

No. Date Issue / Description  
 10/27/12 STORM DRAIN REVISION

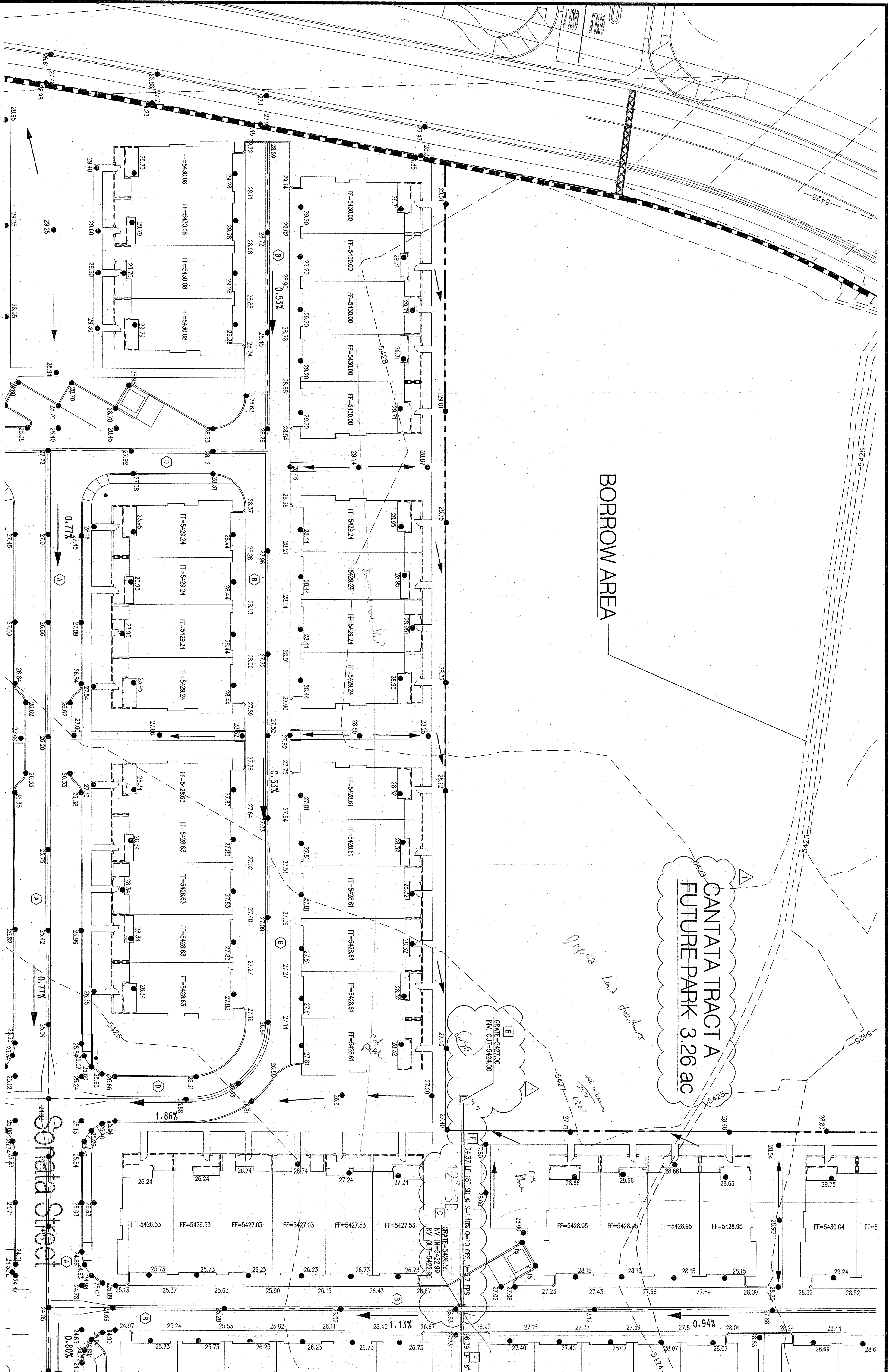
Zone Atlas C-9	SHEET 1
	SHEET 2
	SHEET 3
	SHEET 4
	SHEET 5

**GENERAL NOTES**

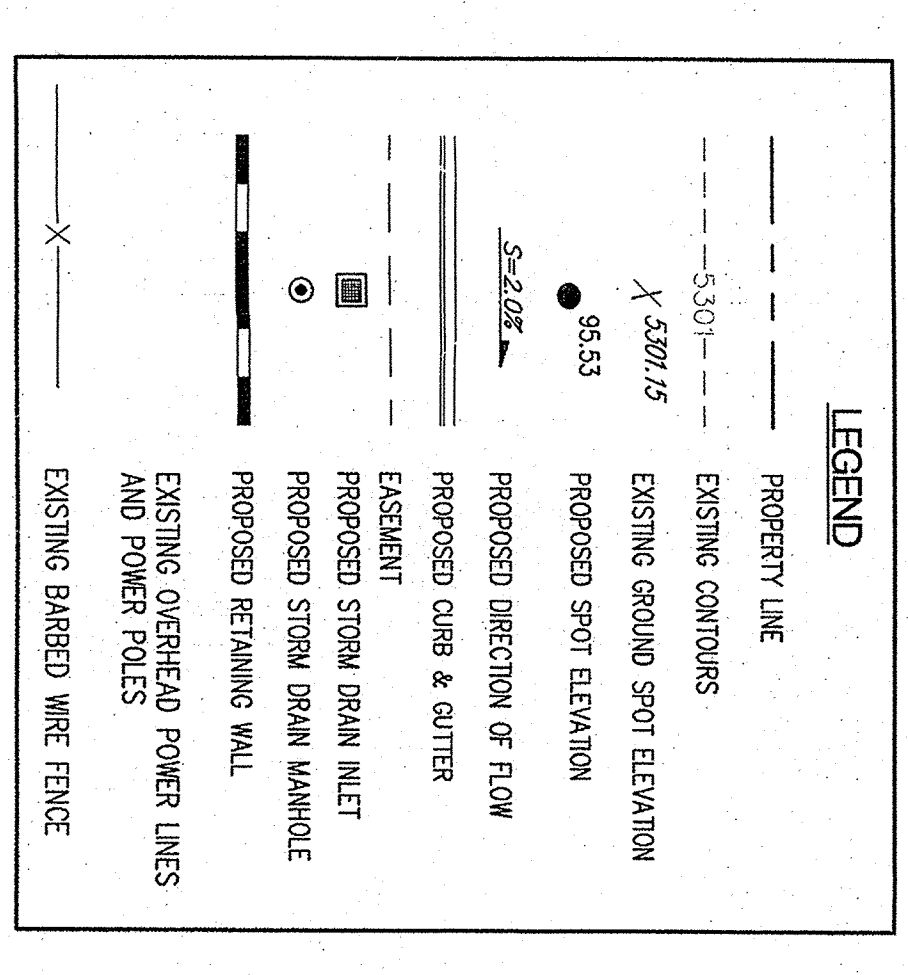
1. ALL WORK IS TO BE ACCORDANCE WITH THE CONTRACT AND THE SPECIFICATIONS.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RECORD THEM ON THE CONSTRUCTION PLAN.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES AND RECORD THEM ON THE CONSTRUCTION PLAN.
4. THE (2) WORKING DRAIN FROM ANY EXISTING UTILITY SHALL BE PROTECTED BY A CONCRETE CURB AND GUTTER.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND CONDUITS SHALL BE PROTECTED BY A CONCRETE CURB AND GUTTER.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND RECORD THEM ON THE CONSTRUCTION PLAN.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERHEAD PLACING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT TRAFFIC OR VIOLATE ANY LOCAL, STATE, OR FEDERAL REGULATIONS.
9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.
10. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. ALL BARRIERS AND CONSTRUCTION SIGNS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AS DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
12. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND RECORD THEM ON THE CONSTRUCTION PLAN.
13. THE CONTRACTOR SHALL MAINTAIN THE PROPER LOCATION OF ALL EXISTING UTILITIES AND RECORD THEM ON THE CONSTRUCTION PLAN.
14. THE CONTRACTOR IS RESPONSIBLE FOR STORM PREPARATION AND MAINTENANCE.

**BORROW AREA**

**CANTATA TRACT A  
 FUTURE PARK 3.26 AC**

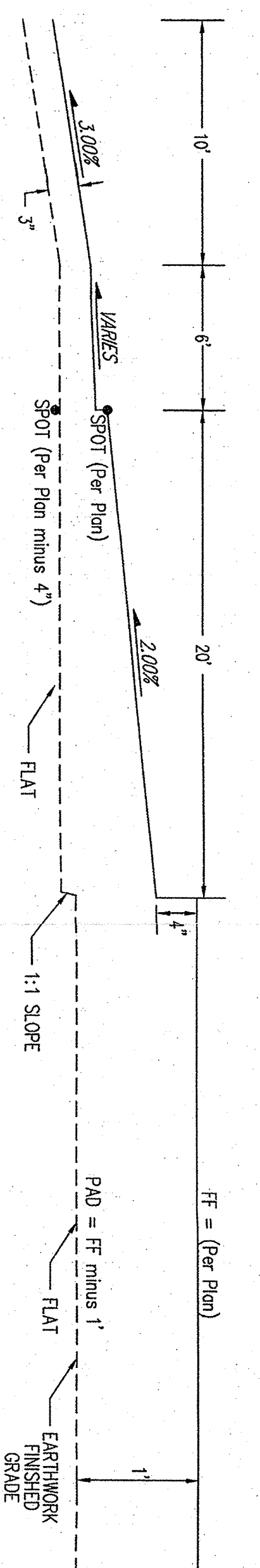


- STORM DRAIN REVISION NOTES:**
- A. INSTALL 4" DIA. TYPE "C" OR "T" MANHOLE PER COA STD. DWG. 2102.
  - B. INSTALL TYPE "D" SINGLE GRADE INLET, PER COA STD. DWG. 2206.
  - C. INSTALL TYPE "D" DOUBLE GRADE INLET, PER COA STD. DWG. 2206.
  - D. INSTALL TYPE "C" SINGLE GRADE INLET, PER COA STD. DWG. 2206.
  - E. INSTALL TYPE "X" SINGLE GRADE INLET, PER COA STD. DWG. 2201 & 2202.
  - F. INSTALL HDPE (N-12WT OR APPROVED EQUAL) OR RCP STORM DRAIN SIZE PER PLAN.
  - G. INSTALL 30" VULCANIZED RUBBER WITH H-20 SOUD GRADE.
  - H. INSTALL 18" VULCANIZED RUBBER WITH H-20 STANDARD GRADE.
  - I. INSTALL 12" VULCANIZED RUBBER WITH H-20 STANDARD HINGED GRADE.



