

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 2, 2026

John Stapleton, P.E.  
Community Design Solutions, LLC  
9384 Valley View Dr NW  
Albuquerque, NM 87114

**RE: No Address – Paseo Oeste  
Conceptual Grading and Drainage Plan  
Engineer's Stamp Date: N/A  
Hydrology File: C08D002  
Case # HYDR-2026-00025**

Dear Mr. Stapleton:

PO Box 1293

Based upon the information provided in your submittal 1/29/2025, the Conceptual Grading and Drainage Plan **is not approved** for subdivision. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

1. Per the DPM Table 6.14.25, site plans and subdivisions greater than 10 lots or 5 acres require submittal of the Conceptual Grading & Drainage Plan and the Drainage Report.

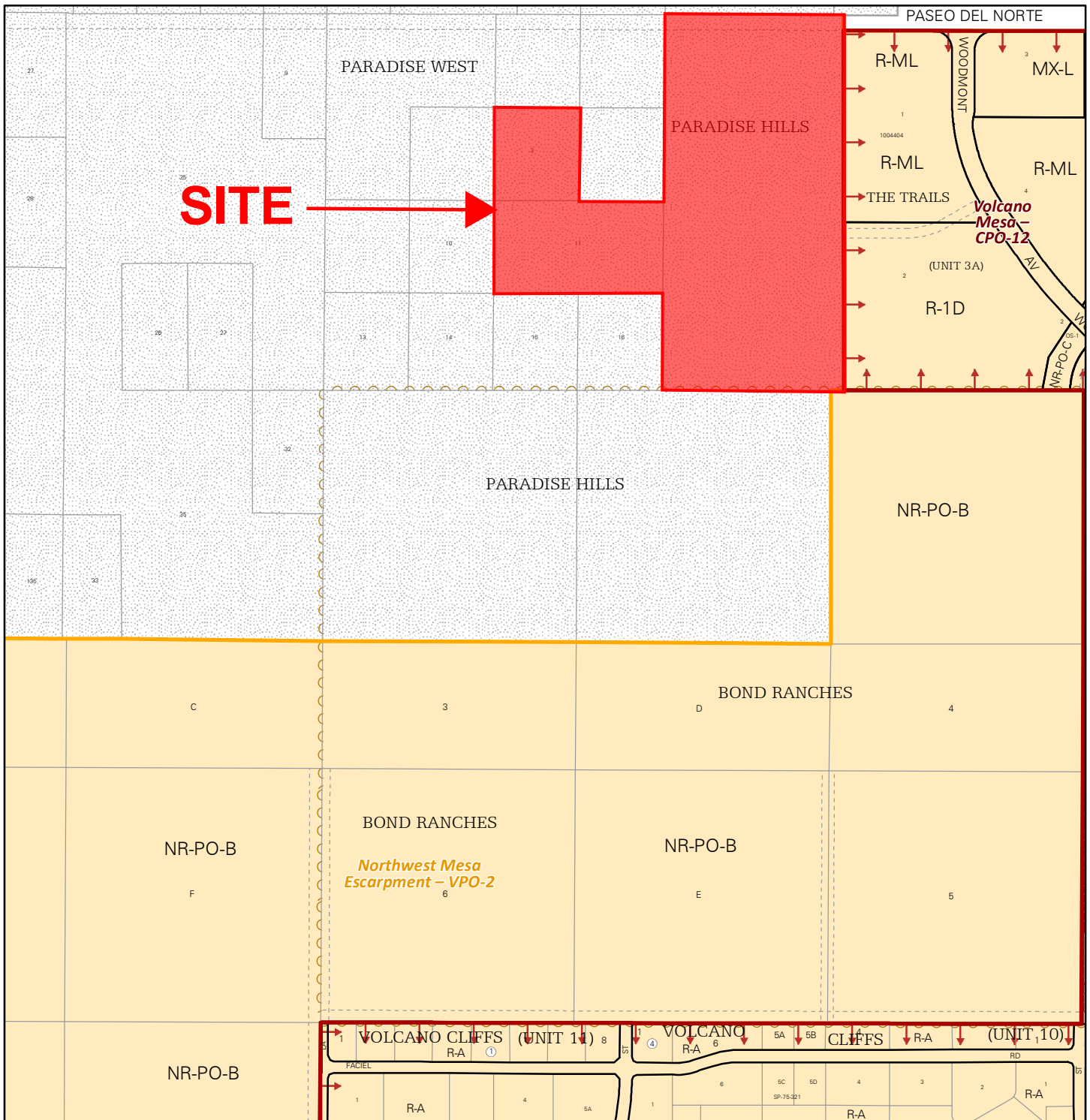
NM 87103

If you have any questions, please contact me at 505-924-3995 or [baileythompson@cabq.gov](mailto:baileythompson@cabq.gov).

Sincerely,

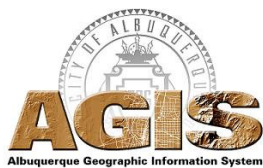
www.cabq.gov

Bailey Thompson, E.I.T.  
Engineer Associate, Hydrology  
Planning Department, Development Review Services

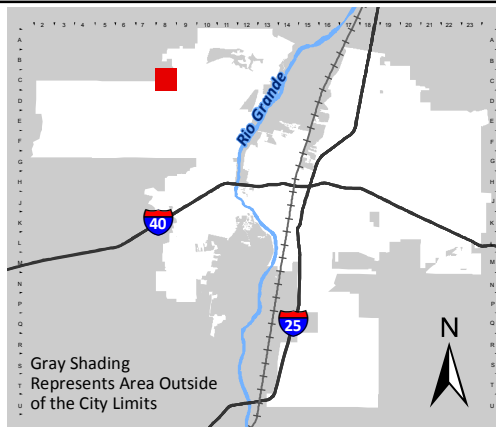


For more details about the Integrated Development Ordinance visit: <http://www.cabq.gov/planning/codes-policies-regulations/integrated-development-ordinance>

# IDO Zone Atlas May 2018

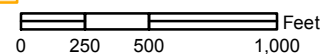


IDO Zoning information as of May 17, 2018  
