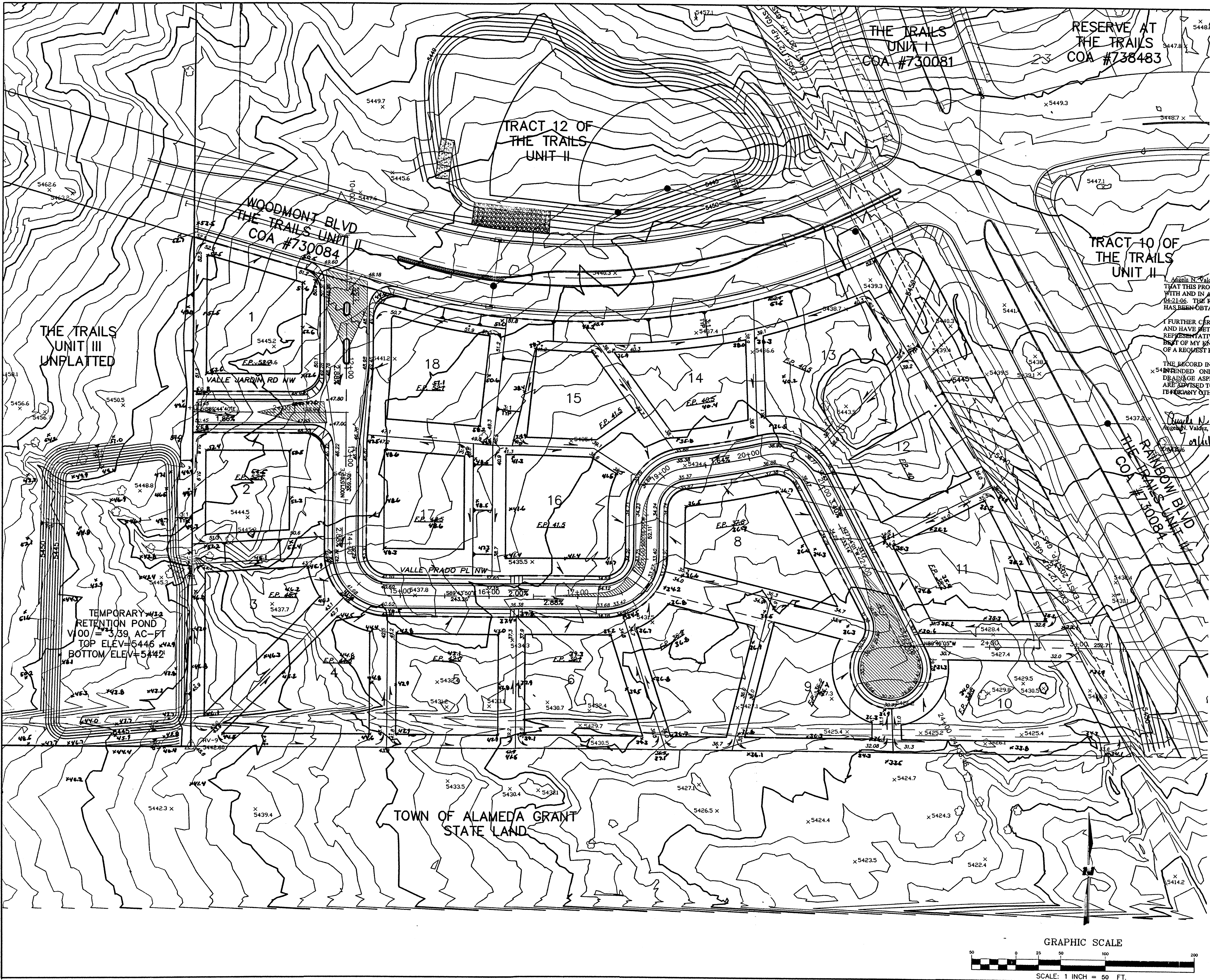




LEGEND

- RETAINING WALL
- HIGH POINT
- DIRECTION OF FLOW
- LINE ELEVATION
- BASIN BOUNDARY
- TYPE DOUBLE C INLET
- RETAINING WALL POINT
- MH TO BE BUILT WITH COA # 730084
- SD TO BE BUILT WITH COA # 730084
- PROPOSED SD MANHOLE
- PROPOSED SD PIPE