**TYPICAL BUILDING GRADING**

SCALE: 1" = 5' Horizontal  
 1" = 1' Vertical



SEE SHEET C2.01 FOR TYPICAL STREET SECTIONS  
 SEE SHEET C2.02 FOR RETAINING WALL DETAIL

**Bohannon & Huston**  
 ENGINEERING & SPATIAL DATA • ADVANCED TECHNOLOGIES

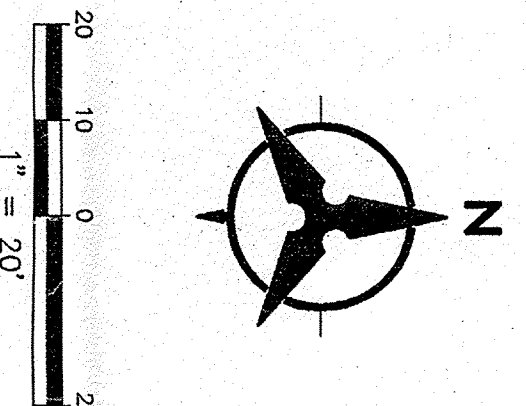
Countdown! 7800 Jefferson St. NE, Albuquerque, NM 87109-4555

Project Contact:  
 Phone #:  
 Fax #:  
 E-Mail:

Principal in Charge:  
 Project Director:  
 Project Designer:  
 Project Manager:

Sheet Title:  
**GRADING PLAN**

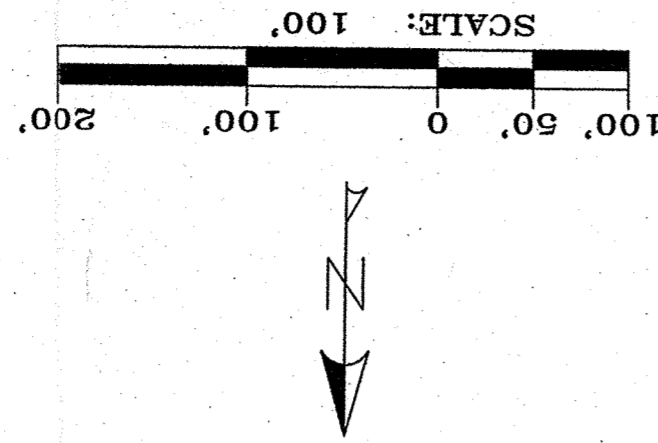
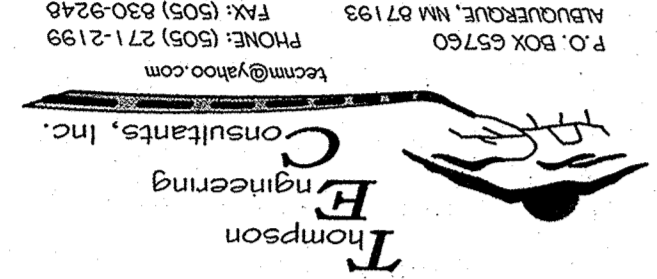
Sheet No.:  
**C2.04**





City Project No. 730078  
 Zone Map No. C-9  
 Sheet 13 of 14

Design Review Committee City Engineer Approval  
 Mo./Day/Yr. \_\_\_\_\_  
 City of Albuquerque Public Works Department  
**CANTATA AT THE TRAILS**  
 POND & GRADING PLAN

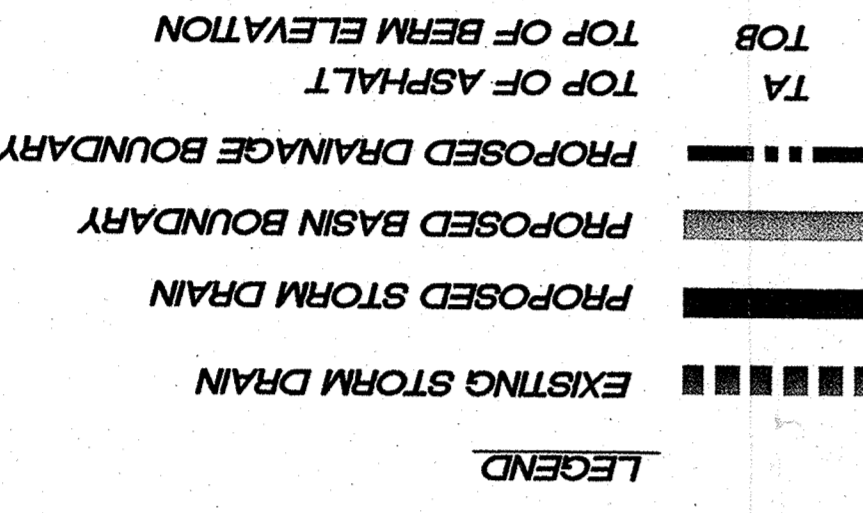


REVISIONS

No.	Date	By	Remarks

DESIGN

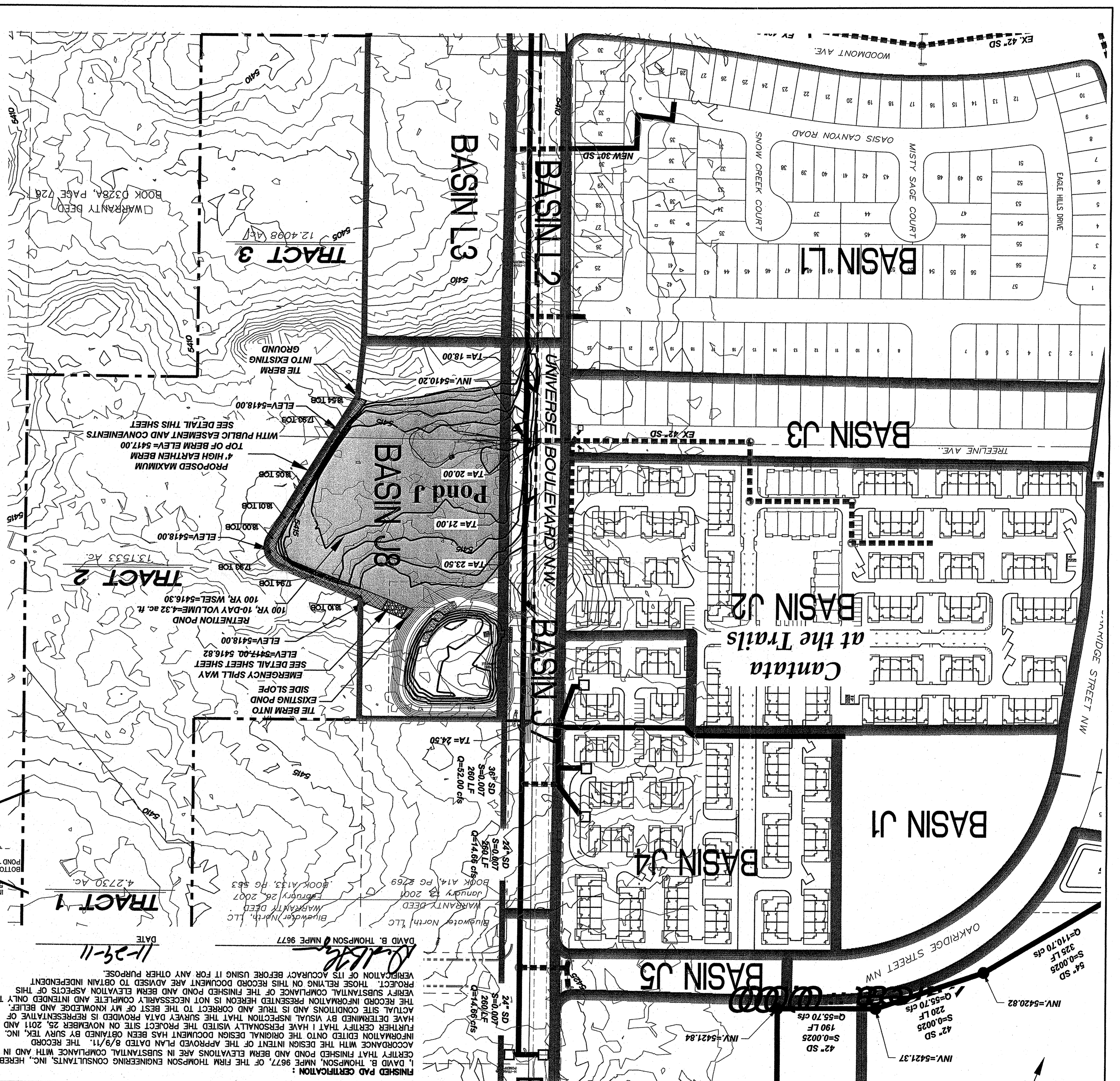
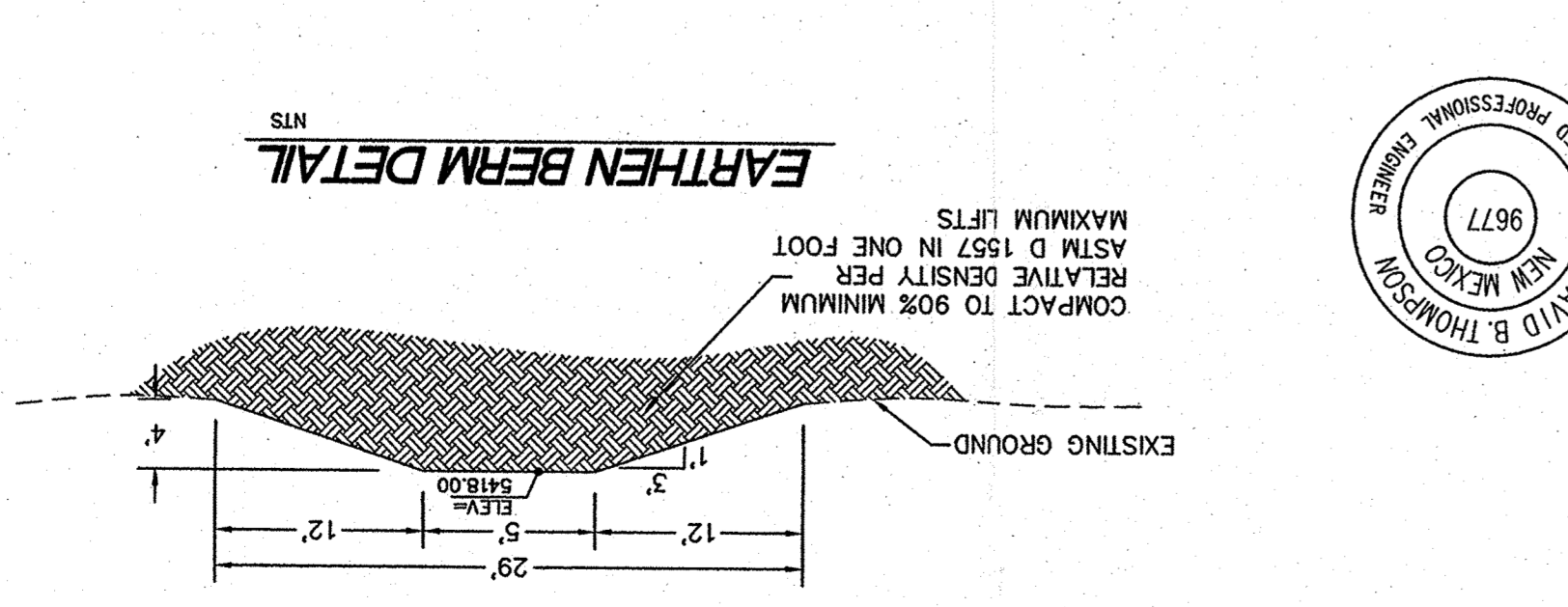
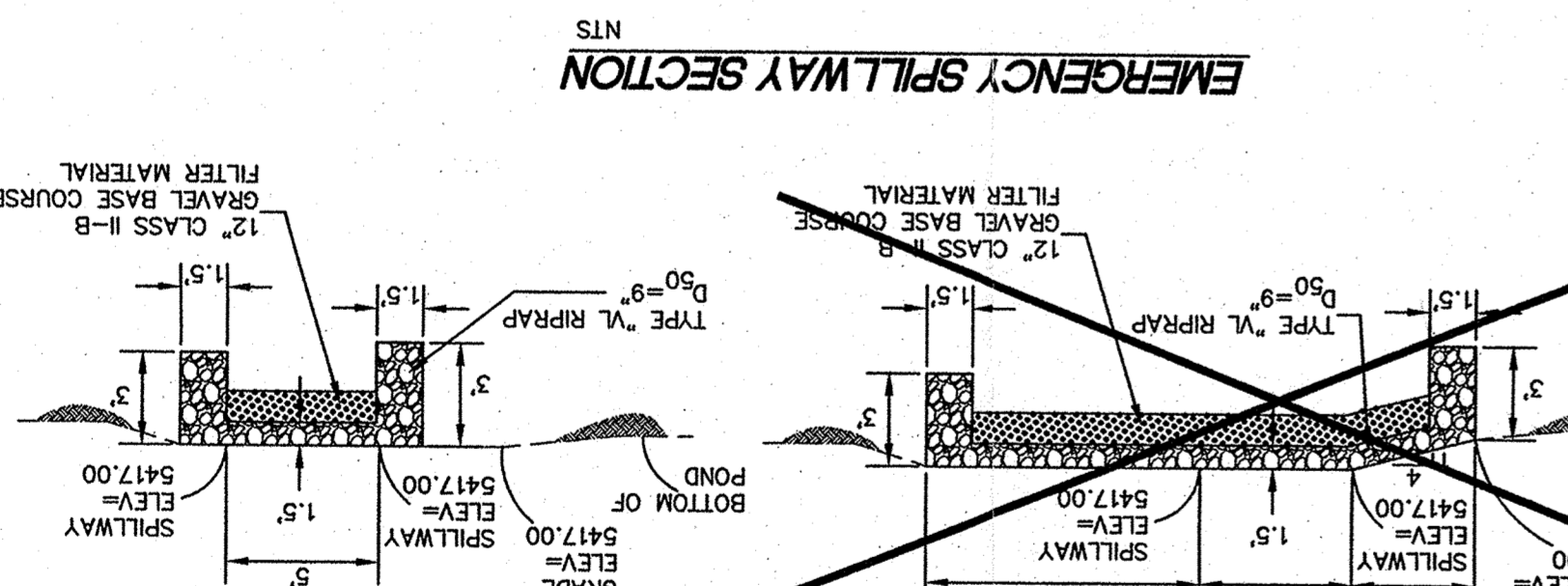
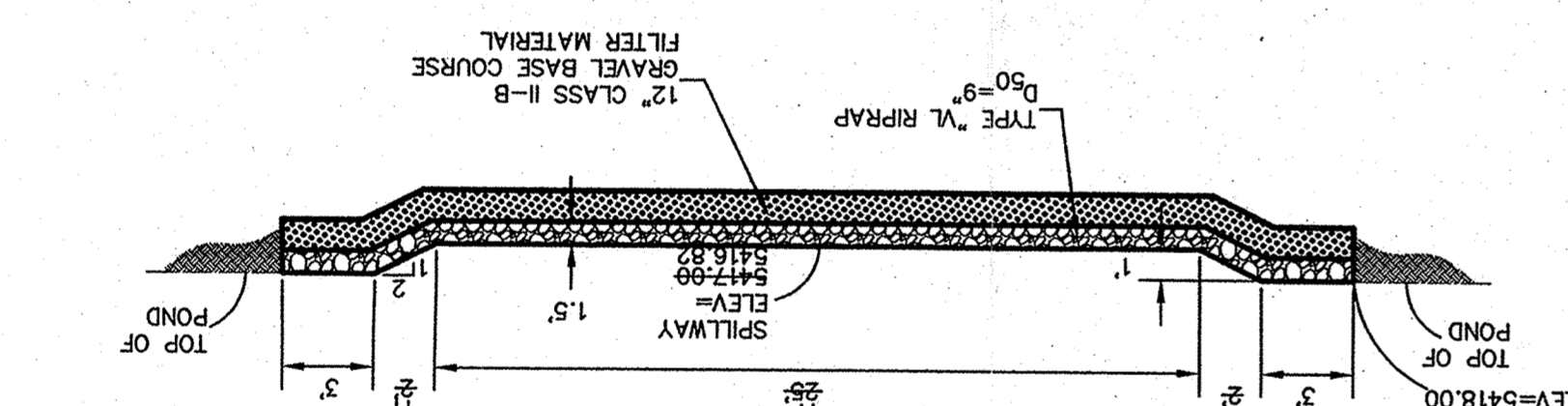
DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_