The Zone Districts and Overlay Zones  
are established by the  
Integrated Development Ordinance (IDO).



Zone Atlas Page:  
**C-08-Z**

- Easement
- Escarpment
- Petroglyph National Monument
- Areas Outside of City Limits
- Airport Protection Overlay (APO) Zone
- Character Protection Overlay (CPO) Zone
- Historic Protection Overlay (HPO) Zone
- View Protection Overlay (VPO) Zone



# PASEO OESTE EXISTING CONDITIONS

January 15, 2026

1 OF 2

## DRAINAGE NARRATIVE:

THE PROPOSED DEVELOPMENT INCLUDES 264 SINGLE-FAMILY DETACHED RESIDENTIAL LOTS ON APPROXIMATELY 54.5 ACRES. THE PROPERTY IS CURRENTLY UNDEVELOPED AND LOCATED IN BERNALILLO COUNTY, OUTSIDE THE ALBUQUERQUE CITY LIMITS. THE SITE IS BORDERED BY THE CITY OF ALBUQUERQUE TO THE EAST (INCLUDING THE EXISTING CATALONIA SUBDIVISION AND A PROPOSED APARTMENT COMPLEX THAT ARE PART OF THE TRAILS), PASEO DEL NORTE TO THE NORTH, THE PETROGLYPH MONUMENT TO THE SOUTH, AND UNDEVELOPED LAND TO THE WEST.

THIS DRAINAGE PLAN IS PRELIMINARY AND CONCEPTUAL IN NATURE. FINAL DESIGN DETAILS—INCLUDING DEVELOPED FLOW CALCULATIONS, STORM DRAIN SIZING, INLET REQUIREMENTS, AND POND DIMENSIONS—WILL BE DETERMINED DURING PREPARATION OF THE FINAL GRADING AND DRAINAGE PLAN AT THE TIME OF THE PRELIMINARY PLAT SUBMITTAL.

## EXISTING CONDITIONS:

THE OVERALL SITE DRAINS IN A GENERAL DIRECTION FROM WEST TO EAST. THE EXISTING TOPOGRAPHY AND BASINS ARE SHOWN ON THIS SHEET.

