

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 16, 2022

Phillip W. Clark, PE
Clark Consulting Engineers
19 Ryan Rd
Edgewood, NM 87015

RE: 8401 Glendale Ave. NE
Grading and Drainage Plan
Engineer's Stamp Date: 05/28/22
Hydrology File: B20D070

Dear Mr. Clark:

Based upon the information provided in your submittal received 06/02/2022, the Grading and Drainage Plan is approved for Building Permit and Grading Permit. Since this site currently has already been graded, a pad certification is not needed for this project. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PRIOR TO CERTIFICATE OF OCCUPANCY:

1. Engineer's Certification, per the DPM Part 6-14 (F): Engineer's Certification Checklist For Non-Subdivision is required.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Schiffer Home **Building Permit #** _____ **Hydrology File #** B20/D020 (REF.)

DRB# old...1007672 **Platted w** FG **EPC#** _____

Legal Description: Lot 30-A, blk 16, T1 U3, NAA **City Address OR Parcel** 8401 Glendale Ave NE

Applicant/Agent: Clark Consulting Engineers **Contact:** Phil

Address: 19 Ryan Rd, Edgewood, NM 87015 **Phone:** (505) 281-2444

Email: CCEal bq@aol.com

Applicant/Owner: John Schiffer **Contact:** _____

Address: _____ **Phone:** _____

Email: _____

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☒ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: _____

RE-SUBMITTAL: ☐ YES ☒ NO

SECTION _____ : ☐ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☒ GRADING PLAN
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 6/2/22

If any comments - plse call first!

GRADING & DRAINAGE PLAN

CALCULATIONS



THE PROPOSED RESIDENTIAL PROJECT IS LOCATED IN THE NORTH ALBUQUERQUE ACRES AREA OF THE FAR NORTHEAST HEIGHTS OF ALBUQUERQUE. THE GRADING AND DRAINAGE SCHEME HEREON IS IN COMPLIANCE WITH THE BERNALILLO COUNTY FLOOD HAZARD ORDINANCE, 2009, AND THE CURRENT CITY STORM DRAINAGE ORDINANCE. THE PLAN IS REQUIRED IN ORDER TO FACILITATE THE OWNER'S REQUEST FOR BUILDING PERMIT. THE PLAN SHOWS:

- 1. EXISTING CONTOURS, AND SPOT ELEVATIONS AND EXISTING DRAINAGE PATTERNS AND EXISTING STRUCTURES
- 2. PROPOSED IMPROVEMENTS: A 3600 SF RESIDENCE, PRIVATE GRAVEL DRIVEWAY, NEW GRADE ELEVATIONS, WALL, AND LANDSCAPING IMPROVEMENTS.
- 3. CONTINUITY BETWEEN EXISTING AND PROPOSED ELEVATIONS.
- 4. QUANTIFICATION OF DEVELOPED FLOWS GENERATED BY THE IMPROVEMENTS WHICH CONTRIBUTE TO THE EXISTING FLOWS, INCLUDING NEW PONDING REQUIREMENTS.

PRESENTLY, THE SITE IS UNDEVELOPED. THE SITE IS BOUNDED BY UNDEVELOPED PROPERTY TO THE EAST AND WEST. PROPERTY TO THE NORTH IS UNDEVELOPED AND VACANT, GLENDALE AVE. ON THE SOUTH IS A 24 FEET WIDE TEMPORARY ASPHALT SURFACE, CITY MAINTAINED MINOR STREET WITHOUT SIDEWALK OR CURB AND GUTTER. THE SITE TERRAIN SLOPES FROM EAST TO WEST AT ABOUT 3 TO 4% SLOPES.

THE SITE IS NOT WITHIN OR ADJACENT TO A DESIGNATED FEMA FLOOD HAZARD ZONE. DEVELOPED LOT RUNOFF WILL BE PERMITTED TO DRAIN TO THE TEMPORARY NORTH POND. HISTORICAL OUTFALL LOCATIONS WILL REMAIN UNCHANGED WITH DEVELOPMENT. FREE DISCHARGE OF PROJECT RUNOFF IS NOT ACCEPTABLE SINCE DOWNSTREAM DRAINAGE FACILITIES DO NOT EXIST. A PORTION OF SITE RUNOFF IS ROUTED THROUGH PROPOSED LANDSCAPING AS POINT RAINFALL INCLDG. ROOF.