GRADING AND DRAINAGE CERTIFICATION WILL INCLUDE POND VOLUME CERTIFICATION BY A P.E. TO THE REQUIRED POND VOLUME.

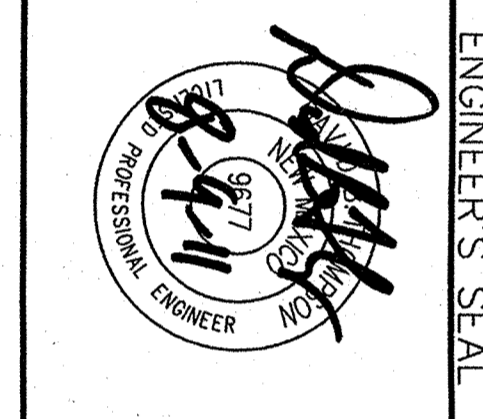
**CANTATA 2 DAY VOLUME CALC.**

Basin	Area A	Area B	Area C	Area D	Total Volume (cc-ft)	Total Volume (cfs)
Basin 1	12.5	10.5	7.5	10.92	41.81	2.53
Basin 2	19	19	5	2.30	45.20	2.82
Basin 3	5	5	5	2.84	17.70	1.11
Basin 4	70	30	0	2.84	12.77	0.79
Basin 5	0	0	0	0	0	0
Basin 6	0	0	0	0	0	0
Basin 7	0	0	0	0	0	0
Basin 8	0	0	0	0	0	0
Basin 9	0	0	0	0	0	0
Basin 10	0	0	0	0	0	0
Basin 11	0	0	0	0	0	0
Basin 12	0	0	0	0	0	0
Basin 13	0	0	0	0	0	0
Basin 14	0	0	0	0	0	0
Basin 15	0	0	0	0	0	0
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Basin 88	0	0	0	0	0	0
Basin 89	0	0	0	0	0	0
Basin 90	0	0	0	0	0	0



**FINISHED PAD CERTIFICATION:** I, DAVID B. THOMPSON, N.M.P.E. 9677, OF THE FIRM THOMPSON ENGINEERING CONSULTANTS, INC. HEREBY CERTIFY THAT FINISHED POND AND BERM ELEVATIONS ARE IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 8/9/11. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SURV. TEK, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON NOVEMBER 25, 2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE FINISHED POND AND BERM ELEVATION ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

**DAVID B. THOMPSON** N.M.P.E. 9677  
 11-29-11



**ENGINEER'S SEAL**

NO. \_\_\_\_\_ BY \_\_\_\_\_ DATE \_\_\_\_\_

**SURVEY INFORMATION**

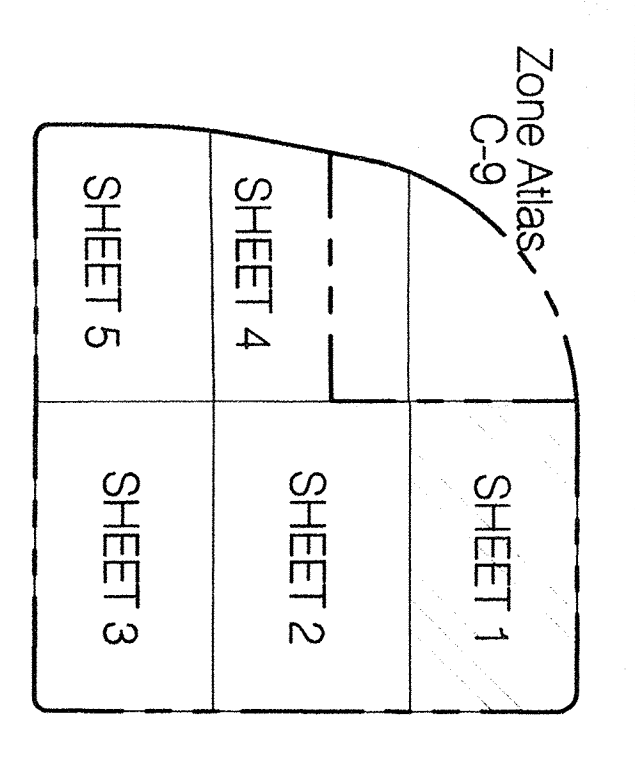
FIELD NOTES

**BENCH MARKS**

NO.	BY	DATE	ACROSS BRASS TABLET STAMPED "2-810 1980"

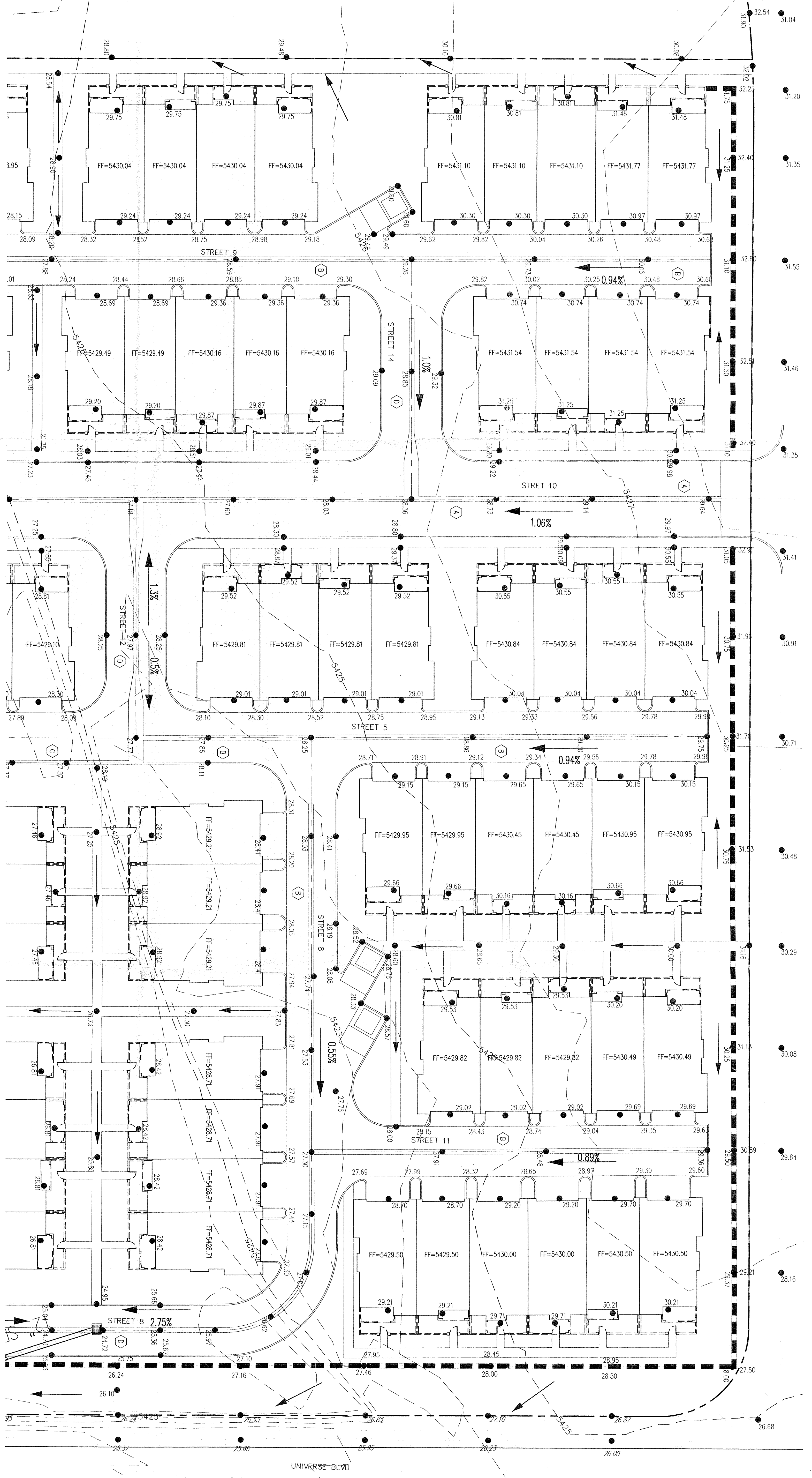
**AS-BUILT INFORMATION**

CONTRACTOR	DATE



**KEY**

- GENERAL NOTES**
1. ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THE CONTRACT SHALL BE CONSIDERED TO BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT STANDARDS AND SHALL BE SUBJECT TO THE APPROVAL AND SIGNATURE OF THE ARCHITECT AND ENGINEER.
  2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CHAINS, AND APPROPRIATELY MARKED CONDUITS SHALL BE LOCATED AND DEPTH OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION & DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  7. CONSTRUCTION SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ALL EXISTING UTILITIES SHALL BE PROTECTED AND SHALL NOT BE DAMAGED OR DISRUPTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  8. OVERHEAD POWER LINES SHALL NOT BE REMOVED OR RELOCATED UNLESS APPROVED BY THE UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  10. ALL PROPERTY OWNERS RESIDENT DURING CONSTRUCTION SHALL BE RELOCATED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY OWNERS MUST BE RELOCATED TO A TEMPORARY RESIDENCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  11. ALL BARBERIES AND CONSTRUCTION SIGNAGE SHALL CONFORM TO APPLICABLE SECTIONS OF THE CITY OF ALBUQUERQUE ORDINANCES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARBERS AND SIGNAGE AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARBERIES AT THE END AND BEGINNING OF EACH DAY.
  13. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
  14. THE CONTRACTOR IS RESPONSIBLE FOR STUMP REMOVAL AND WEEDING.

