

PROPERTY DESCRIPTION
TRACT 10, OF THE TRAILS UNIT 2 DEVELOPMENT, AS DESIGNATED ON THE PLAT ENTITLED, 'BULK LAND PLAT OF THE TRAILS UNIT 2 (BEING A REPLAT OF TRACTS 9 AND J, THE TRAILS AND UNPLATTED DEED PARCELS) WITHIN THE TOWN OF ALAMEDA GRANT, IN PROJECTED SECTION 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AUGUST 2004', FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 18, 2004 IN PLAT BOOK 2004C, PAGE 332

TABULATIONS:

- SITE AREA:**
TRACT 10 - 222,378 S.F. (+/- 5.11 AC.)
- BUILDING AREA - MEETINGHOUSE = 16,558 S.F.**
- FLOOR AREA RATIO: .093**
- PARKING REQUIRED - 1 SPACE FOR EVERY 4 SEATS IN MAIN ROOM**
- MAIN ROOM - CHAPEL = 142 FIXED SEATS
ROSTRUM = 43 FIXED SEATS
CULTURAL HALL = 351 OVERFLOW SEATS
TOTAL SEATING CAPACITY = 542 - 542/4 = 136 SPACES**
- PARKING PROVIDED - 183 SPACES, 8 H.C.
3 DESIGNATED MOTORCYCLE SPACES (INDICATED BY 'M')**
- NOTE: PARKING PROVIDED IS THE CHURCH MINIMUM FOR A 3 WARD MEETINGHOUSE**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated December 15, 2005, and the Findings and Conditions in the Official Notification of Decision are satisfied.

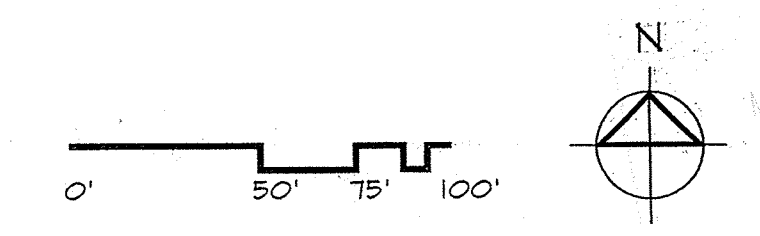
PROJECT NUMBER:	1002962
Application Number	07-00358
Is an Infrastructure List required? (X) Yes () No	
If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of Public Improvements.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>[Signature]</i> Traffic Engineering, Transportation Division	4-4-07 Date
<i>[Signature]</i> Water Utility Department	4/4/07 Date
<i>[Signature]</i> Parks and Recreation Department	4/4/07 Date
<i>[Signature]</i> City Engineer	10/1/07 Date
<i>[Signature]</i> Solid Waste Management	3/29/07 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	4/4/07 Date

1 SITE PLAN FOR BUILDING PERMIT
SCALE: 1" = 50'-0"

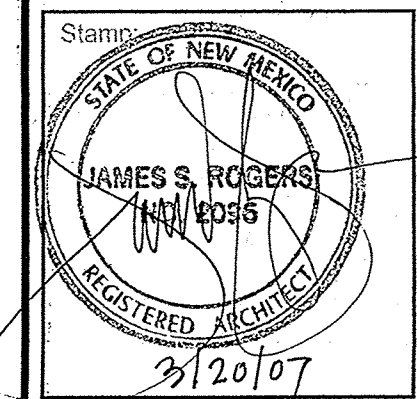
ADMINISTRATIVE AMENDMENT
File # 08AA-10111 Project # 1002962
To allow infrastructure list amendment for sidewalks, curbs and drive cut along Indian Hills Rd.
Approved by *[Signature]* DATE 12 Jan 09

APD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
DATE 6/20/07
SIGNATURE & DATE
(REVISOR)

APD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
DATE 3/23/07
SIGNATURE & DATE



Architect / Engineer:
J. S. ROGERS ARCHITECTS P C
821 Mountain Road NW, Albuquerque, NM 87102
phone: (505) 247-1168 fax: (505) 247-0262
e-mail: info@jrogersarchitects.com



