

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 8, 2025

Bruce Stidworthy  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: 8901 Modesto Ave NE**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 9/19/2025**  
**Hydrology File: B20D072**  
**Case # HYDR-2025-00358**

Dear Mr. Stidworthy:

Based upon the information provided in your submittal received 10/03/2025, the Grading & Drainage Plan is **not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. Per the DPM, the following must be on the Grading Plan. Please note the Grading Plan must be a stand-alone construction document.
  - a. Please provide a licensed New Mexico civil engineer's stamp with a signature and date.
  - b. Please provide the FIRM Map and flood plain note with effective date.
2. Provide management onsite for the Stormwater Quality Volume (SWQV) in accordance with the new drainage ordinance, § 14-5-2-6 (H). Please show the top and bottom of the ponds along with the volume for each pond. The onsite drainage should be directed to these ponds prior to being collected in a private underground drainage system. Please follow the DPM Article 6-12 Stormwater Quality and Low-Impact Development for the sizing calculations. To calculate the required SWQV, multiply the impervious area draining to the BMP by 0.42 inches for new development sites and 0.26 inches for redevelopment sites. The calculations of both the required and the provided volume of each BMP must be shown on the Grading and Drainage Plan. Each BMP should be labeled on the Grading and Drainage Plan with the required SWQV and associated water surface elevation and the 100-year water surface elevation. Landscaping of surface BMPs is also required to be noted on the Grading and Drainage Plan.
3. Please provide the SWQV calculations for each basin draining to each pond. The stormwater quality ponds need to be sized for the areas draining to them.

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

Sincerely,

A handwritten signature in black ink, appearing to read 'Anthony Montoya, Jr.', is written over a light gray rectangular background.

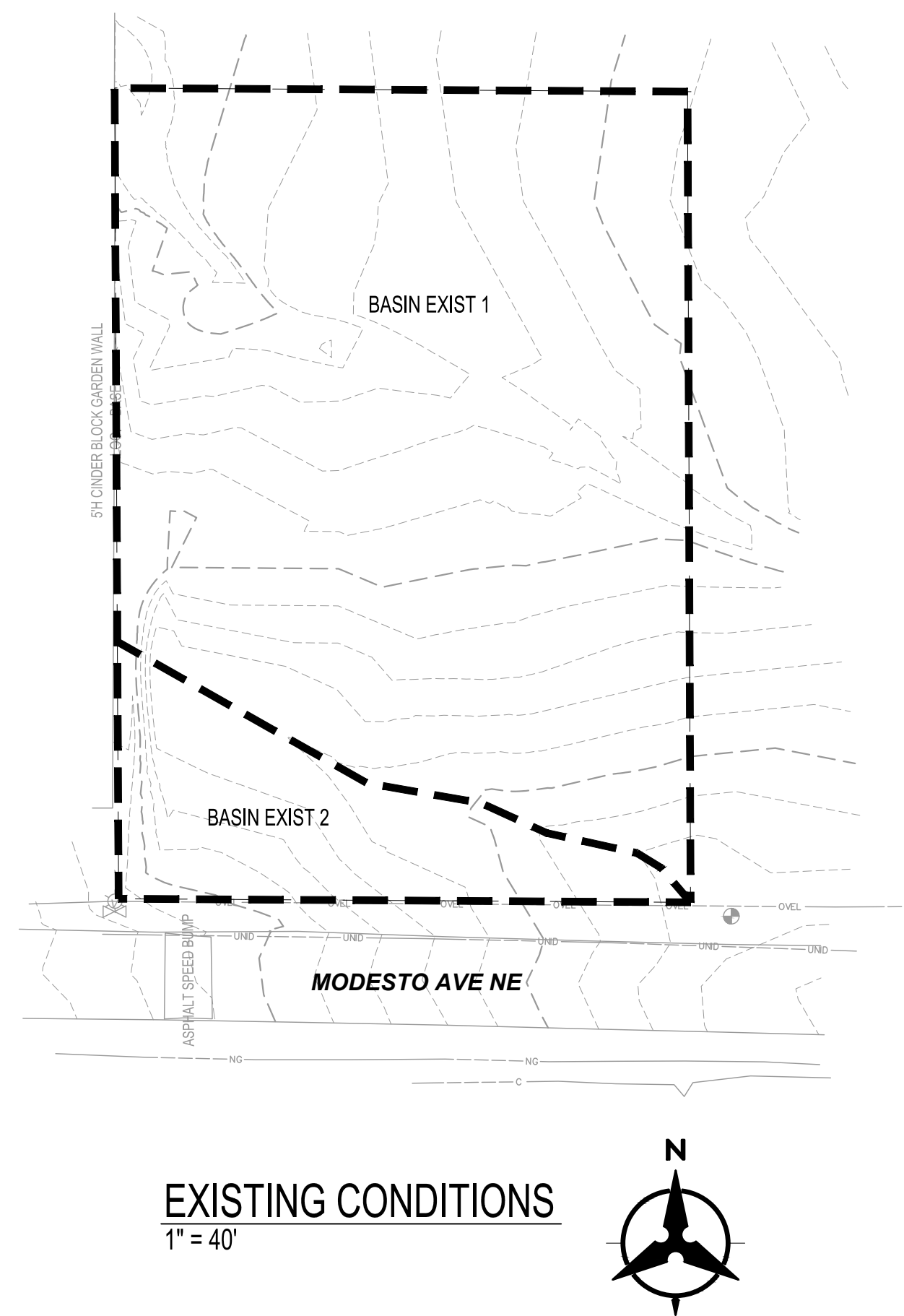
Anthony Montoya, Jr., P.E., C.F.M.  
Senior Engineer, Hydrology  
Planning Department, Development Review Services

