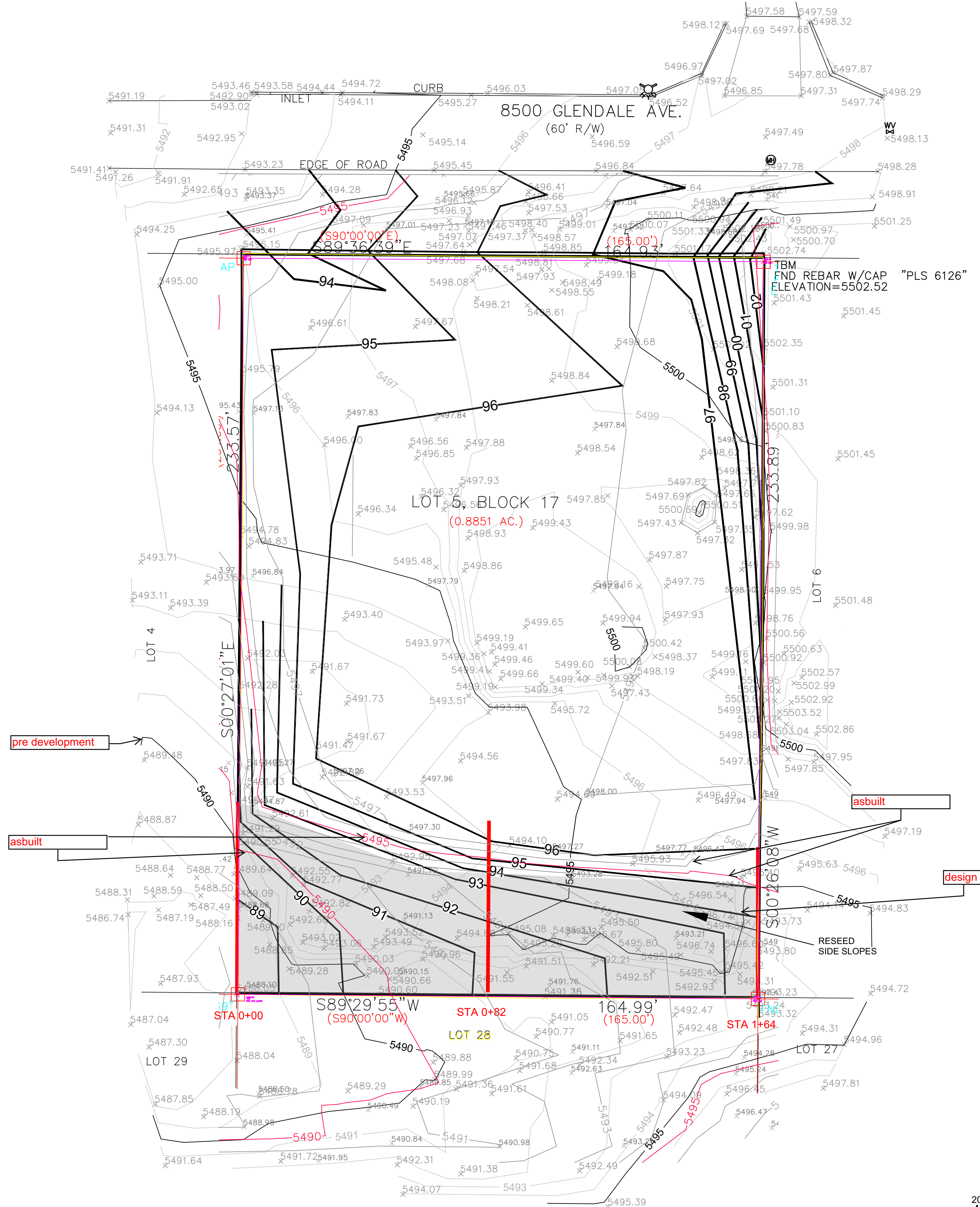
I, DAVID SOULE, NMPE 14522, OF THE FIRM RIO GRANDE ENGINEERING, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/22/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY TOM PATRIC, NMPS 12651, OF THE FIRM COMMUNITY SCIENCES CORPORATION. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/8/19 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR GRADING CERTIFICATION AND RELEASE OF CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DAVID SOULE, NMPE 14522