DESIGN CRITERIA

HYDROLOGIC METHODS PER CH. 6, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL (DPM) DATED 2020 FOR CITY OF ALBUQUERQUE.
DISCHARGE RATE: $Q = Q_{PEAK} \times AREA$, "Peak Discharge Rates For Small Watersheds"
VOLUMETRIC DISCHARGE: $VOLUME = E_{Weighted} \times AREA$
 $P100 = 2.43$ inches, Zone 3 Time of Concentration, $TC = 12$ Minutes
DESIGN STORM: 100-YEAR/6-HOUR, 10-YEAR/6-HOUR [] = 10 YEAR VALUES

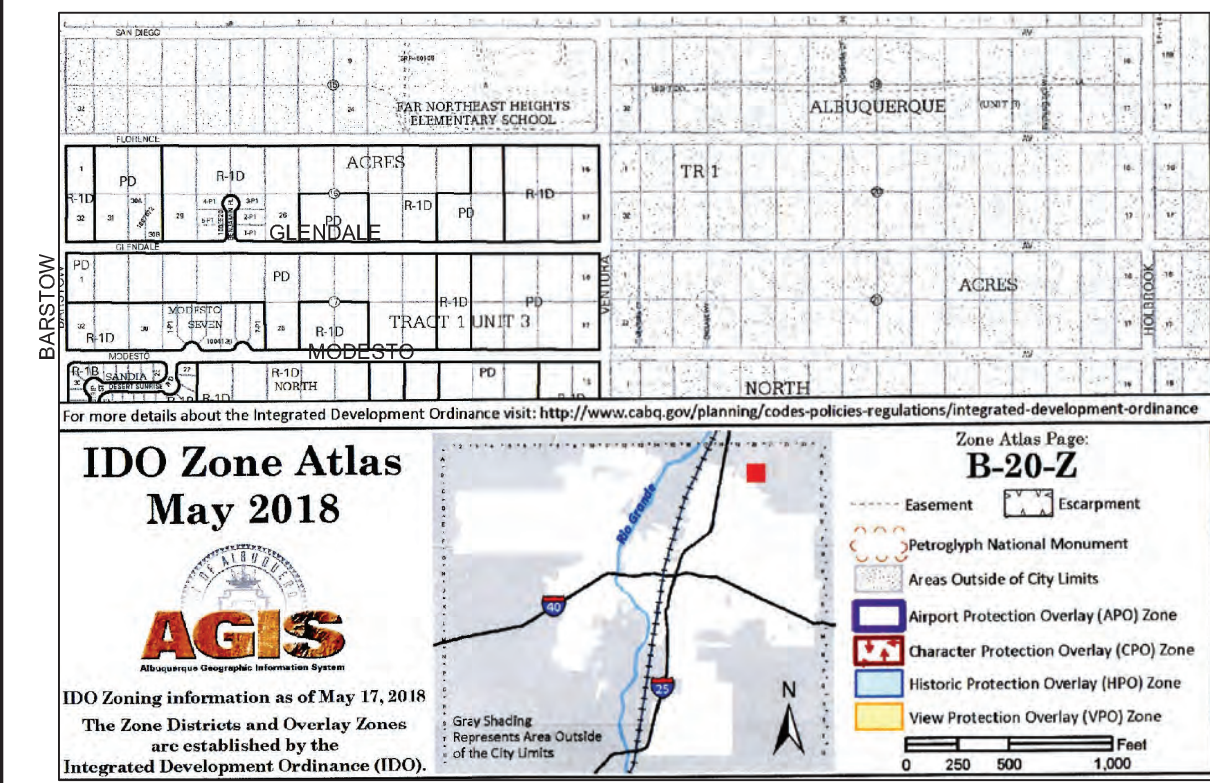
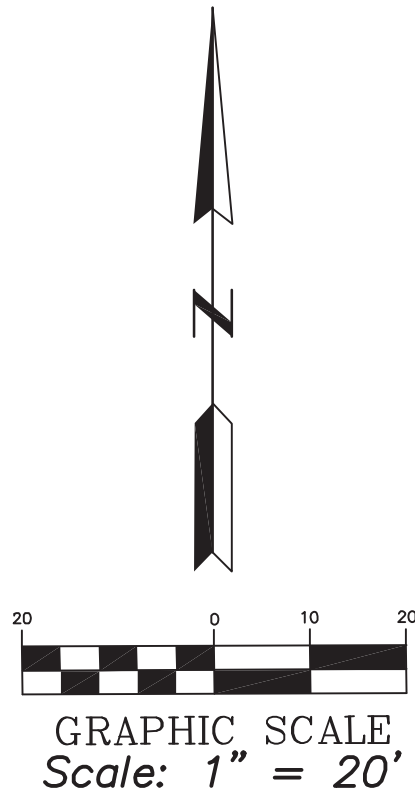
EXISTING CONDITIONS --