PO Box 1293

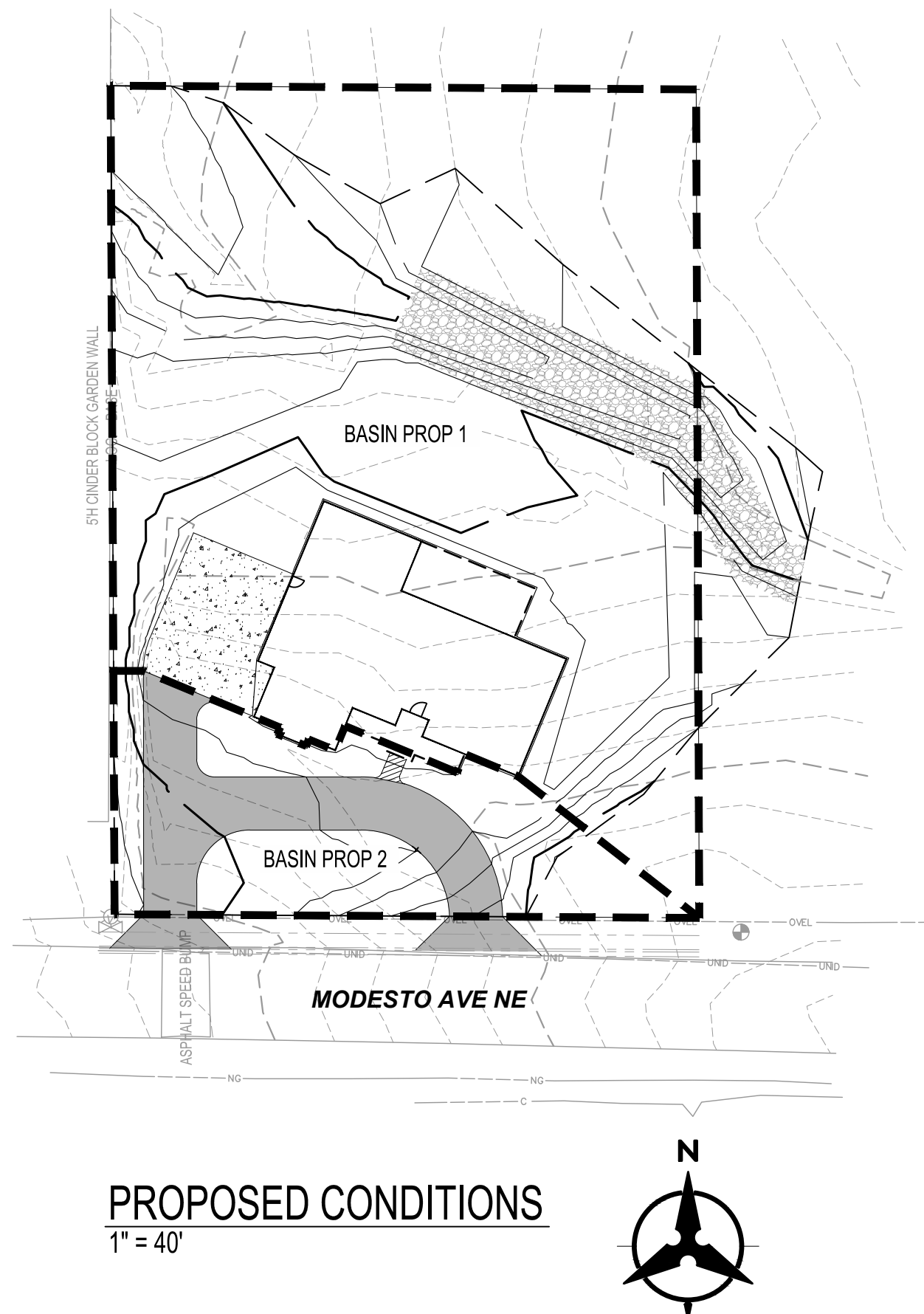
Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



