

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

August 29, 2022

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

RE: 8321 Glendale Ave NE
Grading and Drainage Plan
Engineer's Stamp Date: 08/20/2020
Hydrology File: B20D068

Dear Mr. Hensley:

Based upon the information provided in your submittal received 7/7/2022 and site photos on 8/23/2022, the Grading and Drainage Plan **is not** approved for Building Permit and Building Pad Certification. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. An official grading and drainage plan was never requested for the site and only DRB approval was given initially.
2. To acquire approval, please submit a separate grading plan for each lot and ensure the proper address is listed for each.
 - a. Suggestion – fade back or cross out one lot for one and vice versa for each G & D.
3. Ensure the calculations and information are up-to-date with current information.

Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

If you have any questions, please contact me at 505-924-3695 or dggutierrez@cabq.gov.

Sincerely,

David G. Gutierrez, P.E.
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: 8361 GLENDALE **Building Permit #:** **Hydrology File #:** B20D068
DRB#: 2020-003661 **EPC#:** **Work Order#:**
Legal Description: LOT 31B. BLOCK 3, UNIT 2, TRACT 2 NORTH ALBUQUERQUE ACRES
City Address: 8361 GLENDALE AV NE

Applicant: THE Group **Contact:** Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124
Phone#: 505-410-1622 **Fax#:** **E-mail:** ron@thegroup.cc

Owner: CLEARBROOK LLC **Contact:** Scott Henry
Address: 8801 Jefferson NE Bldg. A, ALBUQUERQUE, NM 87113
Phone#: 505-858-1800 **Fax#:** **E-mail:** scotth@stillbrooke.com

TYPE OF SUBMITTAL: PLAT (# OF LOTS) ☒ RESIDENCE DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL?: Yes ☒ No

DEPARTMENT: TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☒ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

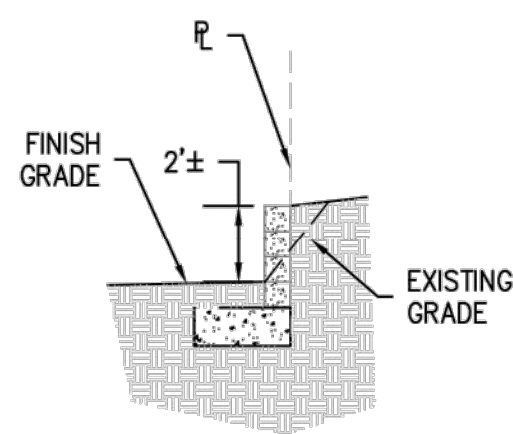
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY)

DATE SUBMITTED: 7/07/22 **By:** THE Group / Ron Hensley

COA STAFF:

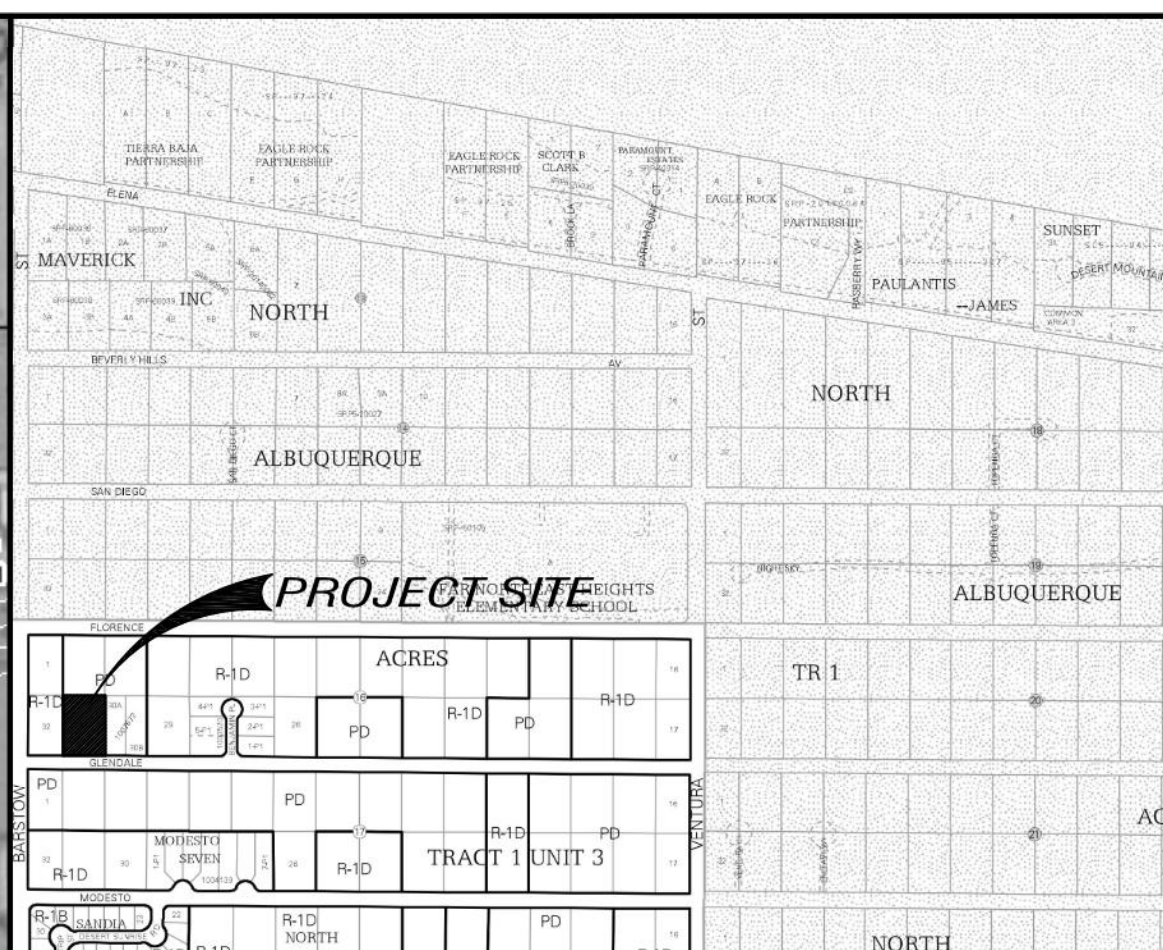
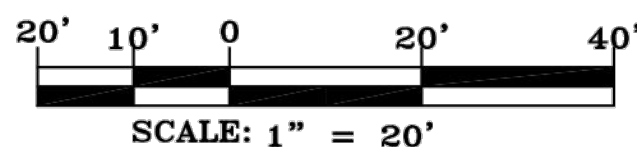
ELECTRONIC SUBMITTAL RECEIVED:

FEE PAID:



SECTION AT PROPERTY LINE

Scale: 1"=5



VICINITY MAP B-20-Z

NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LOCATIONS. THE CONTRACTOR SHALL CONDUCT ADEQUATE INVESTIGATION TO DETERMINE THE LOCATION AND DEPTH OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL INFORM THE ENGINEER OF ANY DISCREPANCIES OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF WORK ADVANCE OF ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH ALL CITY, STATE, AND FEDERAL MUNICIPAL ORDINANCES, RULES, AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTING EXISTING UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0133H, DATED AUGUST 16, 2012 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THE GRADING PLAN.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

HISTORIC DRAINAGE WHICH ENTERED THE SITE FROM THE EAST HAS BEEN SIGNIFICANTLY MODIFIED BY GRADING ACTIVITIES AND ARE LIMITED. NO OTHER ADJACENT PROPERTIES DRAIN TO THIS SITE. THIS SITE DRAINS TO THE LOT TO THE NORTH AND TO THE EXISTING CHANNEL VIA HISTORIC DRAINAGE PATTERNS.

THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

THE APPROPRIATE OUTFALL FOR A PROPOSED DEVELOPMENT IS THE HISTORIC FLOW PATH THROUGH THE ADJACENT PRIVATE PROPERTY (LOT 2), THE HISTORIC FLOW CHARACTERISTICS AND PATH WILL BE MAINTAINED AND THE ADJOINING PROPERTY WILL NOT SEE A CHANGE IN PEAK FLOW OR TOTAL VOLUME. RETENTION PONDS OF ADEQUATE VOLUME TO RETAIN 64% OF THE TOTAL DEVELOPED FLOW FROM EACH PROPOSED LOT FOR A 24 HOUR EVENT. THE VOLUME IS ADEQUATE TO DISCHARGE ONLY HISTORIC FLOW RATES AFTER POINT OF PEAK RUNOFF. HISTORIC DRAINAGE CONDITIONS WILL BE MAINTAINED.

GENERAL NOTES:

THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE WEIGHTED E METHOD.

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO 8.

THE 100-YR 24-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 4 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, CHAPTER 6.

2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.