DRAINAGE CERT W/ SURVEY WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

I, Angela N. Valdez, NMPE 15814, OF THE FIRM, Wilson & Company, Inc., HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 04-21-06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY Russ Hugg, NMPS 9750, OF THE FIRM Survey-Tek.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 02-11-08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Angela N. Valdez
Angela N. Valdez, NMPE 15814
01/11/08

INDEX MAP

RECEIVED
SEP 13 2008
2600 THE AMERICAN ROAD S.E.
HYDROLOGYSYSTEMS
RIO RANCHO, NEW MEXICO
87124
(505) 895-8021

WILSON & COMPANY

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

VALLE VISTA AT THE TRAILS UNIT II
GRADING & DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
<i>Information Only</i>				
City Project No.	Zone Map No.	Sheet	Of	
730086	C-9-Z	5	16	

AS-BUILT INFORMATION

CONTRACTOR	DATE
INSPECTED BY	DATE
FIELD BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE

BENCH MARKS

ACS BRASS TABLET STAMPED "2-B10 1980"	DATE
Geographic Position (NAD 1927)	
N.M. State Plane Coordinates (Central Zone)	
X= 357543.73 Y= 1527196.48	
Ground-to-Grid Factor = 0.99966354	
ACQ = -00°16'30"	
SLD 1929 Elevation = 5429.35	

SURVEY INFORMATION

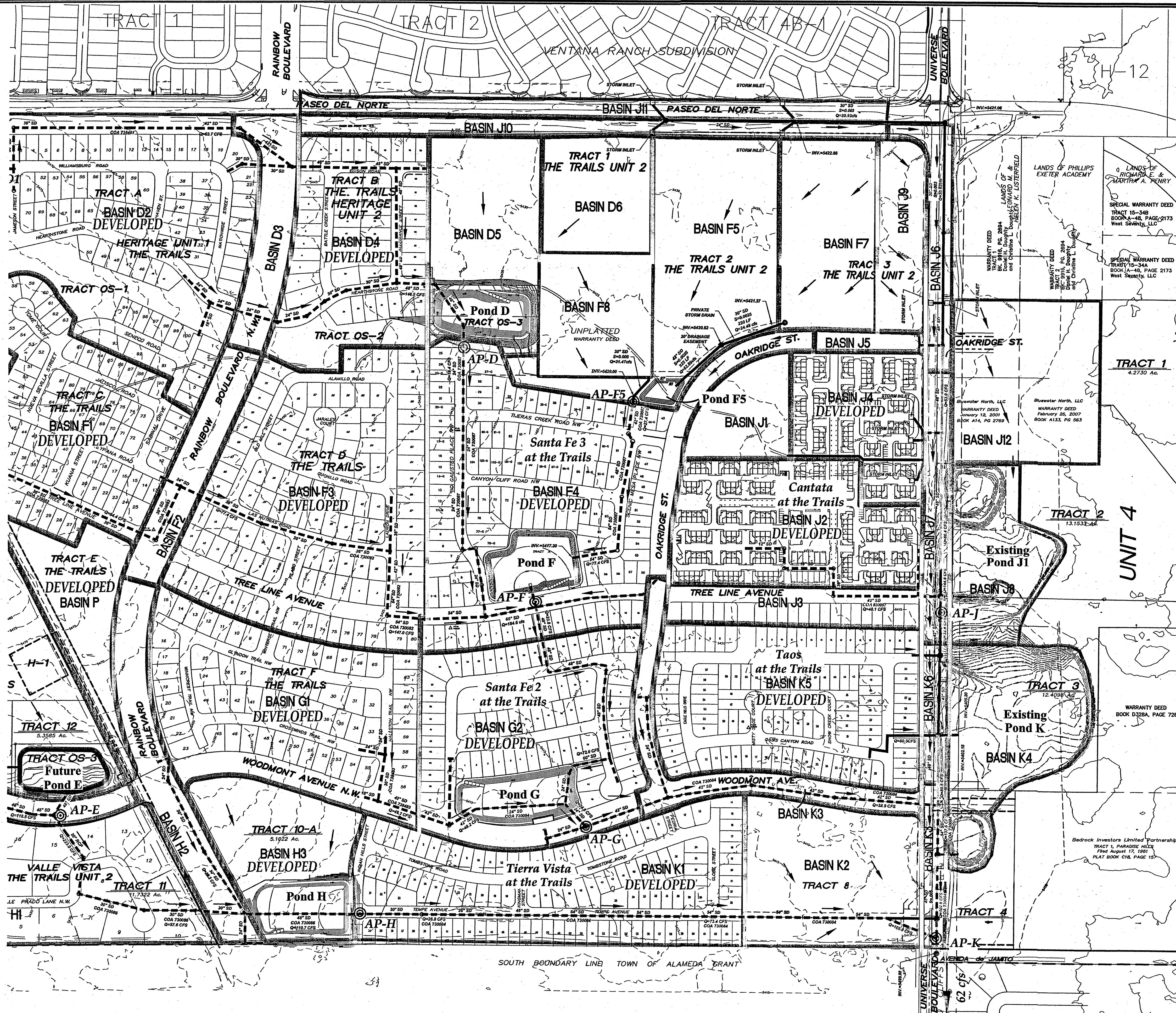
FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL