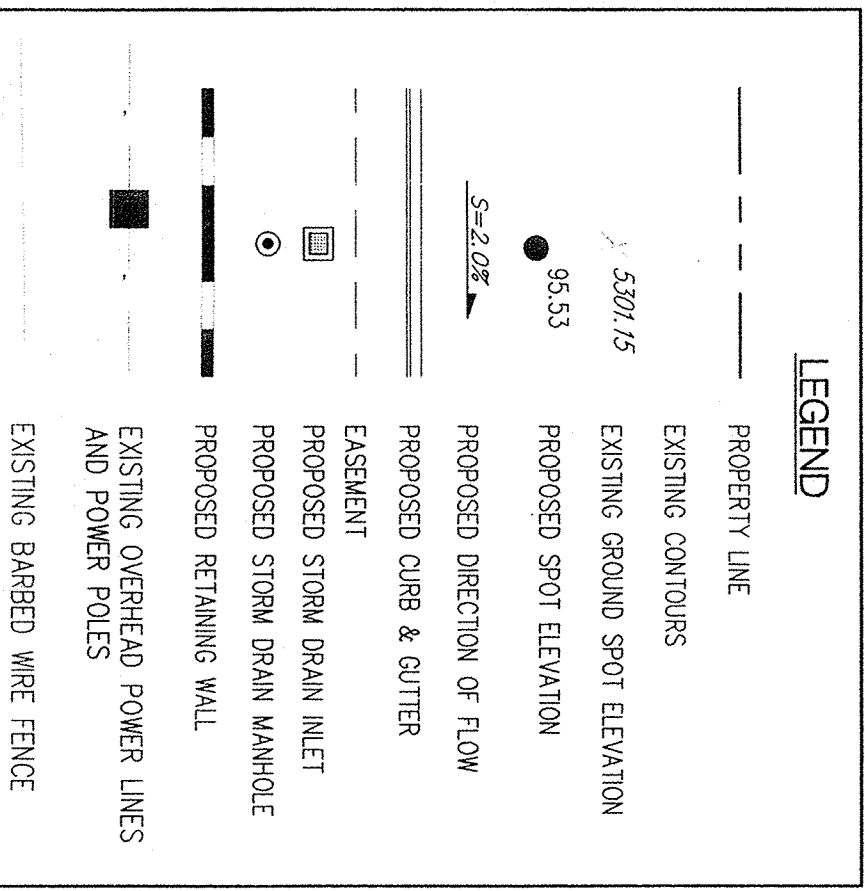
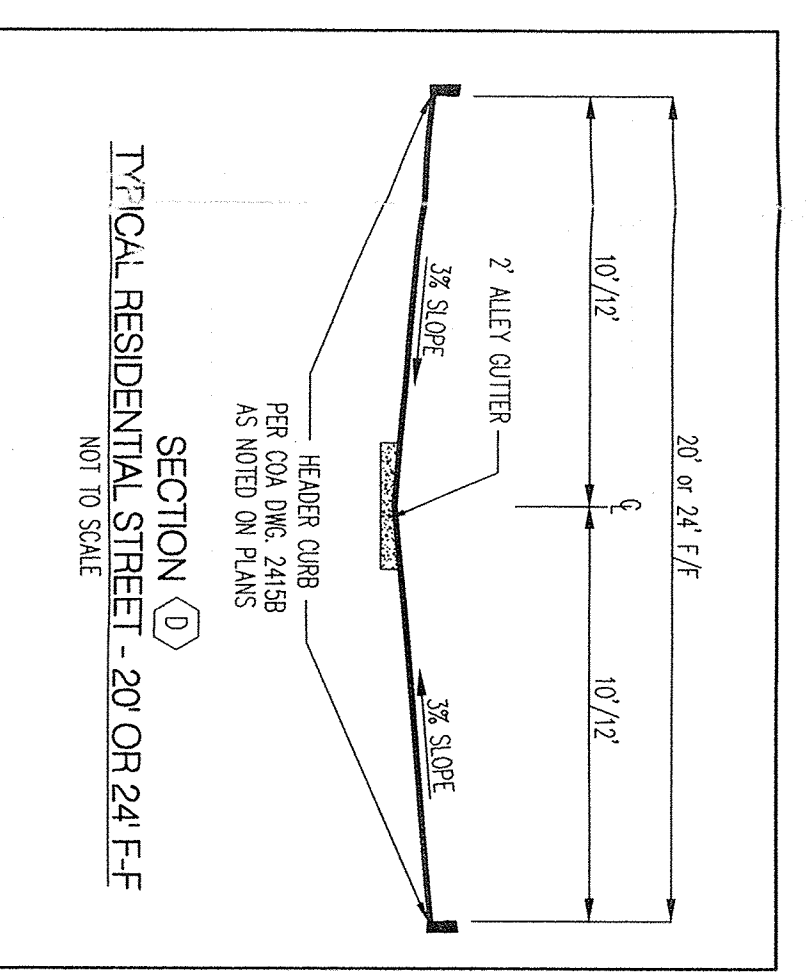
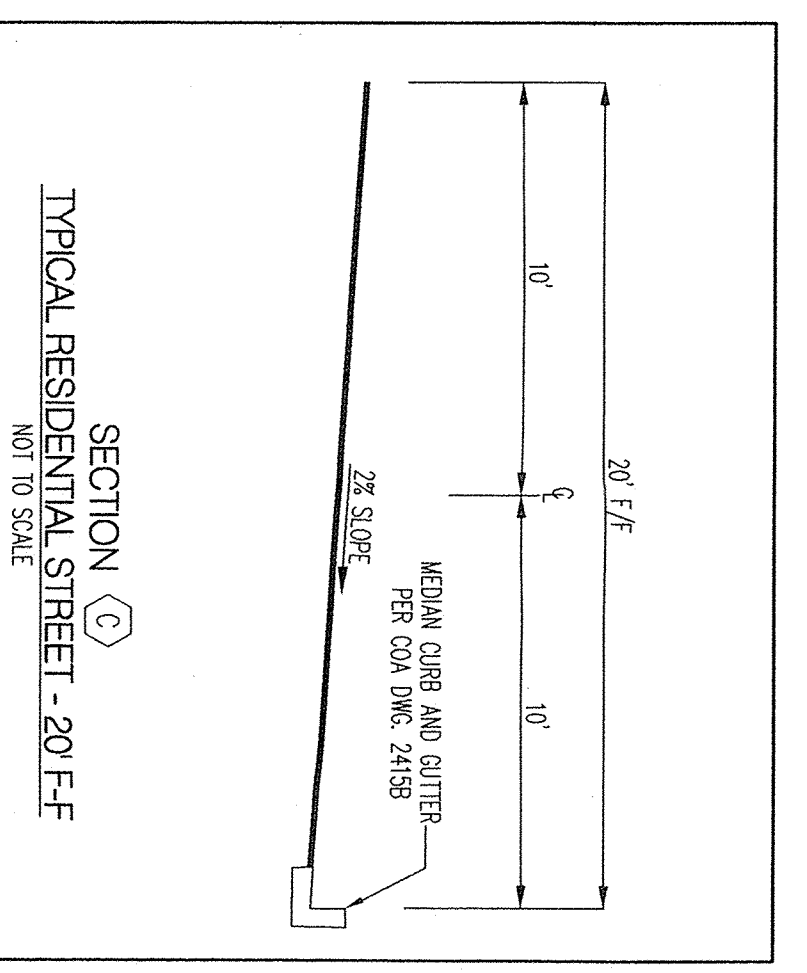
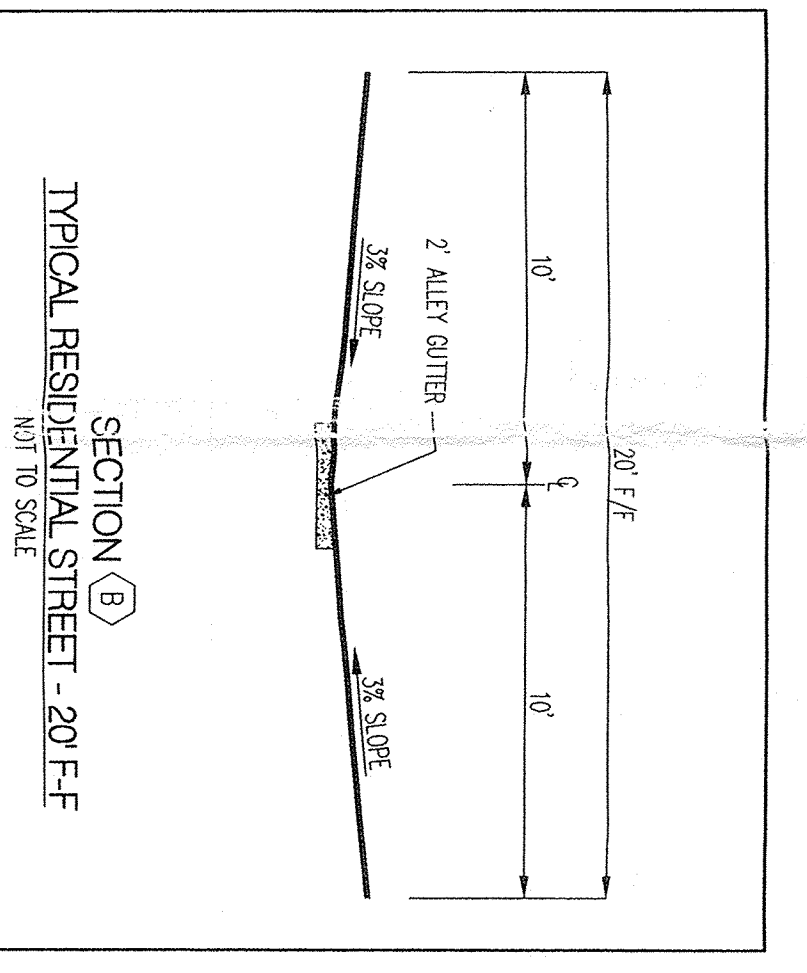
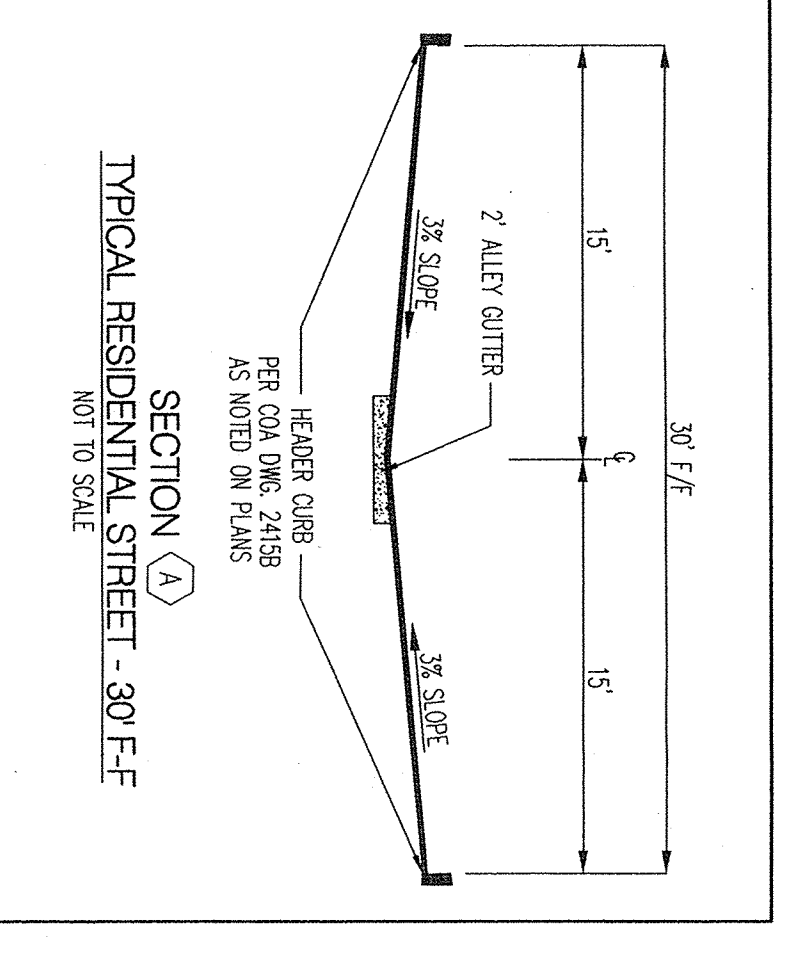
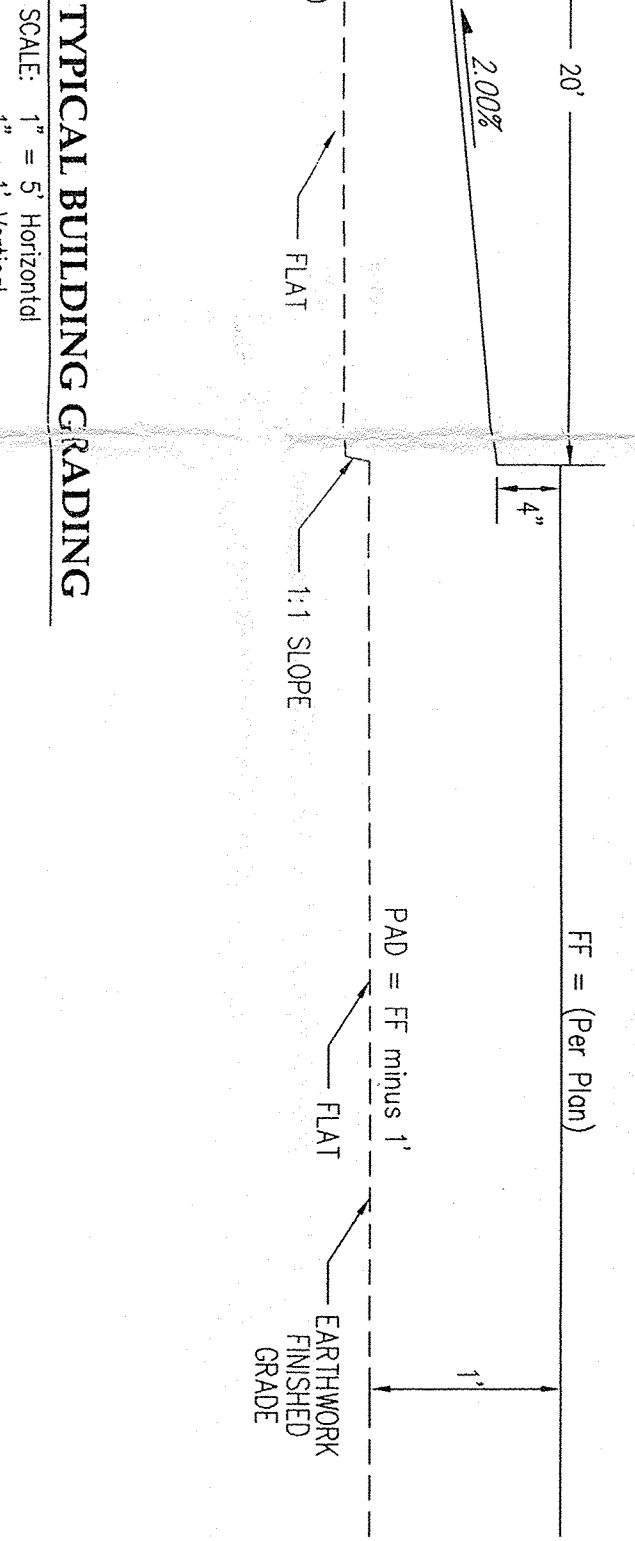