## TEMPORARY POND A:

CONTRIBUTING BASINS: EX BASIN 1, EX BASIN 6, EX BASIN 7 EX BASIN 9. EX BASIN 9 (1.0 CFS) FLOWS EAST AND JOINS EX BASIN 1. EX BASIN 6 (3.2) FLOWS EAST AND JOINS BASIN 1. EX BASIN 7 (1.8 CFS), EX BASIN 1 (43.6 CFS) WITH A TOTAL FLOW OF 49.6 CFS FLOWS INTO TEMPORARY POND A NEAR THE END OF GIRONA AVE. THIS POND HAS AN ALLOWABLE DISCHARGE OF 37 CFS (PER CATALONIA DRAINAGE REPORT DATED 03/25/20) INTO THE STORM DRAIN IN GIRONA AVE.

EX BASIN 2 (18.1 CFS) FLOWS EAST ONTO THE ADJACENT PROPERTY. THE PROPOSED TRAILS MASTER PLAN CONCEPTUAL GRADING AND DRAINAGE PLAN PROPOSES TO AT A DROP INLET TO INTERCEPT 9 CFS FROM THIS BASIN AS A TEMPORARY MEASURE. WITH THE DEVELOPMENT OF PASEO OESTE THIS FLOW WILL BE DIVERTED AWAY FROM THIS

EX BASIN 3 (6.6 CFS) FLOWS NORTH EAST AND CONTUNUES DOWN THE PASEO DEL NORTE CORRIDOR.

EX BASIN 4 (7.9 CFS) FLOWS SOUTH EAST AND RUNS DOWN THE UNDEVELOPED LAND SOUTH.

EX BASIN 5 (5.9 CFS) FLOWS NORTH EAST OFF OFF THE SITE INTO UNDEVELOPED LAND.

EX BASIN 8 (1.7 CFS) FLOWS SOUTH EAST AND OFF THE SITE INTO UNDEVELOPED LAND.

EX BASIN 10 CONTAINS A WATER TANK AND AN EXISTING POND. ALL RUNOFF IS CONTAINED ONSITE.

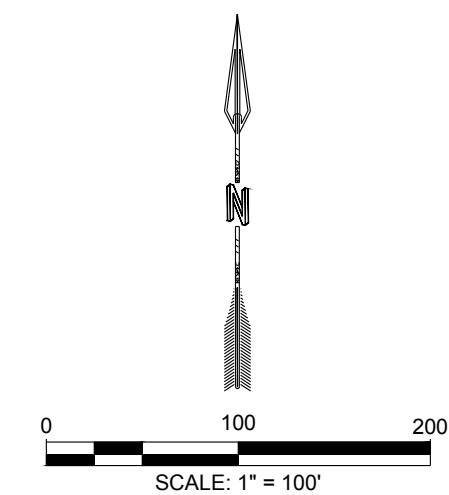
## HYDROLOGY:

EXISTING CONDITIONS WERE CALCULATED USING THE CITY OF ALBUQUERQUE DPM SECTION 6-2(A)(4)