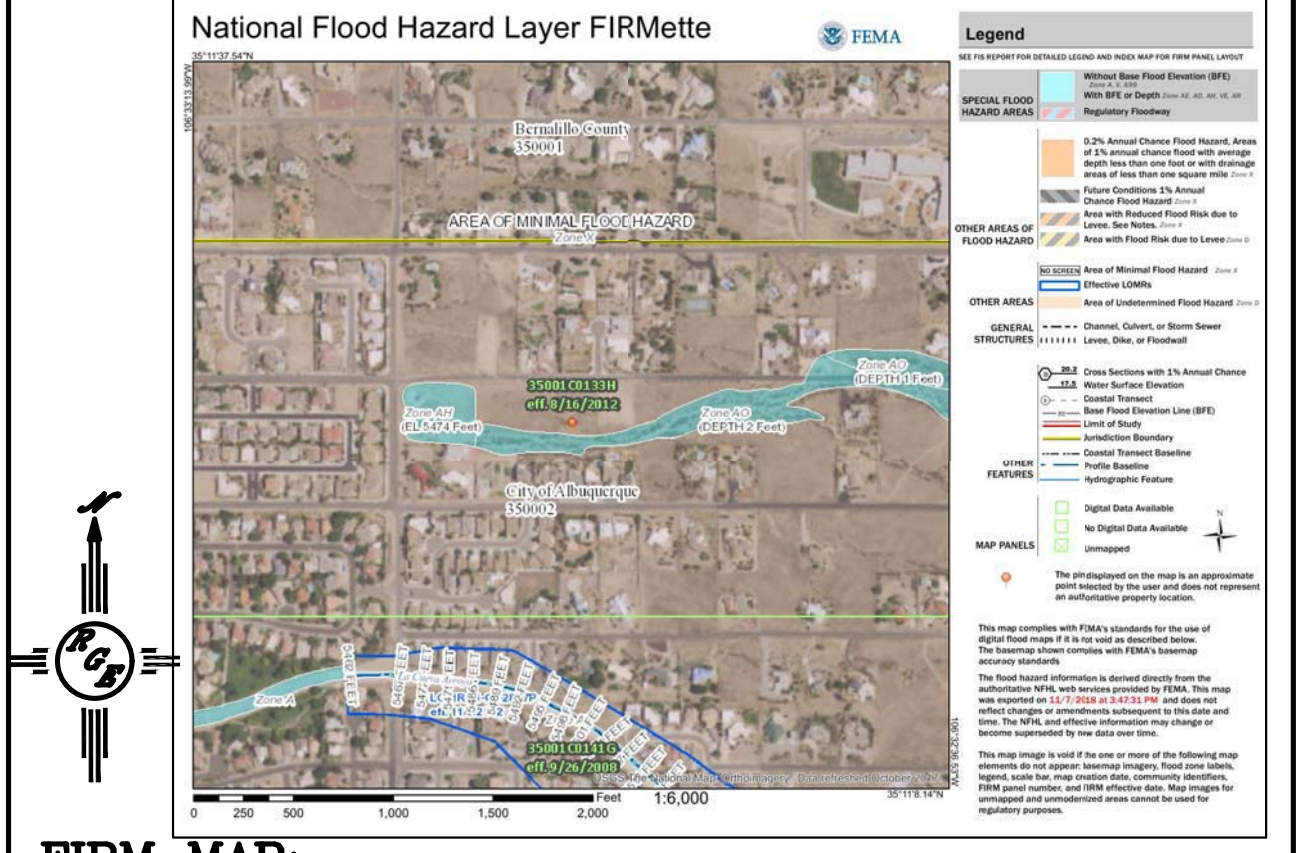


2/8/19

exception:
SIDE SLOPES HAVE NOT BEEN SEEDED. IT IS ANTICIPATED A RETAINING WALL WILL BE CONSTRUCTED AT THE EDGE OF EASEMENT. THE WALL WILL BE CONSTRUCTED PRIOR TO RESEEDING HAVING ANY IMPACT. RESEEDING WILL OCCUR PRIOR TO CO OF PROPOSED BUILDING



VICINITY MAP: B-20-Z



FIRM MAP:

LEGAL DESCRIPTION:

LOT 5, BLOCK 17
NORTH ALBUQUERQUE ACRES TRACT 1, UNIT 3
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
2. TOPOGRAPHIC SURVEY INFORMATION SHOWN ON THIS PLAN WAS OBTAINED BY OWNER.
3. NO PERIMETER WALLS OR FENCING WILL BE CONSTRUCTED AND ANY FUTURE WALL OR FENCING MUST BE APPROVED BY BERNALILLO COUNTY PUBLIC WORKS.

LEGEND

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	LOT LINE
	CENTERLINE
	RIGHT-OF-WAY
	PROPOSED RETAINING WALL
	EXISTING EDGE OF ASPHALT
	PROPOSED CONCRETE
	PROPOSED FLOWLINE

CAUTION:

EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

 DAVID SOULE P.E. #14522	8500 GLENDALE AVE. RECLAMATION PLAN	DRAWN BY DEM DATE 1-19-19 LOT 5, BLOCK 17 ON 3 BLK 17
	 Rio Grande Engineering 1808 CENTRAL AVENUE SUITE 301 ALBUQUERQUE, NM 87108 (505) 872-0888	SHEET # 1 OF 1 JOB # XXXXX