SEE SHEET C2.02 FOR RETAINING WALL DETAIL

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. ALL WORK RELATIVE TO CONSTRUCTION OF THE PROPOSED IMPROVEMENTS AND FUNDAMENTAL INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSIDERED TO BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT STANDARDS AND SHALL BE SUBJECT TO THE APPROVAL AND SIGNATURE OF THE ARCHITECT AND ENGINEER.
3. EARTH STRESS SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
4. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
5. THE CONTRACTOR IS TO ENSURE THAT NO SOIL EXPOSED FROM THE SITE AND ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHALL BE ACHIEVED BY THE PROPER LOCATION AND CONSTRUCTION OF EROSION CONTROL MEASURES AND RETAINING WALLS TO PROTECT THE SITE FROM EROSION.
6. A PERSONAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL AND UNDESIRABLE REMAINS OF THE PROPOSED IMPROVEMENTS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS FROM ALL LOCAL, STATE, AND FEDERAL AGENCIES, INCLUDING EPA AND REGULATIONS WHICH APPLY TO STORM WATER DISCHARGE.
7. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BARS OR ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
8. ALL ELEVATIONS SHOWN ALONG THE REFERRED CHAIN ARE AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
9. ALL ELEVATIONS SHOWN ALONG REFERRED CHAIN ARE AT FLOODLINE UNLESS OTHERWISE NOTED.

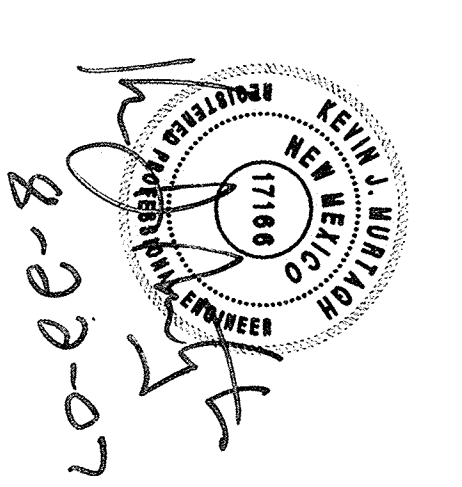
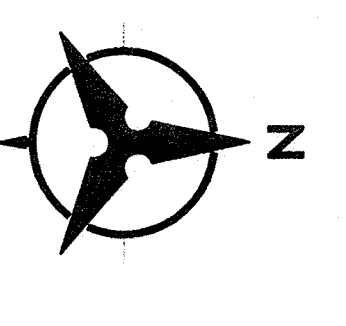
**TYPICAL BUILDING GRADING**



Approved for Rough Grading Date

**Bohannon & Huston**  
 Consulting 7500 Johnson St. NE Albuquerque, NM 87109-4335  
 ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES

Project: CANTATA AT THE TRAILS  
 ALBUQUERQUE, N.M.



License Stamp:  
 Project Contact:  
 Phone #:  
 Fax #:  
 E-Mail:  
 Principal in Charge:  
 Project Designer:  
 Project Manager:  
 Sheet Title:

**GRADING PLAN**

Sheet No.:

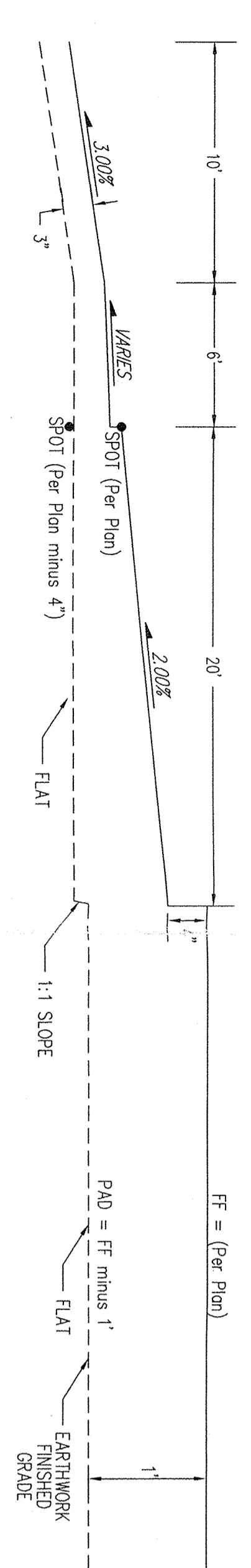
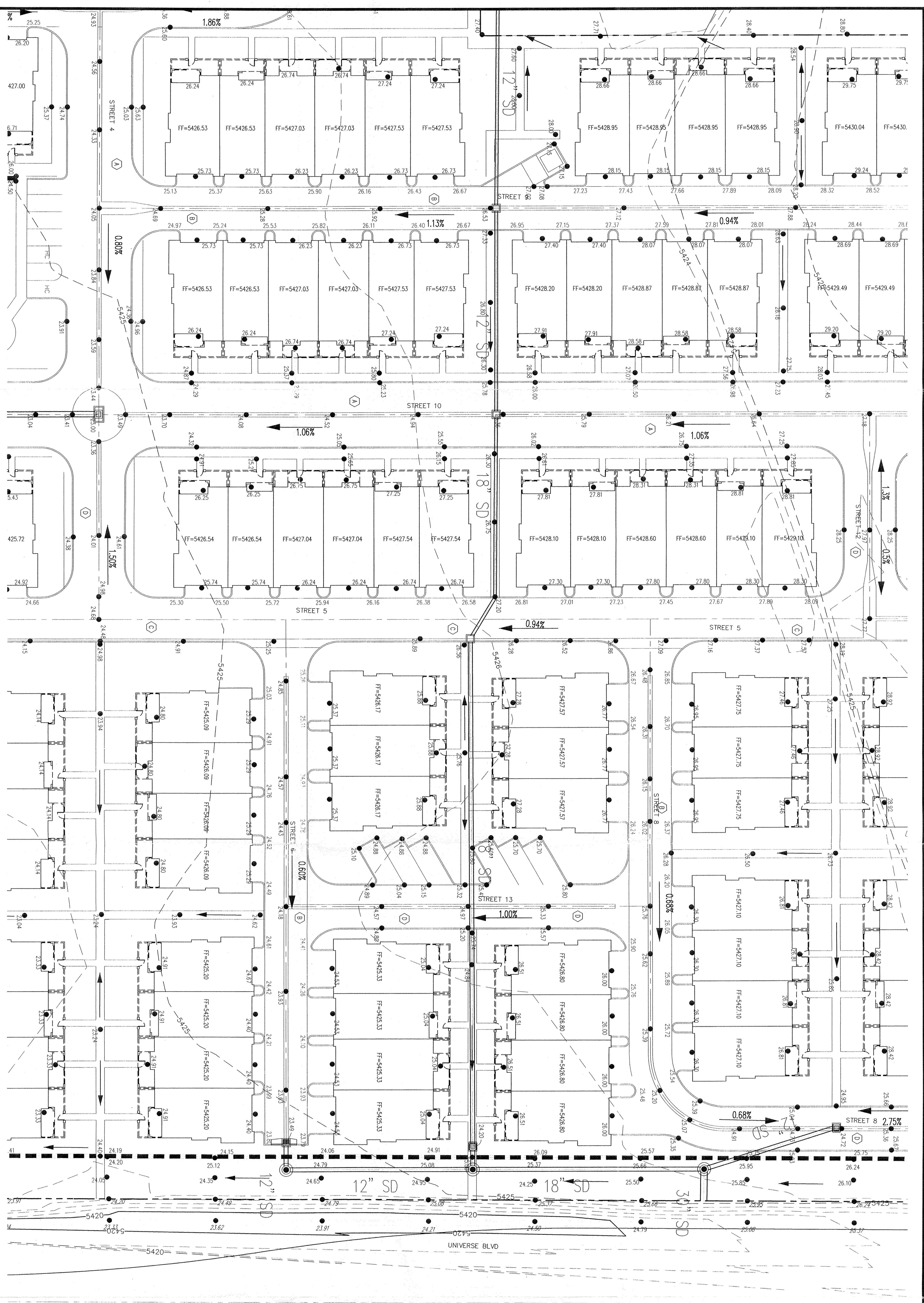
C2.01



Zone Alias C-9	SHEET 1
	SHEET 2
	SHEET 3
	SHEET 4
	SHEET 5

**KEY**

- GENERAL NOTES**
1. ALL WORK DETAIL ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, WATER, SEWER, GAS, AND TELEPHONE LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.
  3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL ALIGNMENT OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  5. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  7. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OCCUR ON ANY OF THE PROJECT'S DRIVEWAYS OR DRIVEWAYS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
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  11. ALL EXISTING UTILITIES SHALL BE MAINTAINED AND PROTECTED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING AND MARKING ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES FROM DAMAGE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL UTILITIES TO ORIGINAL OR BETTER CONDITION AFTER CONSTRUCTION IS COMPLETE.
  12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  14. THE CONTRACTOR IS RESPONSIBLE FOR SNOW REMOVAL AND MAINTENANCE.