LOT AREA = 0.44 ACRES, WHERE EXCESS PRECIP. "W" = 0.67 in. [0.18]
PEAK DISCHARGE, $Q100 = 0.62$ CFS [0.22], WHERE UNIT PEAK DISCHARGE = 1.84 CFS/AC. [0.5]
THEREFORE: VOLUME 100 = 1070 CF

DEVELOPED CONDITIONS

DETERMINE LAND TREATMENTS, PEAK DISCHARGE AND VOLUMETRIC DISCHARGE FOR STUDY AREA

	AREA	LAND TREATMENT	E
UNDEVELOPED	0.09 Ac.(21%)	A	1.84[0.51]
LANDSCAPING/POND	0.12 Ac.(27%)	B	2.49[1.07]
GRAVEL & COMPACTED SOIL	0.13 Ac.(29%)	C	3.17[1.69]
ROOF - PAVEMENT	0.10 Ac.(23%)	D	4.49[2.81]
	0.44 Ac.		
THEREFORE:	$E_{Weighted} = 1.28$ in.	$P-10DAY = 4.1$ IN.	
	$Q100 = 1.3$ CFS	VOLUME 100 = 2044 CF	
		$VOL.10-DAY = 2044 + 1.67 \times 4300/12 = 2642$ CF	



VICINITY MAP ZONE MAP: B - 20

NOTES

1. ALL WORK WITHIN THE RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECS. FOR PUBLIC WORKS CONSTRUCTION, 2020 EDITION W/ UPDATES.
2. AN EXCAVATION/CONSTRUCTION PERMIT IS REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY R.O.W. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL LANDSCAPING AREA SHALL BE SOFT-LINED WITH NATIVE VEGETATION AND/OR GRAVEL.
5. CONTRACTOR SHALL ENSURE THAT NO SITE SOILS/SEDIMENT OR SILT AND WASHOUT AREAS ENTER THE RIGHT-OF-WAYS DURING CONSTRUCTION. IN ACCORDANCE WITH MS PERMITTING STDS.
6. REVEGETATE ALL AREAS DISTURBED DUE TO CONSTRUCTION PER CITY OF ALBUQ. SPEC. 1011, NATIVE SEED MIX.
7. MAXIMUM SITE GRADING WITHOUT EROSION PROTECTION: 2 HORIZONTAL TO 1 VERTICAL, 2:1. < 3' TALL.

LEGEND

- CENTERLINE OF STREET
- EXIST. EDGE OF ROAD
- EXISTING POWER POLE
- 5770 EXISTING CONTOUR
- EA EXISTING EDGE OF ASPHALT
- NEW CONCRETE
- F-F FACE TO FACE OF CURB
- NEW CONTOUR
- FOUND SURVEY MONUMENT
- NEW SPOT ELEVATION
- TGW TOP OF GARDEN WALL
- TW TOP RETAINING WALL

PROJECT DATA

LEGAL DESCRIPTION:
LOT 30-A, BLOCK 16, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES, FILED 9/10/31, BK. D-121.