**EXISTING CONDITIONS**  
1" = 40'



**PROPOSED CONDITIONS**  
1" = 40'

**EXISTING CONDITIONS:**

THE SITE IS UNDEVELOPED AND GENERALLY SLOPES FROM EAST TO WEST WITH AN UNNAMED TRIBUTARY TO THE EL CAMINO ARROYO PASSING THROUGH THE SITE. SLOPES ARE GENERALLY MILD IN THE RANGE OF 2 TO 3%. VEGETATION IS TYPICAL FOR THE AREA CONSISTING OF NATIVE VEGETATION. THE NORTHERLY PORTION OF THE SITE (BASIN EXIST 1) DRAINS INTO THE EL CAMINO ARROYO TRIBUTARY AND EXITS THE SITE NEAR THE NORTHWEST CORNER. THE SOUTHERLY PORTION OF THE SITE (BASIN EXIST 2) SHEET FLOWS TOWARD THE SOUTHWEST CORNER OF THE SITE AND DISCHARGES TO THE MODESTO RIGHT-OF-WAY.

THE SITE IS LOCATED WITHIN PRECIPITATION ZONE 3 PER DPM FIGURE 6.2.3.

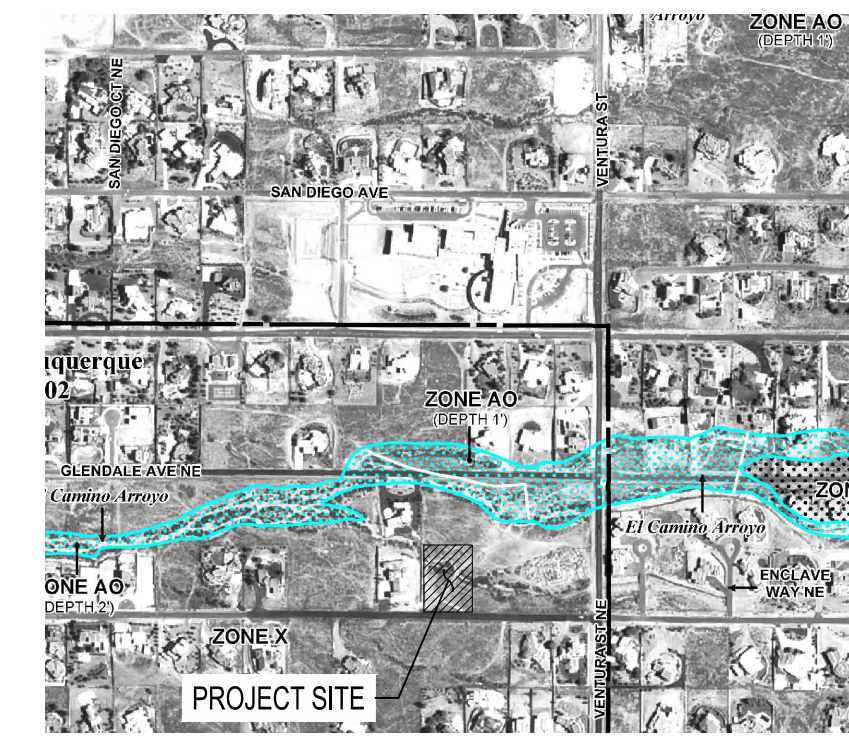
**EXISTING EL CAMINO ARROYO TRIBUTARY:**