ANGELA N. VALDEZ
NMPE 15814
01/11/08

REVISIONS

NO.	DATE	REMARKS	BY
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DETENTION POND CHARACTERISTICS

POND	DRAIN AREA (AC)	Q100 IN (CFS)	Q100 OUT (CFS)	BYPASS Q (CFS)	MAX VOL (AC-FT)	V100 (AC-FT)	TOP ELEV	BOTTOM ELEV	WSEL
OFF 1	127.9	37.00	9.25		2.44	2.302	6	0	5.80
A5	166.8	110.22	15.56		4.61	4.004	5516	5511	5515.59
A6	191.4	81.87	15.81		4.72	3.114	5506	5500	5504.64
D1	209.8	60.24	13.41		6.06	5.111	5475	5471	5474.29
D	261.9	154.87	5.93	13.77	6.24	4.035	5436.9	5429.5	5435.03
F5	18.9	62.89	19.84		1.40	1.386	5426	5421	5425.97
F	359.4	235.89	17.66	6.20	11.76	10.383	5424.3	5415.08	5423.56
G	391.8	99.49	7.00	17.61	7.21	2.955	5422.5	5415.67	5419.84
OFF 2	51.8	13.87	4.43		1.08	0.813	5	0	4.19
B	12.8	34.80	3.36		0.59	0.930	5519	5515	5518.86
B	137.0	198.83	6.80	15.50	7.52	6.008	5448	5441.6	5447.02
H	167.0	89.12	5.20	21.60	3.02	2.870	5422	5418.65	5421.89
J	57.9	141.18	6.05	26.34	7.94	3.771	5417	5414	5415.66
K	672.6	189.53	15.81	44.91	14.84	8.391	5409	5404.85	5407.79

ANALYSIS POINT PEAK FLOWS

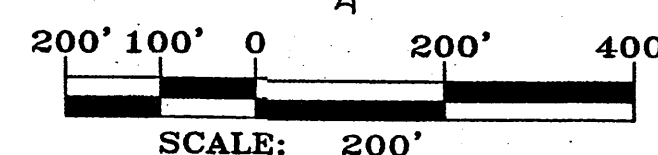
ANALYSIS POINT	PEAK FLOW
AP-A5	15.56 CFS
AP-A6	15.81 CFS
AP-D1	13.41 CFS
AP-D	19.70 CFS
AP-F5	27.40 CFS
AP-F	23.86 CFS
AP-G	24.61 CFS
AP-H	22.30 CFS
AP-J	26.80 CFS
AP-K	32.39 CFS
AP-K	60.72 CFS

