

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

August 25, 2020

Ron Hensley, P.E.  
THE Group  
300 Branding Iron Rd. SE  
Rio Rancho, NM 87124

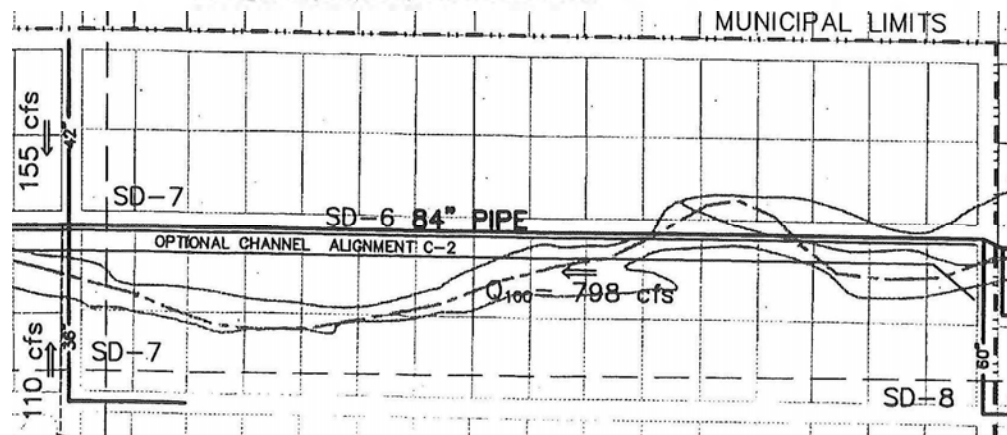
**RE: Glendale Subdivision  
8321 Glendale Ave. NE  
Grading and Drainage Plan  
Engineer's Stamp Date: 08/03/20  
Hydrology File: B20D068**

Dear Mr. Hensley:

Based upon the information provided in your submittal received 08/04/2020, the Grading and Drainage Plan **is not** approved for action by the DRB for Preliminary Plat. The following comments need to be addressed for approval of the above referenced project:

1. Per Section 1-7(B)(2)(e) of the IDO, infrastructure improvements are required. For these lots, that will include sidewalks, curb & gutter, payment and an 84" storm sewer (see below) that was called out in the NAA MDP.

1-7(B)(2)(e) All infrastructure improvements, including but not limited to sidewalks, curb and gutter, pavement, storm drain system, water and sewer, and any other improvements required by the City Engineer have been constructed within the public right-of-way along the property lines of the lot.



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2. All infrastructure improvements that are needed per the IDO must be shown and designed on the Grading & Drainage Plan.
3. Section 1. There is some question to the stability of the proposed retaining wall right next to the existing wall. In accordance with DPM Part 6-4(B), grading and wall construction near the property line may not endanger adjacent property or constrain its use. Please provide structural calculations to show that this design will a hear to the DPM.
4. For all proposed retaining walls, please provided the top of wall elevation at the beginning, middle, and end of the wall. Also state the beginning and end of the walls.
5. As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.
6. Standard review fee of \$300 (for DRB Site) will be required at the time of resubmittal.

PO Box 1293

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** GLENDALE SUBDIVISION **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** B20  
**DRB#:** 2020-003661 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** LOT 31. BLOCK 3, UNIT 2, TRACT 2 NORTH ALBUQUERQUE ACRES  
**City Address:** 8321 GLENDALE AV NE

**Applicant:** THE Group **Contact:** Ron Hensley  
**Address:** 300 Branding Iron Rd. SE, Rio Rancho, NM 87124  
**Phone#:** 505-410-1622 **Fax#:** \_\_\_\_\_ **E-mail:** ron@thegroup.cc  
**Owner:** CLEARBROOK LLC **Contact:** Scott Henry  
**Address:** 8801 Jefferson NE Bldg. A, ALBUQUERQUE, NM 87113  
**Phone#:** 505-858-1800 **Fax#:** \_\_\_\_\_ **E-mail:** scotth@stillbrooke.com

**TYPE OF SUBMITTAL:** ☒ PLAT ( 2 # OF LOTS) ☐ RESIDENCE ☐ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

**DEPARTMENT:** ☐ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☒ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 8/3/20 **By:** THE Group / Ron Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



**T**he **H**ENSLEY **E**NGINEERING **G**ROUP

August 3, 2020

Hydrology Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: 8321 Glendale Ave. N.E. – Grading and Drainage Plan

We are requesting a review of the attached plan in support of the Preliminary Plat of Glendale subdivision. The site is located at 8321 Glendale Ave. N.E. and described as “LOT 31. BLOCK 3, UNIT 2, TRACT 2 NORTH ALBUQUERQUE ACRES”, and the submittal covers the impact of the development.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.  
[ron@thegroup.cc](mailto:ron@thegroup.cc)