THE SMALL ARROYO THAT PASSES THROUGH THE SITE CONVEYS A FLOW OF 302 CFS UNDER FULLY DEVELOPED CONDITIONS BASED ON THE ANALYSIS FOUND IN THE ACCEPTED MASTER DRAINAGE PLAN FOR THE AREA; NAMELY THE FINAL MASTER DRAINAGE PLAN FOR NORTH ALBUQUERQUE ACRES PREPARED BY RESOURCE TECHNOLOGY INC. FOR THE CITY OF ALBUQUERQUE (REFERRED TO HEREAFTER AS MDP). THE FLOWRATE OF 302 CFS IS BASED ON THE COMBINED DISCHARGE OF BASINS 203.2 AND 203.1. THE FLOWRATE IS FURTHER CONFIRMED IN THE FIGURE 5C AND IS BASED ON THE FLOWRATE FOUND WHERE THE SUBJECT TRIBUTARY CROSSES VENTURA. THERE IS A SMALL AREA DOWNSTREAM OF VENTURA THAT CONTRIBUTES FLOW TO THE ARROYO, BUT IT IS CONSIDERED NEGLIGIBLE AND FURTHER IT IS OFFSET BY THE 30% IMPERVIOUS ASSUMED IN THE MDP FOR UPSTREAM BASIN 203.2, WHICH SIGNIFICANTLY EXCEEDS THE ACTUAL IMPERVIOUS PERCENTAGE FOUND IN THAT BASIN AREA.

**PROPOSED CONDITIONS:**

THE PROPOSED CONDITIONS MIRROR EXISTING CONDITIONS WITH RESPECT TO THE BASINS AND POINTS OF DISCHARGE. THE NORTHERLY BASIN (BASIN PROP 1) INCLUDES MOST OF THE HOME AND ASSOCIATED IMPERVIOUS AREAS (PORCHES, DRIVEWAYS). THE SOUTHERLY BASIN (BASIN PROP 2) CONTAINS THE AREA SOUTH OF THE HOME AND MINIMAL IMPERVIOUS AREA FOR THE FRONT PORCH AND ASSOCIATED SIDEWALK. THE TOTAL DISCHARGE FROM THE SITE IS LOWER THAN THE ALLOWABLE DISCHARGE FOR THE SITE AS GIVEN IN FIGURE 2A OF THE MDP, WHERE THE SITE IS IDENTIFIED AS LOW DENSITY RESIDENTIAL, AND TABLE 2 OF THE MDP WHICH IDENTIFIES THE ASSUMED LAND TREATMENT PERCENTAGES FOR LOW DENSITY RESIDENTIAL. SINCE THE TOTAL DISCHARGE FROM THE SITE IS LOWER THAN ALLOWED UNDER THE MDP, NO PONDING IS PROPOSED. HOWEVER, THE SITE IS DESIGNED TO MAXIMIZE PERVIOUS AREAS AND TO CREATE LONG FLOWPATHS FOR RUNOFF FROM IMPERVIOUS AREAS IN ORDER TO MAXIMIZE INFILTRATION OF RUNOFF FROM STORM EVENTS.