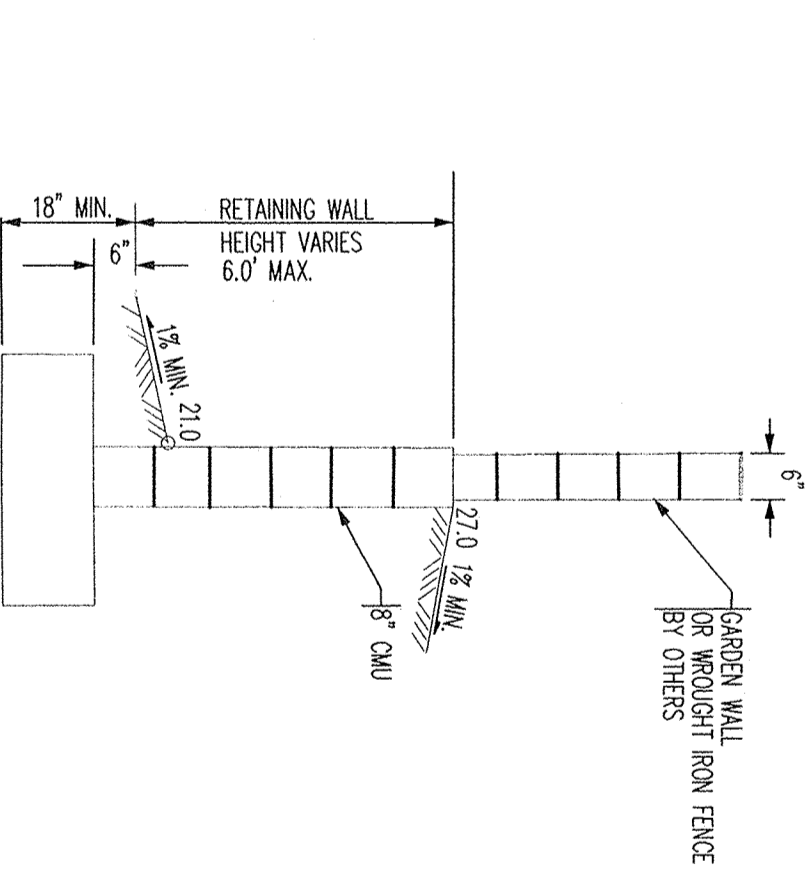
**TYPICAL BUILDING GRADING**

SCALE: 1" = 5' Vertical

SEE SHEET C-01 FOR TYPICAL STREET SECTIONS

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. ALL WORK RELATIVE TO CONSTRUCTION OF THE SITE PREPARATION AND FINISHED INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TECHNICAL SPECIFICATIONS AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE SPECIFIED OR PROVIDED FOR OTHERWISE, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
3. EARTH SURFACES SHALL NOT EXCEED 1:1 VERTICAL UNLESS SHOWN OTHERWISE.
4. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THE ARCHITECT OR OWNER. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE AND ADJACENT PROPERTY OR PUBLIC HIGHWAY. THIS SHOULD BE ACHIEVED BY THE CONTRACTOR'S PROPER EROSION CONTROL MEASURES AT THE PROPERTY LINES AND DURING THE SOIL TO PROTECT IT FROM WIND EROSION.
5. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE AND ADJACENT PROPERTY OR PUBLIC HIGHWAY. THIS SHOULD BE ACHIEVED BY THE CONTRACTOR'S PROPER EROSION CONTROL MEASURES AT THE PROPERTY LINES AND DURING THE SOIL TO PROTECT IT FROM WIND EROSION.
6. A REPORT OF THE SOIL TEST AND ALL EXCESS EXCAVATION MATERIAL AND UNDESIRABLE MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED LOCATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
7. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
8. ALL ELEVATIONS SHOWN ALONG THE PERIMETER ARE AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
9. ALL ELEVATIONS SHOWN ALONG WITHIN CURB ARE AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.



**TYPICAL RETAINING WALL NOMENCLATURE**

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

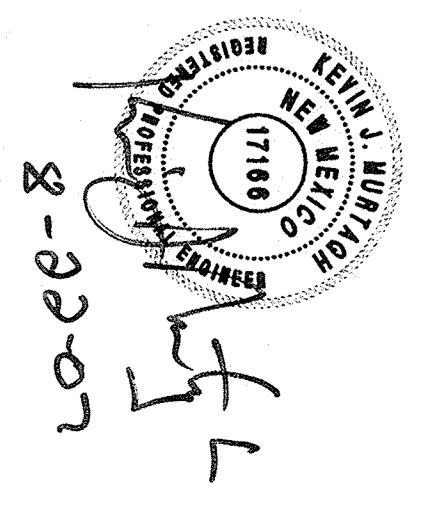
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**LEGEND**

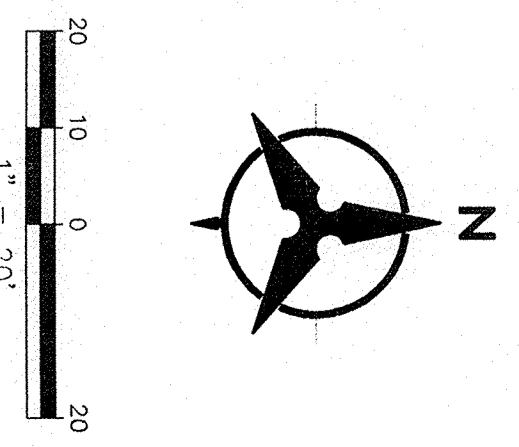
—	PROPERTY LINE
—	EXISTING CONTOURS
—	EXISTING GROUND SPOT ELEVATION
—	PROPOSED SPOT ELEVATION
—	PROPOSED DIRECTION OF FLOW
—	EXISTING DRAIN OR GUTTER
—	PROPOSED STORM DRAIN INLET
—	PROPOSED STORM DRAIN MANHOLE
—	PROPOSED RETAINING WALL
—	EXISTING OVERHEAD POWER LINES AND POWER POLES
—	EXISTING BARBED WIRE FENCE

**Bohannon & Huston**  
 7500 Jefferson St. NE Albuquerque, NM 87109-4355  
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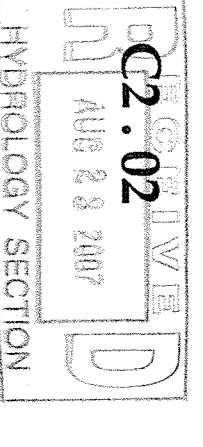
Project Contact: \_\_\_\_\_  
 Phone #: \_\_\_\_\_  
 Fax #: \_\_\_\_\_  
 E-Mail: \_\_\_\_\_  
 Principal in Charge: \_\_\_\_\_  
 Project Director: \_\_\_\_\_  
 Project Designer: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Sheet Title: \_\_\_\_\_  
**GRADING PLAN**  
 Sheet No.: \_\_\_\_\_

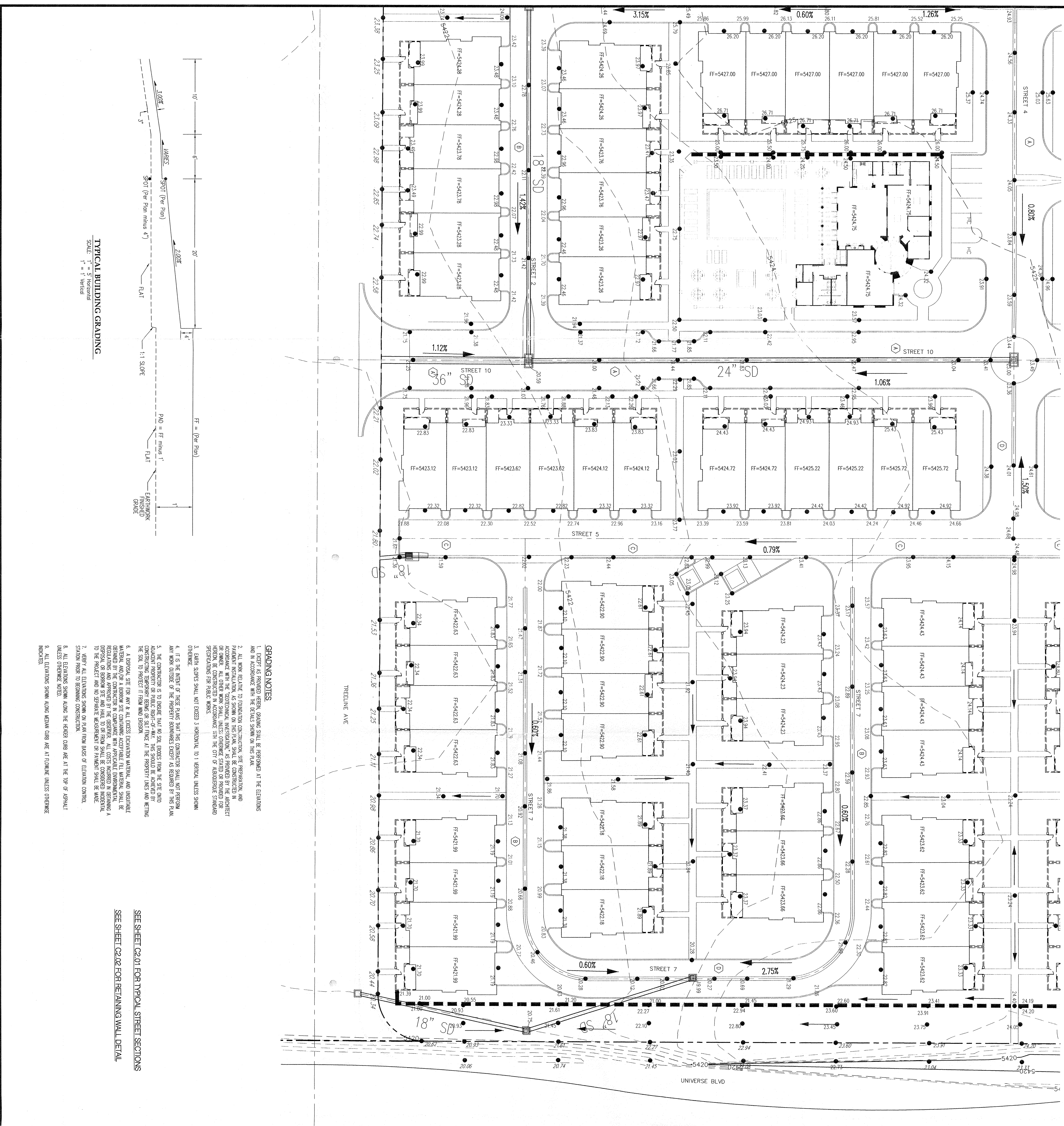


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Project: **CANTATA AT THE TRAILS**  
 ALBUQUERQUE, N.M.

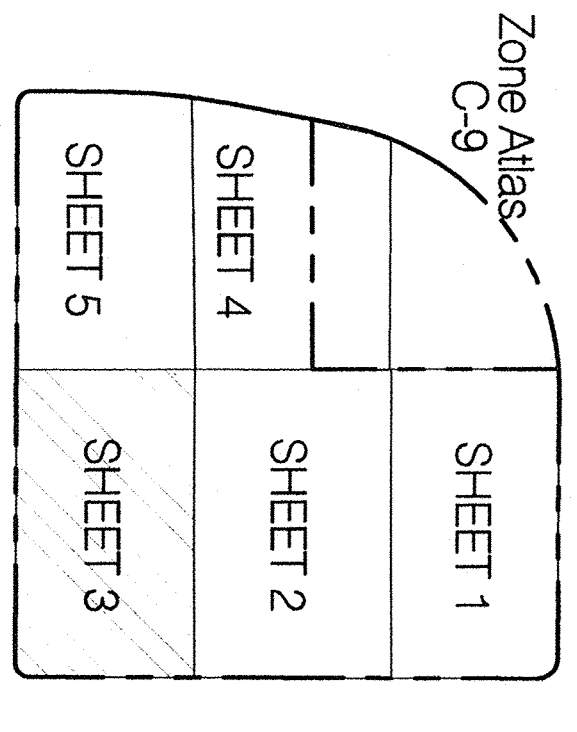




**TYPICAL BUILDING GRADING**  
 SCALE: 1" = 8' Horizontal  
 1" = 1' Vertical

- GRADING NOTES**
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
  2. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND FOUNDATION EXCAVATION SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARDS AND REGULATIONS. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED THEREIN, BE CONSIDERED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARDS AND REGULATIONS FOR OTHER WORK.
  3. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
  4. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
  5. THE CONTRACTOR IS TO ENSURE THAT NO SOIL EXPOSED FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY EROSION CONTROL MEASURES AT THE PROPER TIMES AND LOCATIONS TO PREVENT EROSION AND SEDIMENTATION.
  6. A GEOTECHNICAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNDESIRABLE MATERIAL AND/OR A BARRIERS TO EXCESS EXCAVATION MATERIAL SHALL BE PROVIDED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND APPROVALS BY THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A PERMIT OR BARRIERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND APPROVALS BY THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A PERMIT OR BARRIERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  7. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.
  8. ALL ELEVATIONS SHOWN ALONG THE HEDGER CORNER ARE AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
  9. ALL ELEVATIONS SHOWN ALONG MEDIAN CORNER ARE AT ELEVATION UNLESS OTHERWISE INDICATED.