Ventana Ward Meetinghouse
SEC Rainbow Blvd. & Woodmont Ave.
Albuquerque, NM

Project for:
THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

Project Number:	
Plan Series:	HER-TRA-98-13
Property Number:	589-1196

Sheet Title:
SITE PLAN FOR BUILDING PERMIT

Sheet:
SD1.1

Revised

BENCHMARKS

PROJECT BENCHMARK

STANDARD GLO BRASS TABLET STAMPED "TA, S15, S16", SET IN TOP OF A CONCRETE POST LOCATED 8 MILES NW OF DOWNTOWN ALBUQUERQUE, IN A ROLLING HILLS PRAIRIE.
ELEVATION = 5417.80 FEET (NAVD 1988)

T.B.M. #1

REBAR #5 WITH JMA RED CAP.
ELEVATION = 5433.12 FEET (NAVD 1988)


T.B.M. #2

REBAR #5 WITH CAP STAMPED "PLS #9750".
ELEVATION = 5425.94 FEET (NAVD 1988)

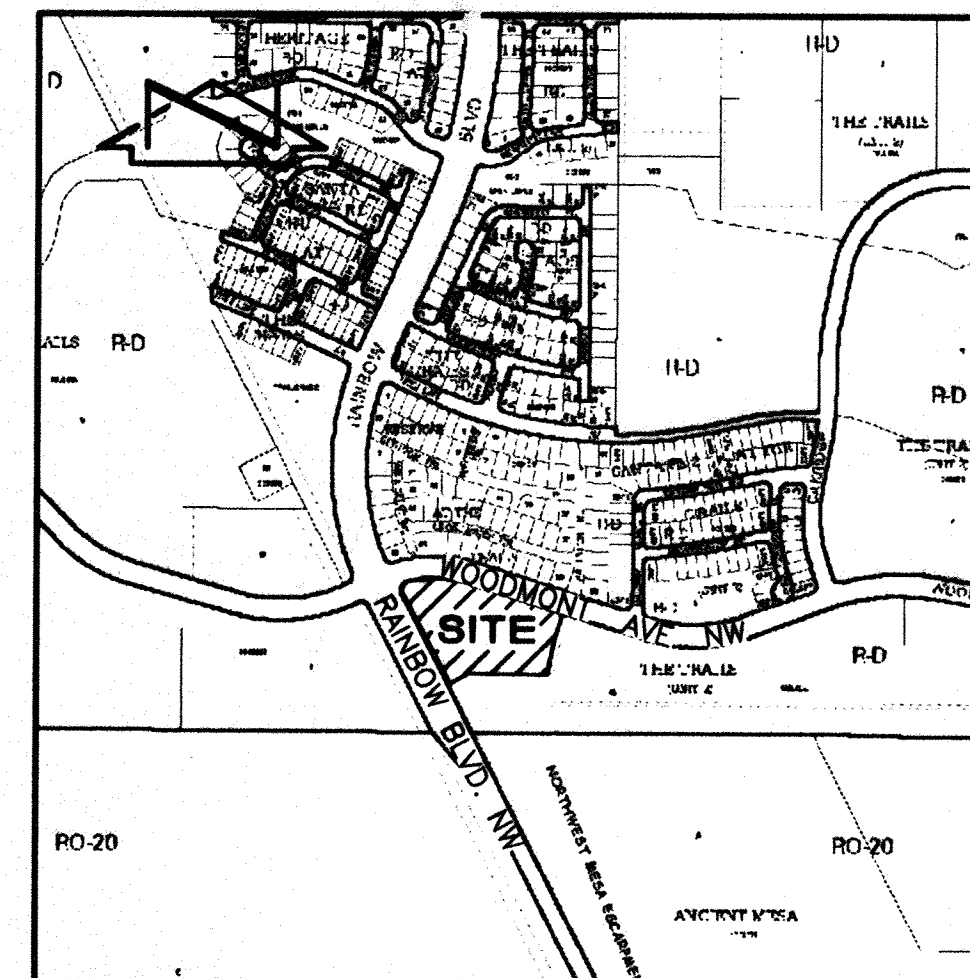
ENGINEER'S CERTIFICATION

I, J. GRAEME MEANS, NMPE 13676, OF THE FIRM HIGH MESA CONSULTING GROUP HEREBY CERTIFY THAT THIS PROJECT HAS BEEN CONSTRUCTED IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04/13/2007. EXCEPT AS NOTED BELOW, THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT WAS OBTAINED 09/23/2008 