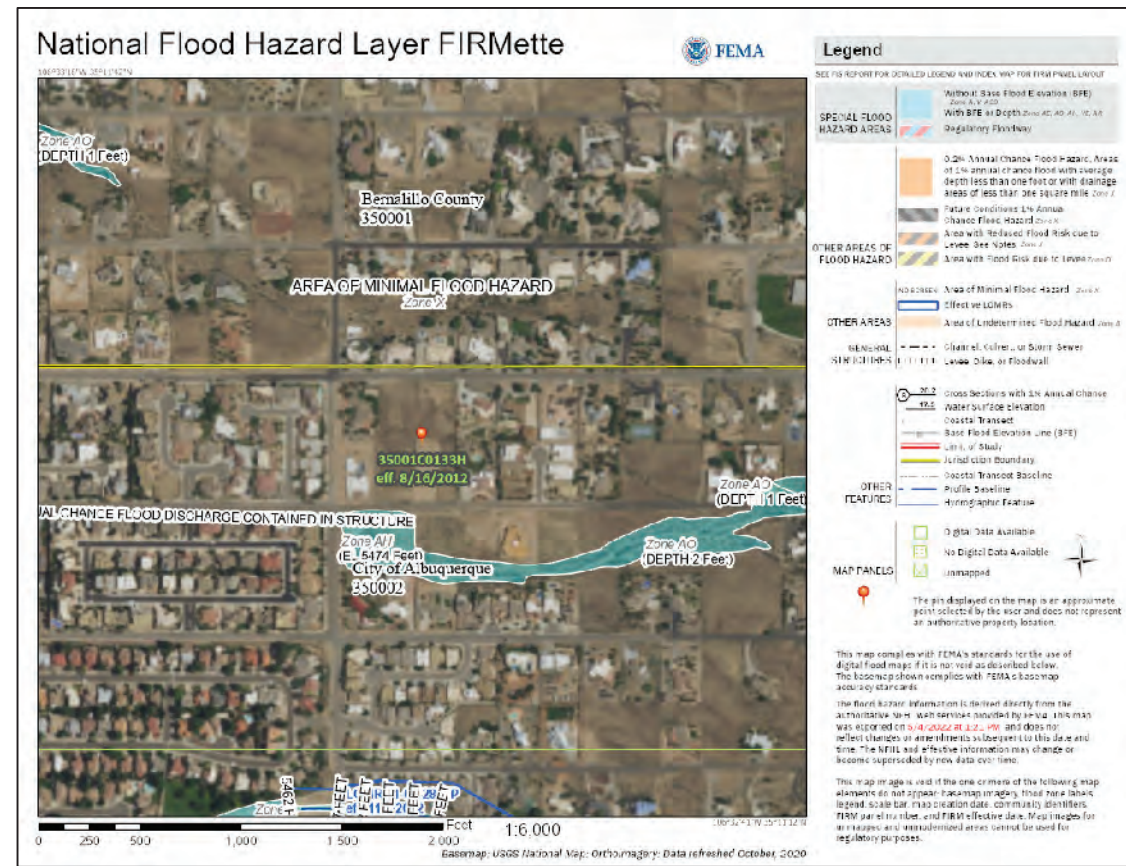
PROJECT BENCHMARK
ACS STATION 1-B20, AN ACS 1 3/4" ALUMINUM DISK STAMPED "ACS BM 1-B20", EPOXYED TO THE TOP OF CONCRETE POST LOCATED AT THE NE QUADRANT INTERSECTION OF MODESTO AND BARSTOW AVENUES NE, ELEVATION 5477.21 (NAVD 88)

TOPOGRAPHIC SURVEY
COMPILED BY CLARK CONSULTING ENGINEERS FROM FIELD TOPOGRAPHIC SURVEYS PERFORMED BY TERRAMETRICS OF NEW MEXICO, JUNE 2009, & SUPPLEMENTED MAY 2022.