EQUATIONS:
WEIGHTED E = $E_a \cdot A_a + E_b \cdot A_b + E_c \cdot A_c + E_d \cdot A_d / (\text{Total Area})$

$$\text{FLOW} = Q_a * A_a + Q_b * A_b + Q_c * A_c + Q_d * A_d$$

WHERE FOR 100-YEAR, 24-HOUR STORM(ZONE4)

WHERE FOR 100-YEAR, 24

Ea= 0.76	Qa= 2.09
Eb= 0.95	Qb= 2.73
Ec= 1.20	Qc= 3.41
Ed= 3.34	Qd= 4.78

$$V_{360} = \text{WEIGHTED } E^* (A_a + A_b + A_c + A_d)$$

$$24 \text{ RUNOFF VOLUME} = V_{1440} = V_{360} + A_d * (P_{1440} - P_{360}) / 12 \text{ in/ft}$$

BASIN	AREA (sf)	TREATMENT A % sf	TREATMENT B % sf	TREATMENT C % sf	TREATMENT D % sf	WEIGHTED E	VOLUME (cu.-ft.)	FLOW (cfs)
EXISTING	19305	100% 19305	0% 0	0% 0	0% 0	0.7600	1223	0.28
PROPOSED	19305	56% 10746	19% 3759	0% 0	25% 4800	1.4385	2314	1.926

$$24 \text{ RUNOFF VOLUME} = V_{1440} = 2,314 + 4,800 * (3.60 - 2.64) / 12 \text{ in./ft} = 2,614$$

EROSION CONTROL NOTES

SITE DRAINAGE AS DEPICTED ON THE GRADING PLAN SHALL BE MAINTAINED.












EACH LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR MAINTAINING FIRST FLUSH RUNOFF RETENTION ON THE LOT IMMEDIATELY PRIOR TO DISCHARGE. THE VOLUME SHALL BE EQUAL TO: IMPERVIOUS AREA * (0.44-0.10)/12 IN CUBIC FEET.

IMPERVIOUS AREA / LOT = 4,800 SQ.FT.

REQUIRED VOLUME = $4,800 * (0.44 - 0.10) / 12 = 136 \text{ CU.FT. / LOT}$
 VOLUME PROVIDED = LOT A 1,689 CU.FT. / LOT B 1,682 CU.FT.

LEGEND

RON F. HENSELY, NMPE #21850, OF THE FIRM "THE GROUP HERBETZ CERTIFY THAT THIS PROJECT HAS BEEN GRANTED READY FOR BUILDING PERMIT IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE CITY OF LOS ANGELES PLANS DATED 8/25/2020, THE RECORD INFORMATION ENTERED INTO THE ORIGINAL DESIGN RECORD HAS BEEN OBTAINED BY TIMOTHY J. HENSELY, Z119, OF THE PERSONALLY LISTED SURVEYING FIRM, HERBETZ CERTIFY I HAVE PERSONALLY VISITED THE PROJECT SITE ON 2/08/2022, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL CONDITIONS AND THE RECORD INFORMATION IS CORRECT TO MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY A GUARANTEE OF THE ACCURACY OF THE INFORMATION IN COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN AN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

-  FLOW ARROW
 SLOPE ARROW
 PROPOSED ELEVATION
 EXISTING ELEVATION
 GRADE BREAK
 PROPOSED CONTOUR
 EXISTING CONTOUR
 PROPOSED EASEMENT
 PROPOSED GRADE
 EXISTING WALL
 PROPOSED WALL

DRB No. 2020-003661

THE Group
300 Branding Iron Rd. SE
Rio Rancho, New Mexico 87124
Phone:(505)410-1622

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

**BEING A REPLAT OF LOT 31, BLOCK 3, UNIT 2, TRACT 2, NAA
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	Mo./DAY/YR.	Mo./DAY/YR.
CITY PROJECT No.	ZONE MAP NO. <i>B-20-Z</i>	SHEET <i>1</i>	OF <i>1</i>	



CITY OF ALBUQUERQUE INVOICE

THE GROUP RON HENSLEY

300 BRANDING IRON RD SE

Reference NO: SI-2022-01304

Customer NO: CU-68583079

Date	Description	Amount
7/08/22	2% Technology Fee	\$1.50
7/08/22	HYD Engineer / Architect Certification - Fi	\$75.00

Due Date: **7/08/22**

Total due for this invoice:

\$76.50

Options to pay your Invoice:

1. Online with a credit card: <http://posse.cabq.gov/posse/pub/lms/Default.aspx>
2. In person: Plaza Del Sol, 600 2nd St. NW, Albuquerque, NM 87102

PLEASE RETURN THE BOTTOM PORTION OF THIS INVOICE NOTICE WITH PAYMENT



City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Date: 7/08/22
Amount Due: **\$76.50**
Reference NO: SI-2022-01304
Payment Code: 130
Customer NO: CU-68583079

THE GROUP RON HENSLEY
300 BRANDING IRON RD SE
ALBUQUERQUE, NM 87124



130 0000SI202201304000993551161781725000000000000007650CU68583079