UNDER THE DIRECT SUPERVISION OF CHARLES G. CALA, JR., NMPS 11184, ALSO OF THE FIRM HIGH MESA CONSULTING GROUP. I FURTHER CERTIFY THAT I PERSONALLY VISITED THE PROJECT SITE AND DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED APPEARS TO BE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED FOR PERMANENT CERTIFICATE OF OCCUPANCY APPROVAL.

THE RECORD INFORMATION PRESENTED HEREIN IS NOT NECESSARILY COMPLETE, AND DOES NOT ADDRESS COMPLIANCE WITH A.D.A. GUIDELINES, AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


J. GRAEME MEANS, NMPE 13676

01/30/09
DATE



(D5)

VICINITY MAP

C-09

SCALE: 1" = 750'

RECORD DRAWING

DRB PROJECT # 1002962
HYDROLOGY FILE C-9 / D8

HIGH MESA Consulting Group
FORMERLY JEFF MORTENSEN AND ASSOCIATES, INC.

6010-B MIDWAY PARK BLVD. NE • ALBUQUERQUE, NEW MEXICO 87109
PHONE: 505.345.4250 • FAX: 505.345.4254 • www.highmesacg.com

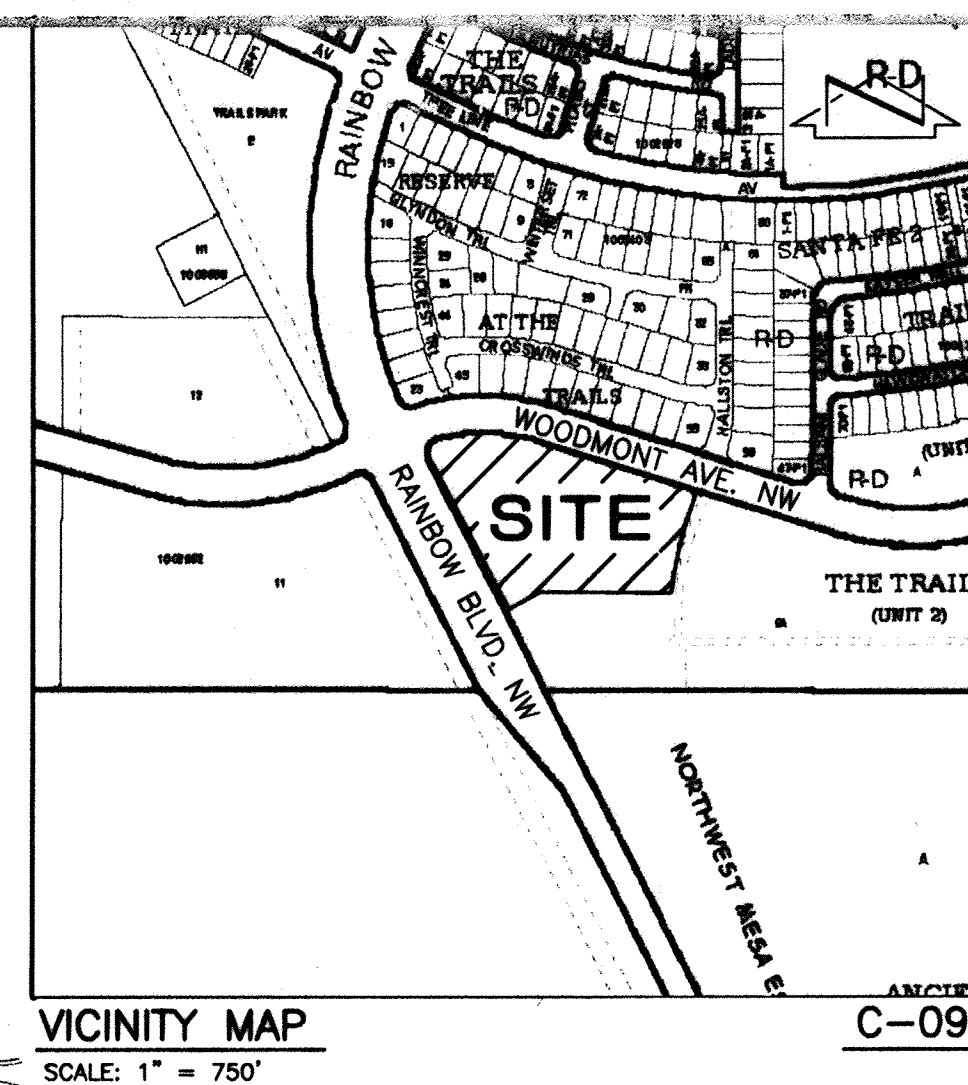
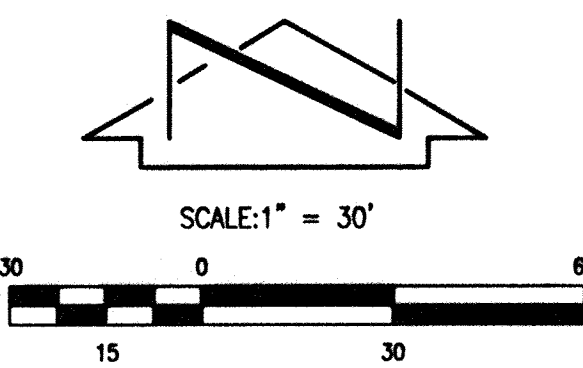
**ENGINEER'S CERTIFICATION
LDS VENTANA WARD
MEETINGHOUSE**