A = 0.55 B = 0.73 C = 0.95 D = 2.24

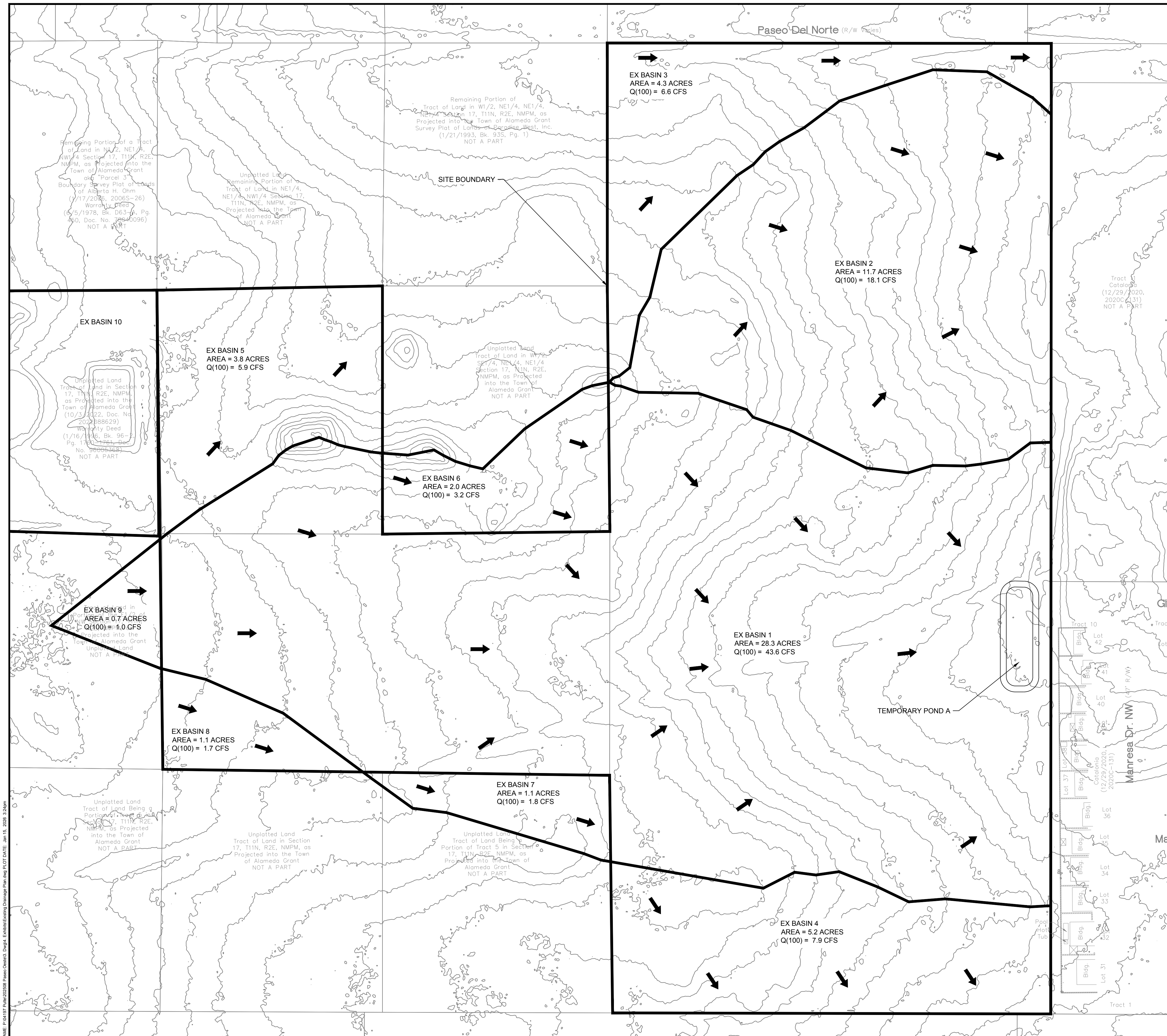
## PROPOSED CONDITIONS

Subbasin	A (ac)	A	B	C	D	Q (cfs)	V (acre/ft)	CFS/Acre
EX BASIN 1	28.3	28.3	0.0	0.0	0.0	43.6	1.983	1.5
EX BASIN 2	11.7	11.7	0.0	0.0	0.0	18.1	0.821	1.5
EX BASIN 3	4.3	4.3	0.0	0.0	0.0	6.6	0.301	1.5
EX BASIN 4	5.2	5.2	0.0	0.0	0.0	7.9	0.381	1.5
EX BASIN 5	3.8	3.8	0.0	0.0	0.0	5.9	0.268	1.5
EX BASIN 6	2.0	2.0	0.0	0.0	0.0	3.2	0.143	1.5
EX BASIN 7	1.1	1.1	0.0	0.0	0.0	1.8	0.080	1.5
EX BASIN 8	1.1	1.1	0.0	0.0	0.0	1.7	0.078	1.5
EX BASIN 9	0.7	0.7	0.0	0.0	0.0	1.0	0.046	1.5



**CDS**

COMMUNITY DESIGN SOLUTIONS, LLC  
9384 VALLEY VIEW DR NW, SUITE 100  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: (505)366-4187



DATE: 01/15/2026 10:00:00 AM PROJECT: PASEO OESTE DRAINAGE PLAN DATE: JAN 15, 2026 10:00 AM