THE TREATMENT FOR THE UNNAMED TRIBUTARY OF THE EL CAMINO ARROYO IS RIP-RAP LINING. THE DESIGN FLOW RATE IS 302 CFS BASED ON THE MDP AS DESCRIBED ABOVE. THE RIP-RAP WAS SIZED USING THE SHEAR RATIO METHOD AS DESCRIBED IN "DESIGN GUIDELINES FOR FLEXIBLE CHANNELS" PREPARED BY R.J. HAGEN FOR AMAFCA. BASED ON THAT METHODOLOGY, RIP-RAP WITH  $D_{50}$  OF 8" AND A RIP-RAP DEPTH OF 12" ( $D_{50} \times 1.5$ ) IS ADEQUATE TO PROVIDE A SHEAR RATIO OF LESS THAN 1.0 FOR BOTH THE SIDE SLOPES AND BOTTOM OF THE ARROYO. THE CROSS SECTION IS AS SHOWN ON THE GRADING PLAN. DEPTH, VELOCITY AND OTHER FLOW CHARACTERISTICS WERE COMPUTED UTILIZING MANNING'S EQUATION WITH A N VALUE OF .045.



**FIRM**  
FLOOD INSURANCE RATE MAP  
BERNALILLO COUNTY, NEW MEXICO AND INCORPORATED AREAS  
PANEL 133 OF 825



VICINITY MAP: N.T.S. ZONE MAP NO.: B-20-Z

**LEGAL DESCRIPTION:**

LOT 20, BLOCK 17, TRACT 1, UNIT 3 NORTH ALBUQUERQUE ACRES

**LEGEND**

- GRADING LIMITS
- DRAINAGE BASIN BOUNDARY
- NEW GRAVEL DRIVEWAY
- NEW CONCRETE DRIVEWAY
- NEW CONCRETE SIDEWALK
- NEW RIP RAP

<b>Stidworthy Residence, 8901 Modesto</b>										
<b>Exist &amp; Proposed Developed Conditions Basin Data Table</b>										
This table is based on the DPM Part 6-2(A), Zone: 3										
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr)	Q(100yr-6hr)	WT E	V(100yr-6hr)
			A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)
Exist 1	32700	0.75	95.0%	0.0%	5.0%	0.0%	1.91	1.43	0.69	1883
Exist 2	5915	0.14	95.0%	0.0%	5.0%	0.0%	1.91	0.26	0.69	341
<b>Total Exist</b>	<b>38615</b>	<b>0.89</b>						<b>1.69</b>		<b>2223.58</b>
Prop. 1	31561	0.72	20.0%	20.0%	42.3%	17.7%	3.00	2.18	1.22	3220
Prop. 2	7054	0.16	20.0%	20.0%	55.0%	5.0%	2.83	0.46	1.03	608
<b>Total Prop.</b>	<b>38615</b>	<b>0.89</b>						<b>2.63</b>		<b>3828.42</b>
<b>Allowed</b>	<b>38615</b>	<b>0.89</b>	<b>20.0%</b>	<b>20.0%</b>	<b>34.0%</b>	<b>26.0%</b>	<b>3.11</b>	<b>2.76</b>	<b>1.35</b>	<b>4336</b>