DESIGNED BY G.M.
DRAWN BY J.Y.R.
APPROVED BY G.M.

NO.	DATE	BY	REVISIONS
2	10/08	G.M.	ENGINEER'S CERTIFICATION (ADDED SHEET)

JOB NO.	2007.015.5
DATE	10-2008
SHEET	1a OF 2

RECORD DRAWING
SEE SHEET 1a FOR CERTIFICATION



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PROJECT BENCHMARK
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LEGAL DESCRIPTION
TRACT 10-A, THE TRAILS, UNIT 2

LEGEND

× 5422.5	EXISTING SPOT ELEVATION
C&G	EXISTING CONTOUR
CONC	CURB AND GUTTER
CPAD	CONCRETE
FL	CONCRETE PAD
INV	FLOWLINE
MH	INVERT ELEVATION
RCP	MANHOLE
SAS-W	REINFORCED CONCRETE PIPE
SD	SANITARY SEWER DESIGN BY WILSON & CO
SD-W	STORM DRAIN
SI	STORM DRAIN DESIGN BY WILSON & CO
SW	STORM INLET
TA	SIDEWALK
TC	TOP OF ASPHALT
TCO	TOP OF CURB
TELE	TOP OF CONCRETE
TR	TELEPHONE
TR	TOP OF GRATE
WCR	TELEPHONE RISER
W-W	WHEELCHAIR RAMP
W-W	WATERLINE DESIGN BY WILSON & COMPANY
32	PROPOSED CONTOUR
+	HIGH POINT
---	FLOWLINE
□	PROPOSED CONCRETE
● 34.5	PROPOSED SPOT ELEVATION

RECORD SURVEY INFORMATION

5062.52	RECORD INFORMATION
5062.43	RECORD INFORMATION- AS-DESIGNED
5062.45.55	RECORD INFORMATION

- KEYED NOTES**
- EASEMENTS
- 20' NEW MEXICO UTILITIES, INC. PUBLIC SANITARY SEWER GRANTED BY PLAT 2004C-332 (OFFSITE)
 - CITY OF ALBUQUERQUE PUBLIC DRAINAGE EASEMENT GRANTED BY PLAT 2006C-75

BOUNDARY TABLES

LINE	DIRECTION	DISTANCE
L1	S 17°11'35" W	71.18'