SEE SHEET C2.02 FOR TYPICAL STREET SECTIONS  
 SEE SHEET C2.02 FOR RETAINING WALL DETAIL



- KEY**
- GENERAL NOTES**
1. ALL WORK RELATIVE TO THESE PLANS AND PREPARED UNDER THE CONTRACT SHALL BE CONSIDERED TO BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND APPROVALS BY THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A PERMIT OR BARRIERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  2. THE CONTRACTOR SHALL MAINTAIN THE NEAREST ADJACENT PROPERTY AND UTILITIES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND APPROVALS BY THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A PERMIT OR BARRIERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  3. FROM TO CONSTRUCTION, THE CONTRACTOR SHALL MAINTAIN ALL NEAREST ADJACENT UTILITIES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND APPROVALS BY THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A PERMIT OR BARRIERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  4. TWO (2) WORKING DAYS PRIOR TO ANY OCCUPANCY, THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES TO OBTAIN THE LOCATION OF EXISTING UTILITIES.
  5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CHASES, AND APPURTENANCES IDENTIFIED DURING CONSTRUCTION THAT REQUIRE REDUCTION SHALL BE REDUCED TO THE NEAREST FINISHED FLOOR ELEVATION. ALL REDUCTIONS SHALL BE APPROVED BY THE UTILITY COMPANY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND APPROVALS BY THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A PERMIT OR BARRIERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL UTILITIES IDENTIFIED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND APPROVALS BY THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A PERMIT OR BARRIERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
  8. UNLESS OTHERWISE NOTED, CONSTRUCTION EQUIPMENT SHALL NOT EXCEED ONE (1) FOOT ABOVE THE FINISHED FLOOR ELEVATION. THE CONTRACTOR SHALL MAINTAIN ALL NEAREST ADJACENT UTILITIES UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND APPROVALS BY THE CITY OF ALBUQUERQUE. ALL COSTS INCURRED IN OBTAINING A PERMIT OR BARRIERS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
  9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT PRIOR TO BEGINNING CONSTRUCTION (I.E. BARRIERS, TRIPOLI, DISTURBANCE, EXCAVATION PERMITS, EY STEIN WATER PERMITS, ETC.).
  10. ALL PROPOSED CONCRETE DESIGN CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. ALL PROPOSED CONCRETE MUST BE REFINISHED AND FINISHED WITHIN THE PUBLIC RIGHT-OF-WAY.
  11. ALL BARRIERS AND CONSTRUCTION SIGNAGE SHALL CONFORM TO APPLICABLE SECTIONS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
  12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRIERS AND SIGNAGE AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRIERS AT THE END AND BEGINNING OF EACH DAY.
  13. THE CONTRACTOR SHALL HAVE ALL STEPS NECESSARY TO CONFORM WITH EY REGULATIONS, INCLUDING COMPLIANCE WITH VEHICULAR 2 REQUIREMENTS.
  14. THE CONTRACTOR IS RESPONSIBLE FOR SHEET PREPARATION AND IMPLEMENTATION.

**LEGEND**

---	PROPERTY LINE
---	EXISTING CONTOURS
●	5427.75
●	5453
---	PROPOSED GROUND SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED DIRECTION OF FLOW
---	PROPOSED CHIB & GUTTER
---	PROPOSED STORM DRAIN INLET
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED RETAINING WALL
---	EXISTING OVERHEAD POWER LINES AND POLES/TOWERS
---	EXISTING BARRIERS WHERE FENCE

**Bohannon** **Huston**

Company: 7700 Jefferson St. NE, Albuquerque, NM 87109-4395  
 ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

No. Date Issue / Description

Project: **CANTATA AT THE TRAILS**  
 ALBUQUERQUE, N.M.

Principled in Charge: \_\_\_\_\_  
 Project Director: \_\_\_\_\_  
 Project Designer: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_

License Stamp:

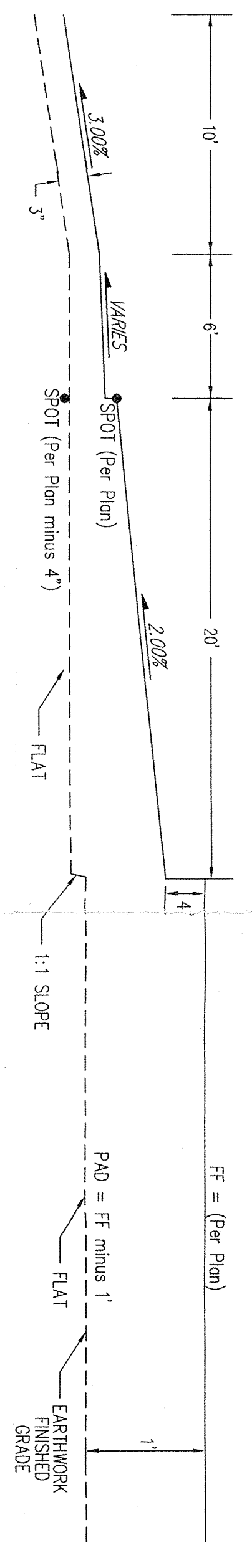
Sheet No.: **C2.03**

Hydrology Section:

Zone Alias C-9	
SHEET 1	SHEET 2
SHEET 4	SHEET 5
SHEET 3	

**KEY**

- GENERAL NOTES**
1. ALL WORK DEFINED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT CONTRACT DOCUMENTS, WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS SPECIFICATIONS SHALL APPLY.
  2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WITH RESPECT TO EROSION CONTROL, SLOPE STABILIZATION, AND OTHER REQUIREMENTS WITH RESPECT TO SLOPE AND EXCAVATION. THE CONTRACTOR SHALL CONDUCT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
  3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL READ CAREFULLY THE RECORD DRAWINGS AND SHALL CONDUCT A VISUAL INSPECTION OF THE PROJECT AREA TO VERIFY THE ACCURACY OF THE INFORMATION SHOWN THEREON. THE CONTRACTOR SHALL NOTIFY THE CONSULTING ENGINEER OF ANY DISCREPANCIES SO THAT THE CONTRACT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
  4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  5. ALL EXISTING UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
  7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
  8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OCCUR ON THE PROPERTY OR ADJACENT PROPERTIES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
  9. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT FROM THE CITY OF ALBUQUERQUE (E.G. BORROWING, TOPSOIL, DISBURSAL, EROSION CONTROL, ETC.)
  10. ALL PROPERTY OWNERS RECEIVING DRAINAGE CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY OWNERS MUST BE RE-SET BY A REGISTERED LAND SURVEYOR.
  11. ALL GRADINGS AND CONSTRUCTION SHALL CONFORM TO APPLICABLE SECTIONS OF THE MANUAL ON UNIFORM PRACTICE CONTROL DEVICES (M.U.P.C.D.) US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
  12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRIERS AND SIGNAGE AT ALL TIMES AND THROUGHOUT THE PROJECT PERIOD OF ALL DISBURSALS AT THE END AND BEGINNING OF EACH DAY.
  13. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND CONDUITS IN ACCORDANCE WITH ALL REQUIREMENTS, INCLUDING COMPLIANCE WITH CHAPTER 2 REQUIREMENTS.
  14. THE CONTRACTOR IS RESPONSIBLE FOR SNOW PREVENTION AND MAINTENANCE.



**TYPICAL BUILDING GRADING**  
SCALE: 1" = 8' Horizontal  
1" = 1' Vertical

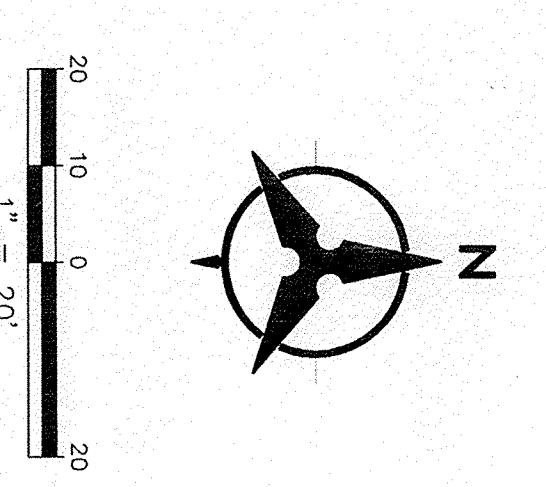
**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PROVISION OF UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. ALL OTHER WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNLESS OTHERWISE SPECIFIED ON THESE PLANS.
3. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
4. IT IS THE INTENT OF THESE PLANS THAT THE CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THE PLAN.
5. THE CONTRACTOR IS TO DESIGN THAT NO SOIL EXPOSED FROM THE SITE AND ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BARRIERS OR SLOPE PROTECTION AT THE PROPERTY LINES AND WEEDING THE SOIL TO PROTECT IT FROM WIND EROSION.
6. A DISPOSAL SITE FOR ANY AND ALL EXCESS EXCAVATION MATERIAL, AND INSTALLED MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE IDENTIFIED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE AND THE STATE OF NEW MEXICO.
7. VERIFY ALL ELEVATIONS SHOWN ON PLANS FROM BASIS OF ELEVATION CONTROL SHOWN PRIOR TO BEGINNING CONSTRUCTION.
8. ALL ELEVATIONS SHOWN ALONG THE PERIMETER CORNER ARE AT THE TOP OF ASPHALT UNLESS OTHERWISE NOTED.
9. ALL ELEVATIONS SHOWN ALONG MEDIAN CORNER ARE AT FLOWLINE UNLESS OTHERWISE NOTED.

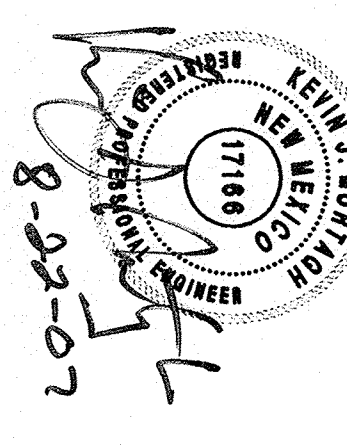
SEE SHEET C02.02 FOR TYPICAL STREET SECTIONS  
SEE SHEET C02.02 FOR RETAINING WALL DETAIL

**LEGEND**

---	PROPERTY LINE
---	EXISTING CONTOURS
---	EXISTING GROUND SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	PROPOSED DIRECTION OF FLOW
---	PROPOSED CURB & GUTTER
---	PROPOSED STORM DRAIN INLET
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED RETAINING WALL
---	EXISTING OVERHEAD POWER LINES AND POWER POLES
---	EXISTING BRACKETED WIRE FENCE



License Stamp:



Project Contact:  
Phone #:  
Fax #:  
E-Mail:  
Principal in Charge:  
Project Director:  
Project Designer:  
Project Manager:  
Sheet Title:

**GRADING PLAN**

Sheet No.:

**Bohannon & Huston**  
Civil/land 7500 Jefferson St. NE Albuquerque, NM 87109-4388  
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

SHEET 1	SHEET 2	SHEET 3
SHEET 4	SHEET 5	

**GENERAL NOTES**

1. ALL WORK SHOWN ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSIDERED TO BE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT MANUAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF ALBUQUERQUE, N.M. PRIOR TO BEGINNING CONSTRUCTION.
2. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION OPERATIONS AND TRAFFIC AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
3. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION OPERATIONS AND TRAFFIC AT ALL TIMES. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
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**LEGEND**