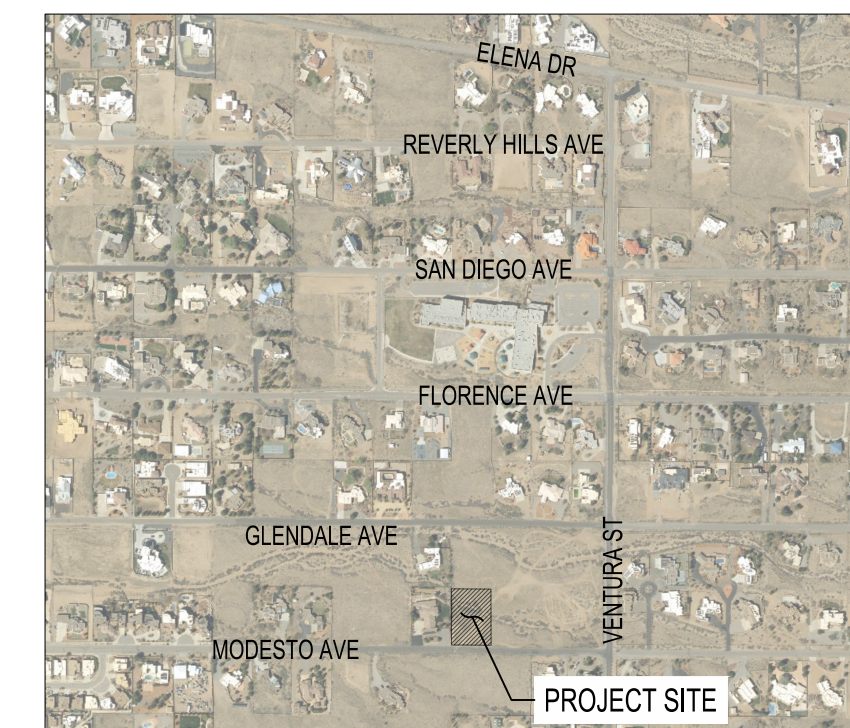


CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

**8901 MODESTO**

**DRAINAGE MANAGEMENT PLAN**

DRAWN BY:	DO	DATE:	9/19/2025
CHECKED BY:	BS	BHI PROJECT NO.	20260201
		SHEET NO.	1 OF 2



VICINITY MAP: N.T.S. ZONE MAP NO.: B-20-Z

**LEGAL DESCRIPTION:**

LOT 20, BLOCK 17, TRACT 1, UNIT 3 NORTH ALBUQUERQUE ACRES

**LEGEND**

- INSTALL GRAVEL DRIVEWAY
- CONCRETE SIDEWALK
- CONCRETE DRIVEWAY
- RIP RAP
- PROPERTY LINE
- LIMITS OF GRADING
- PROPOSED SPOT ELEVATION
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- BLOCK WALL
- DIRECTION OF DRAINAGE