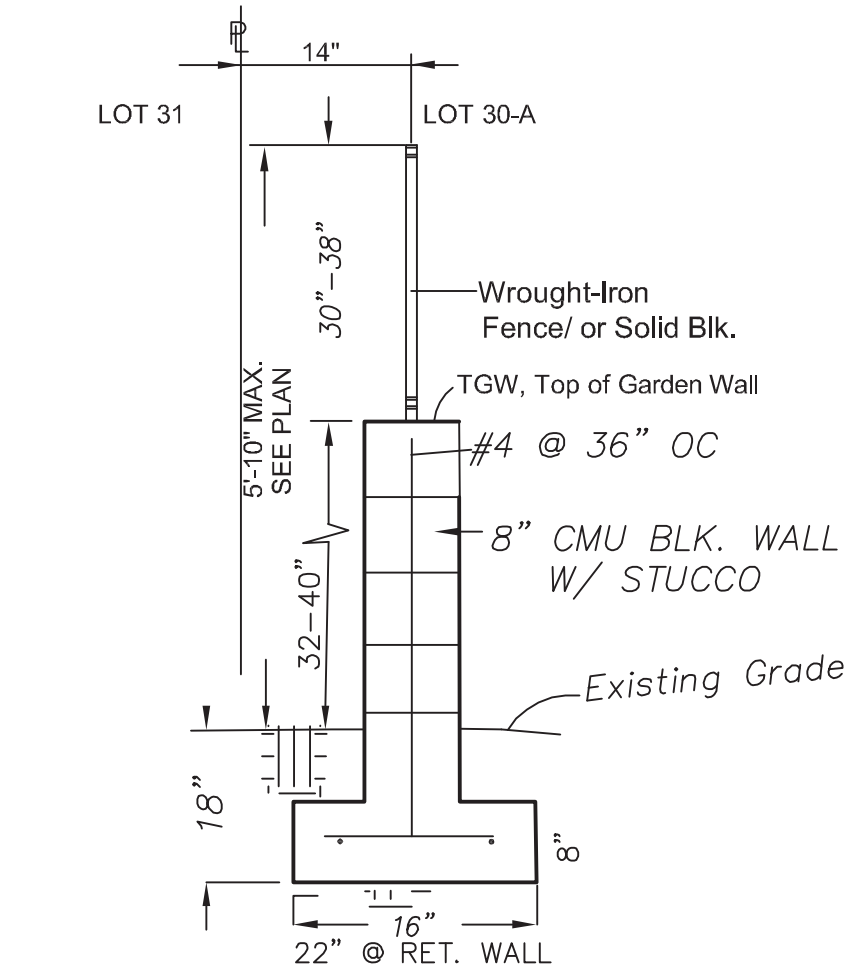
Clark Consulting Engineers
Edgewood, New Mexico 87015
Tele: (505) 281-2444

DATE	REVISION	LOT 30-A, BLOCK 16, TRACT 1 UNIT 3, NORTH ALBUQUERQUE ACRES 8401 GLENDALE AVE NE Grading & Drainage Plan FOR MASTERHOMECRAFTERS, INC.
DESIGNED BY: PWC	DRAWN BY: CCE	JOB #: Schiff_Glendale
CHECKED BY: PWC	DATE: JUNE09/may22	FILE #: sdp