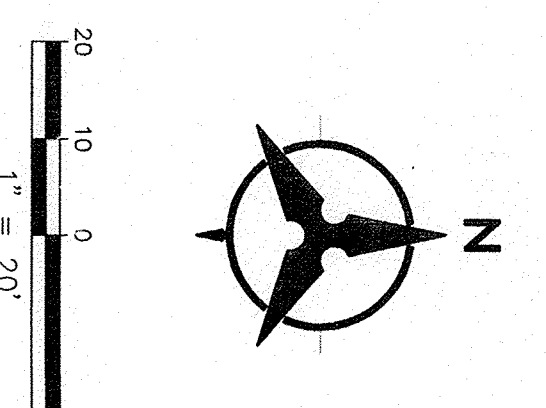
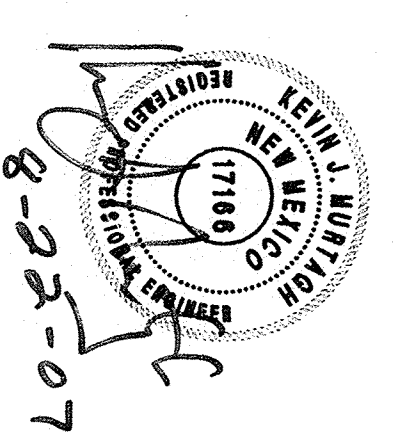
---	PROPERTY LINE
---	EXISTING CONTOURS
●	EXISTING GROUND SPOT ELEVATION
○	PROPOSED SPOT ELEVATION
---	PROPOSED DIRECTION OF FLOW
---	PROPOSED CURB & GUTTER
---	EXISTENT STORM DRAIN INLET
---	PROPOSED STORM DRAIN MANHOLE
---	PROPOSED RETAINING WALL
---	EXISTING OVERHEAD POWER LINES
---	AND POWER POLES
---	EXISTING BARBED WIRE FENCE

SEE SHEET C2.02 FOR RETAINING WALL DETAIL

SEE SHEET C2.01 FOR TYPICAL STREET SECTIONS

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 ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

Project Contact: \_\_\_\_\_  
 Phone #: \_\_\_\_\_  
 Fax #: \_\_\_\_\_  
 E-Mail: \_\_\_\_\_  
 Principal in Charge: \_\_\_\_\_  
 Project Director: \_\_\_\_\_  
 Project Designer: \_\_\_\_\_  
 Project Manager: \_\_\_\_\_  
 Sheet Title: \_\_\_\_\_

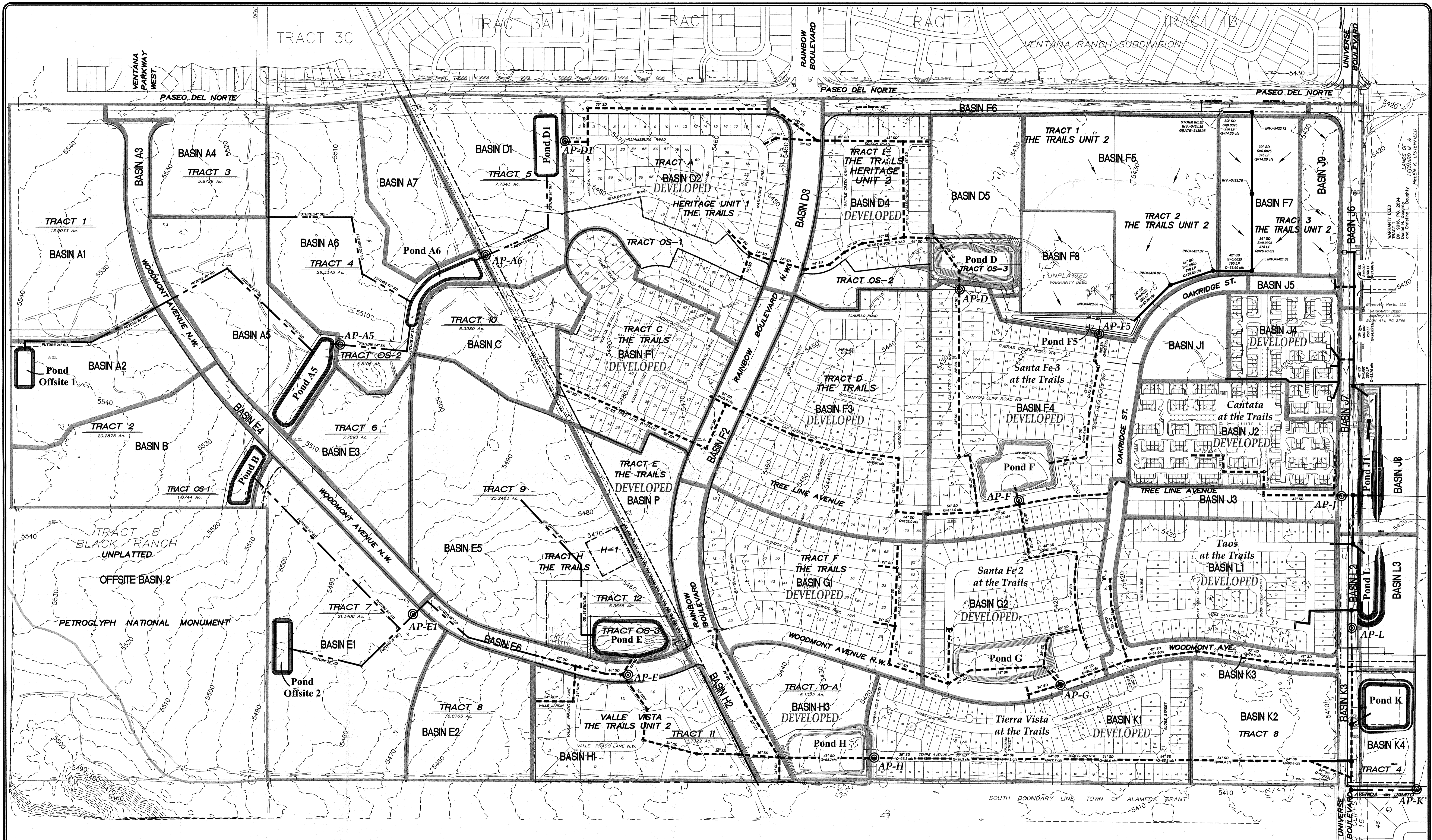


License Stamp: \_\_\_\_\_

**GRADING PLAN FOR**

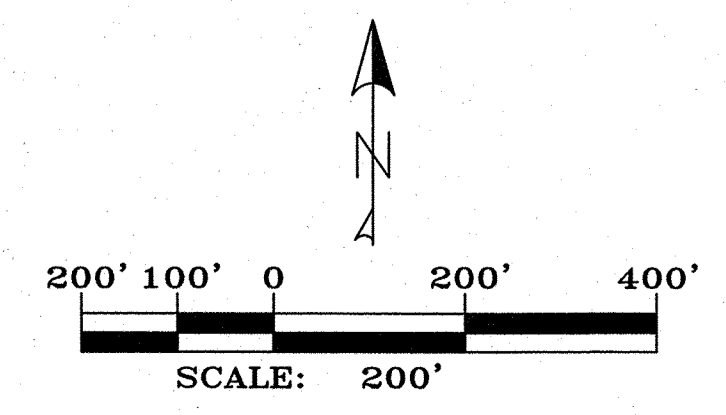
Project: **CANTATA AT THE TRAILS**  
 ALBUQUERQUE, N.M.






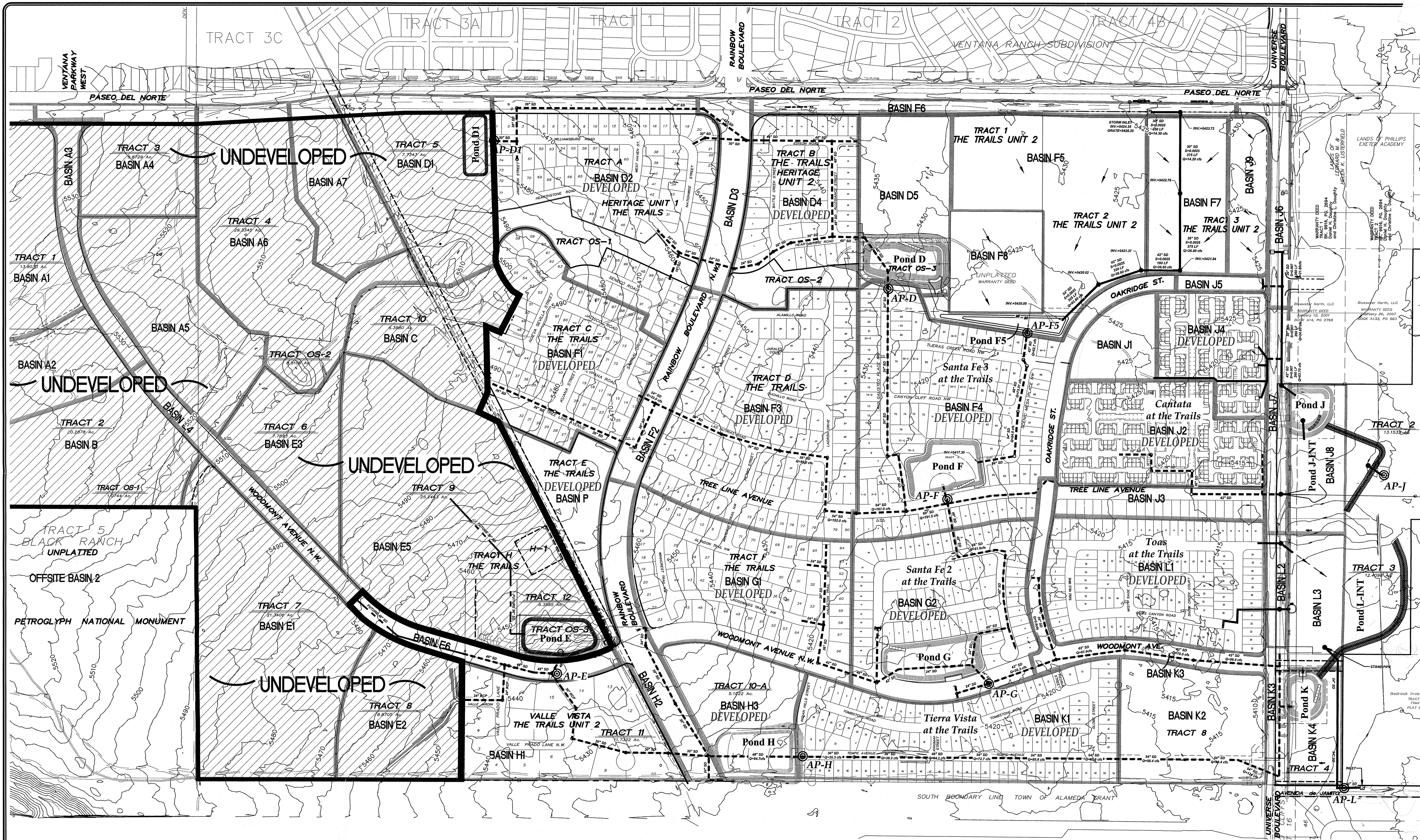
**LEGEND**

- ⊙ ANALYSIS POINT
- EXISTING STORM DRAIN
- FUTURE INTERIM STORM DRAIN
- - - FUTURE DEVELOPED STORM DRAIN



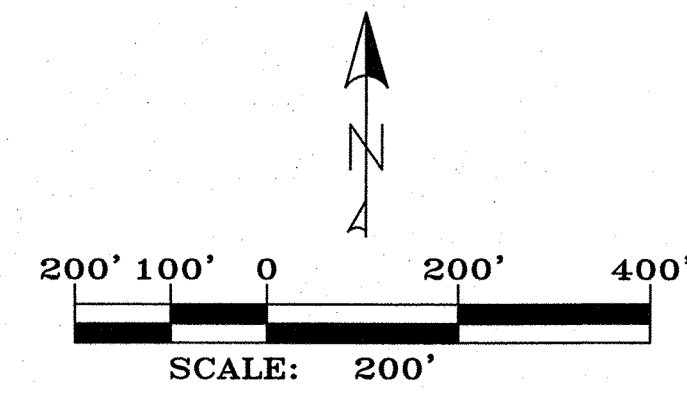

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**DEVELOPED  
CONDITIONS DMP  
PLATE 1**



**LEGEND**

- ⊙ ANALYSIS POINT
- EXISTING STORM DRAIN
- FUTURE INTERIM STORM DR
- FUTURE DEVELOPED STORM




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**INTERIM CONDITIONS DMP PLATE 2**