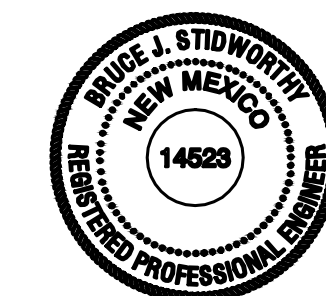
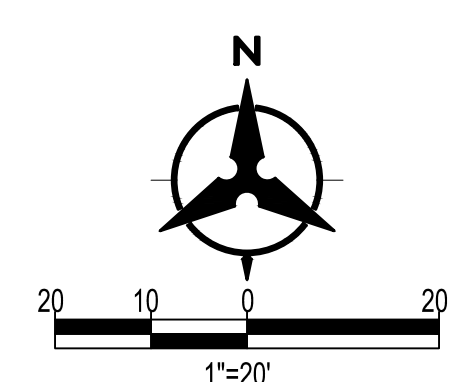
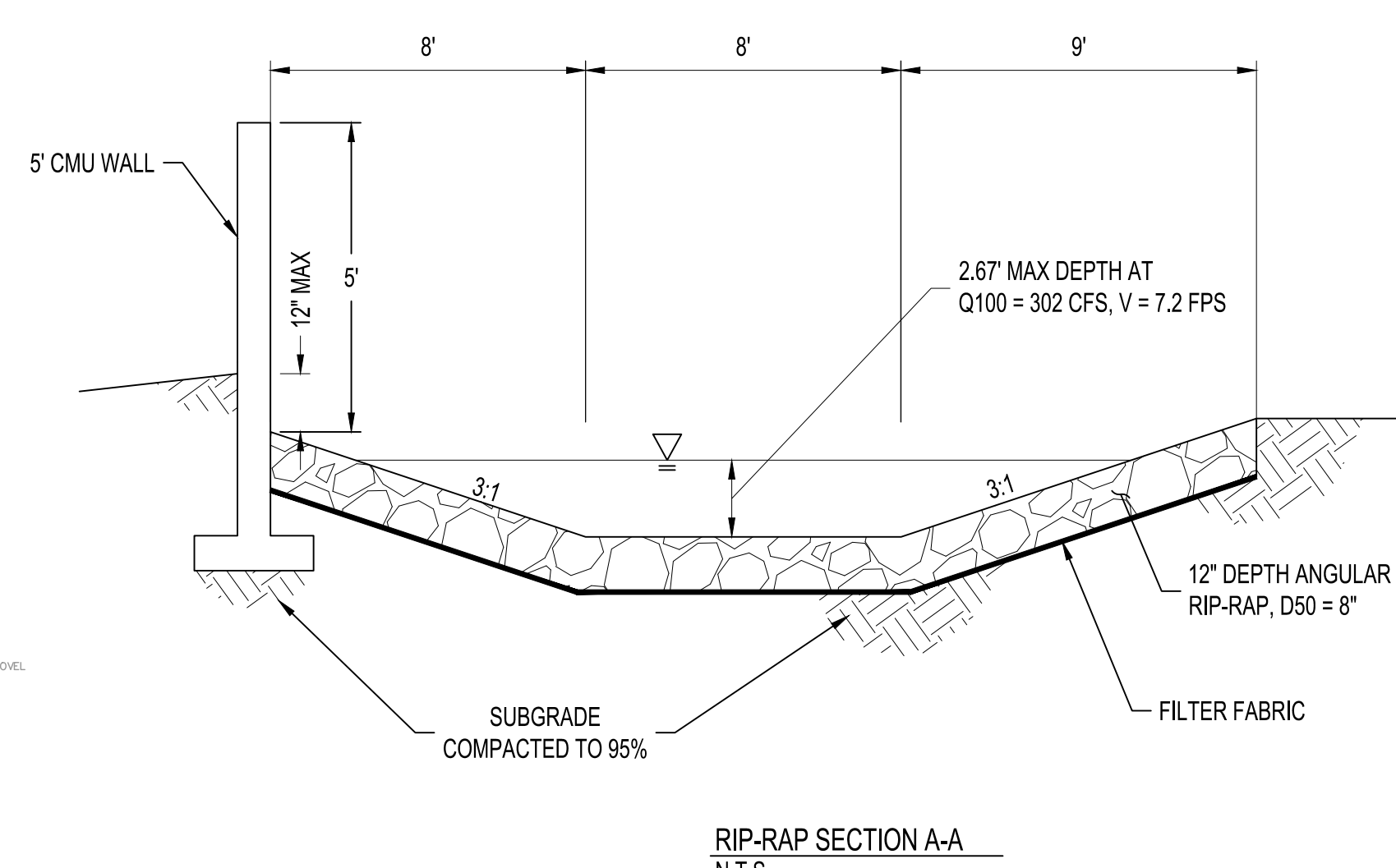
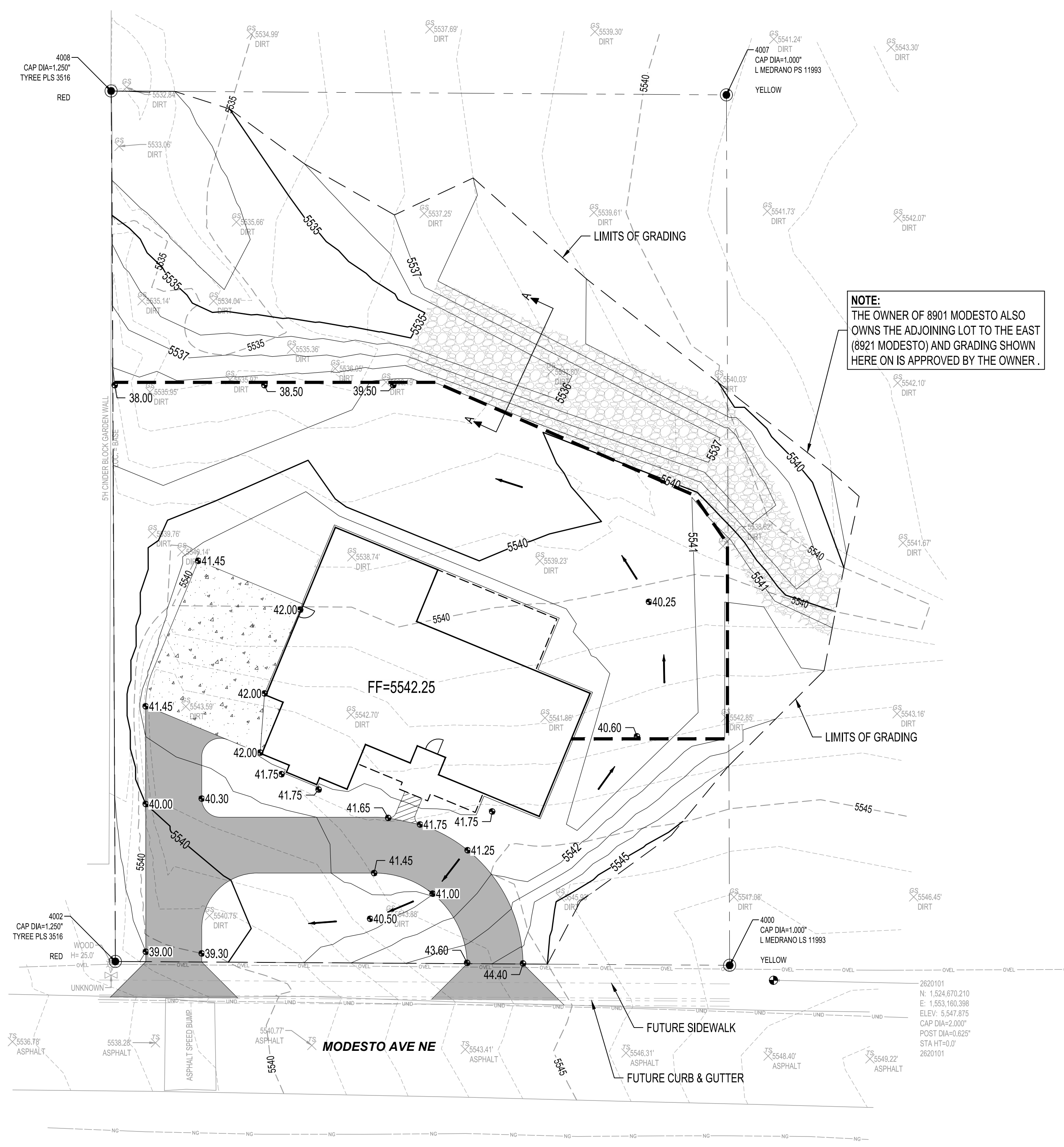
**GENERAL NOTES**

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
5. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
6. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
7. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
8. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
9. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
10. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
11. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
12. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT.
4. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE USED IN NON-STRUCTURAL FILLS.
5. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
6. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
7. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
8. GRADING SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

**NOTE:**  
THE OWNER OF 8901 MODESTO ALSO OWNS THE ADJOINING LOT TO THE EAST (8921 MODESTO) AND GRADING SHOWN HERE ON IS APPROVED BY THE OWNER.



CALL NM ONE-CALL SYSTEM SEVEN (7) DAYS PRIOR TO ANY EXCAVATION

**8901 MODESTO**

**GRADING PLAN**

DRAWN BY:	DO	DATE:	9/19/2025
CHECKED BY:	BS	BHI PROJECT NO.:	20260201
		SHEET NO.:	2 OF 2

BHI JOB NO. 20260201

File: 3-06-2025 - 11:41 am - Placed by: DDU/MAS  
 P:\20260201\CP\Plan\General\20260201\_Grading.rvt