CURVE	RADIUS	LENGTH	CHORD	CHORD BEARING	DELTA
C1	35.00'	63.27'	55.00'	N 24°30'53" E	103°34'08"
C2	530.00'	285.78'	282.33'	S 88°15'22" E	30°53'40"
C3	25.00'	39.27'	35.36'	S 27°48'25" E	90°00'00"
C4	825.00'	184.27'	183.86'	S 12°06'45" W	12°47'51"

NOTE:
THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE SHOWN FOR ORIENTATION ONLY. BOUNDARY INFORMATION SHOWN HEREON WAS TAKEN FROM THE "BOUNDARY SURVEY, TRACT 10-A, THE TRAILS, UNIT 2" PREPARED BY JEFF MORTENSEN & ASSOC., INC. AND DATED 09-25-2006, NMPS 11184. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM THE "TOPOGRAPHIC SURVEY, TRACT 10-A, THE TRAILS, UNIT 2" PREPARED BY JEFF MORTENSEN & ASSOC., INC. AND DATED 09-25-2006, NMPS 11184.

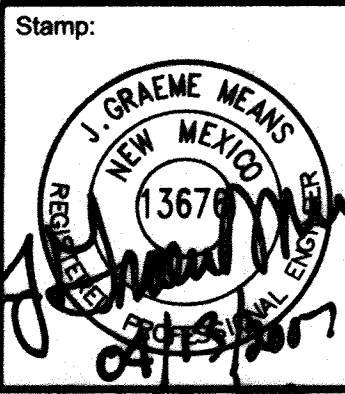
2007.015.5
JMA JOB NO. 2006-049.3

JMA
JEFF MORTENSEN & ASSOCIATES, INC.
6010-B MIDWAY PARK BLVD. NE
ALBUQUERQUE, NM 87109
ENGINEERS & SURVEYORS (505) 345-4250
FAX: 505 345-4254
ESTABLISHED 1977

- KEYED STORM DRAINAGE NOTES**
- CONSTRUCT 24" SIDEWALK CULVERT PER TYPICAL DETAIL, SHEET C-2
 - CONSTRUCT 2'-0" CONCRETE RUNDOWN PER TYPICAL SECTION, SHEET C-2
 - CONSTRUCT STORM INLET PER TYPICAL SECTION, SHEET C-2 TO 31.17' INV 27.30'
 - CONSTRUCT 24" CURB OPENING
 - INSTALL 18" HDPE STORM DRAIN @ S=0.025
 - INSTALL 45' HDPE BEND (18") INV 26.40
 - CONSTRUCT DOUBLE STORM INLET PER TYPICAL SECTION, SHEET C-2; TO 24.80' INV 21.00'
 - INSTALL 18" RCP CLASS III STORM DRAIN @ S=0.01
 - 12'x15' RIP-RAP (TYPE "1") APRON 24" THICK OVER FILTER FABRIC. COORDINATE INSTALLATION WITH PROPERTY OWNER, LONGFORD HOMES. NO APRON-DISCHARGES TO SOD
 - INSTALL 18" RCP CLASS III STORM DRAIN @ S=0.005
 - CONSTRUCT STORM INLET PER TYPICAL SECTION, SHEET C-2; TO 24.80' INV 21.00'
 - CONSTRUCT STORM INLET PER TYPICAL SECTION, SHEET C-2; TO 25.80' INV 22.00'

File Path: J:\JMA\2006\049.3
Plot Date: 10-21-2008
Plot Time: 09:21 am
File Name: 70155BPA6.DWG

PERMISSION FOR OFFSITE GRADING
REFER TO LETTER IN FILE FROM LONGFORD APPROVING AS-BUILT GRADING AND DISCHARGE TO POND
OWNER, TRACT 9-A, THE TRAILS, UNIT 2



Ventana Ward Meetinghouse
SEC Rainbow Blvd. & Woodmont Ave.
Albuquerque, NM

THE CHURCH OF JESUS CHRIST OF LATTER-DAY SAINTS

AS-BUILT SURVEY INFO

RECORD DRAWING / ENGINEER'S CERTIFICATION
09/08
10-08

Project Number:
Plan Series:
HER-TRA-98-13
Property Number:
589-1196

Sheet Title:
GRADING PLAN

Sheet:
C-1