C1.0

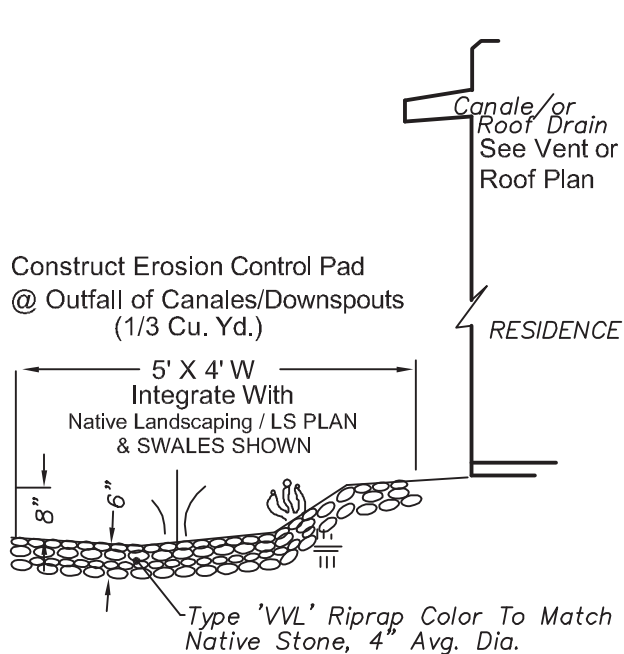


FIRM MAP PANEL # 133 H



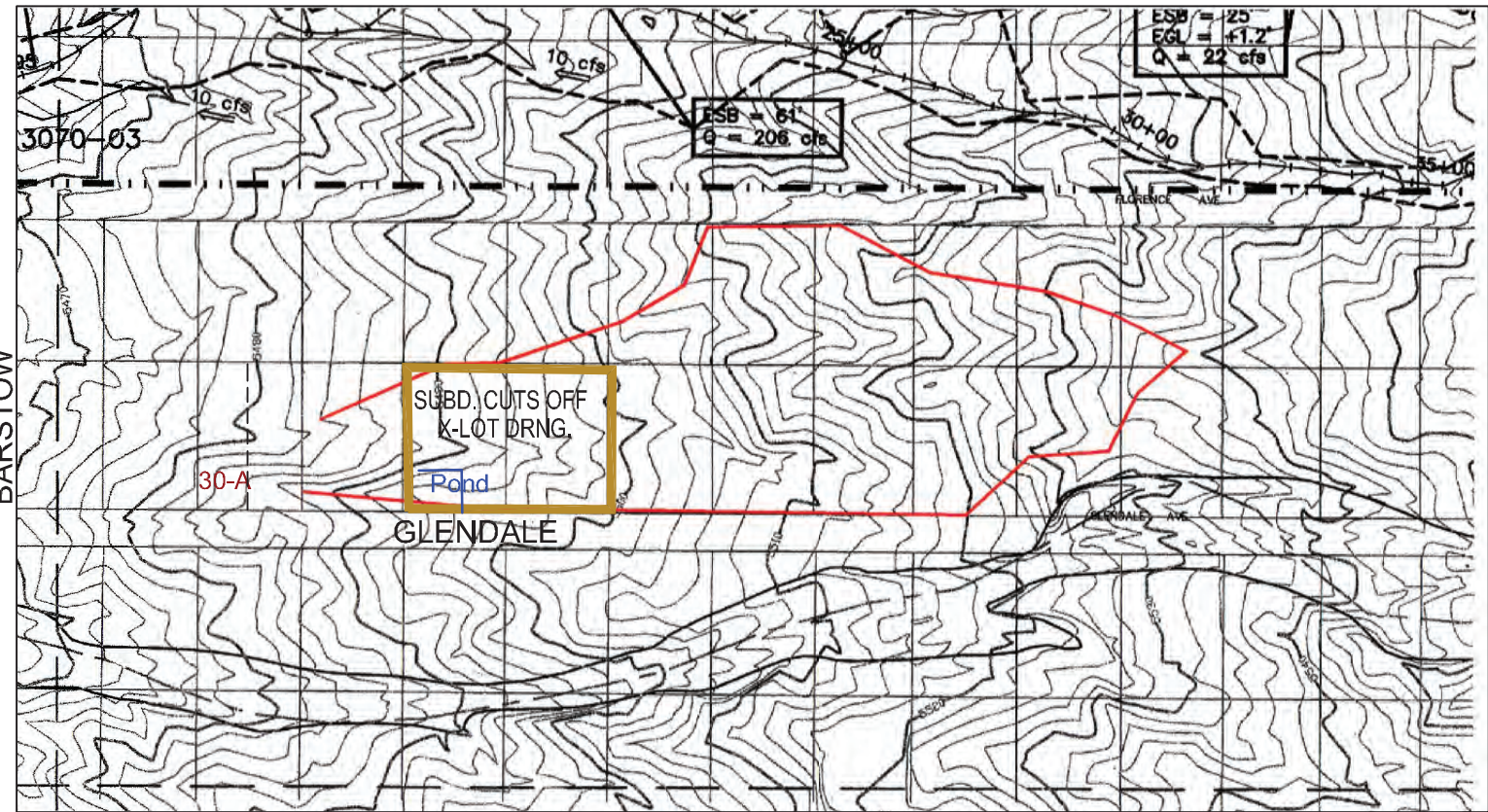
W. Iron Fence WALL

NO SCALE



EROSION CONTROL PAD

NO SCALE



RTI STUDY - NAA MASTER DRAINAGE PLAN, 1999