DEVELOPED DRAINAGE BASIN CHARACTERISTICS

BASIN	AREA ACRES	LAND TREATMENT	Q CFS	VOL AC-FT
OFFSITE 1	127.87	A	100	4.426
A1	15.50	0	12.5	51.68
A2	8.52	0	33	23.43
A3	3.21	0	5	11.41
A4	7.59	0	7.5	26.39
A5	11.71	0	17	37.55
A6	16.97	0	19	53.44
A7	6.75	0	12.5	22.52
C	8.18	0	25	24.36
D1	11.62	0	19	36.60
D2	22.12	0	28.5	63.65
D3	3.71	0	5	13.18
D4	12.55	0	28.5	26.55
D5	8.75	0	23	36.12
D6	5.00	0	18	15.89
F1	14.13	0	21.7	43.39
F2	3.67	0	5	13.02
F3	22.80	0	21.7	70.02
F4	24.91	0	25	74.16
F5	11.85	0	12.5	39.52
F7	7.02	0	7.5	24.42
F8	5.00	0	18	15.89
G1	16.20	0	25	48.23
G2	16.19	0	25	48.22
OFFSITE 2	31.52	100	0	1.783
B	12.79	0	34	34.80
E1.1	17.62	0	33	34
E1.2	3.76	0	33	10.36
E2	8.63	0	18	27.42
E3	7.66	0	25	22.82
E4	3.69	0	5	13.11
E5	28.17	0	29	80.67
E6	3.12	0	5	11.09
P	5.41	43	25	7
H1	11.68	0	16	37.78
H2	5.35	0	5	19.16
H3	7.62	0	20	23.79
J1	3.31	0	12.5	11.04
J2	10.92	0	12.5	36.40
J3	3.71	0	19	11.70
J4	6.44	0	12.5	21.47
J5	0.86	0	5	3.05
J6	2.70	0	5	9.59
J7	2.84	0	5	10.09
J8	5.78	0	70	12.31
J9	3.51	0	7.5	12.20
J10	4.02	0	5	14.27
J11	4.79	0	5	16.65
J12	9.08	100	0	10.65
K1	17.11	0	19	50.54
K2	9.51	0	15	29.39
K3	5.85	0	5	20.76
K4	8.58	0	70	18.28
K5	15.13	0	19	47.63
K6	1.41	0	5	5.01

LEGEND

- ⊙ ANALYSIS POINT
- EXISTING STORM DRAIN
- FLOW DIRECTION
- FUTURE DEVELOPED STORM DRAIN



NOTES:
 1. STORM DRAIN SIZES BASED ON 100-YR, 24-HR STORM FLOWS.
 FUTURE PROJECTS MAY BE REQUIRED TO INCREASE STORM DRAIN SIZE BASED ON 100-YR, 6-HR STORM FLOWS.
 2. THE INTENDED FUTURE CONTRIBUTION FROM THE TRAILS UNIT 4 IS 26 CFS TO THE MAXIMUM DOWNSTREAM DISCHARGE OF 62 CFS IN UNIVERSE BLVD.

DATUM NAVD 1929

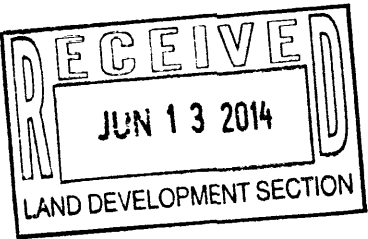
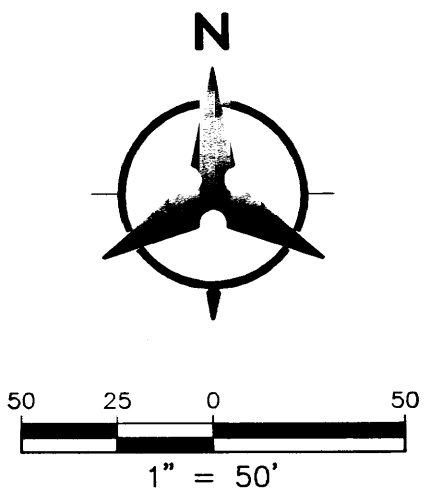
Thompson Engineering Consultants, Inc.
 tecm@yahoo.com
 P.O. BOX 65760 ALBUQUERQUE, NM 87193
 PHONE: (505) 271-2199 FAX: (505) 830-9248

AMENDMENT TO DMP FOR THE TRAILS UNITS 1, 2 AND 3 PLATE 2



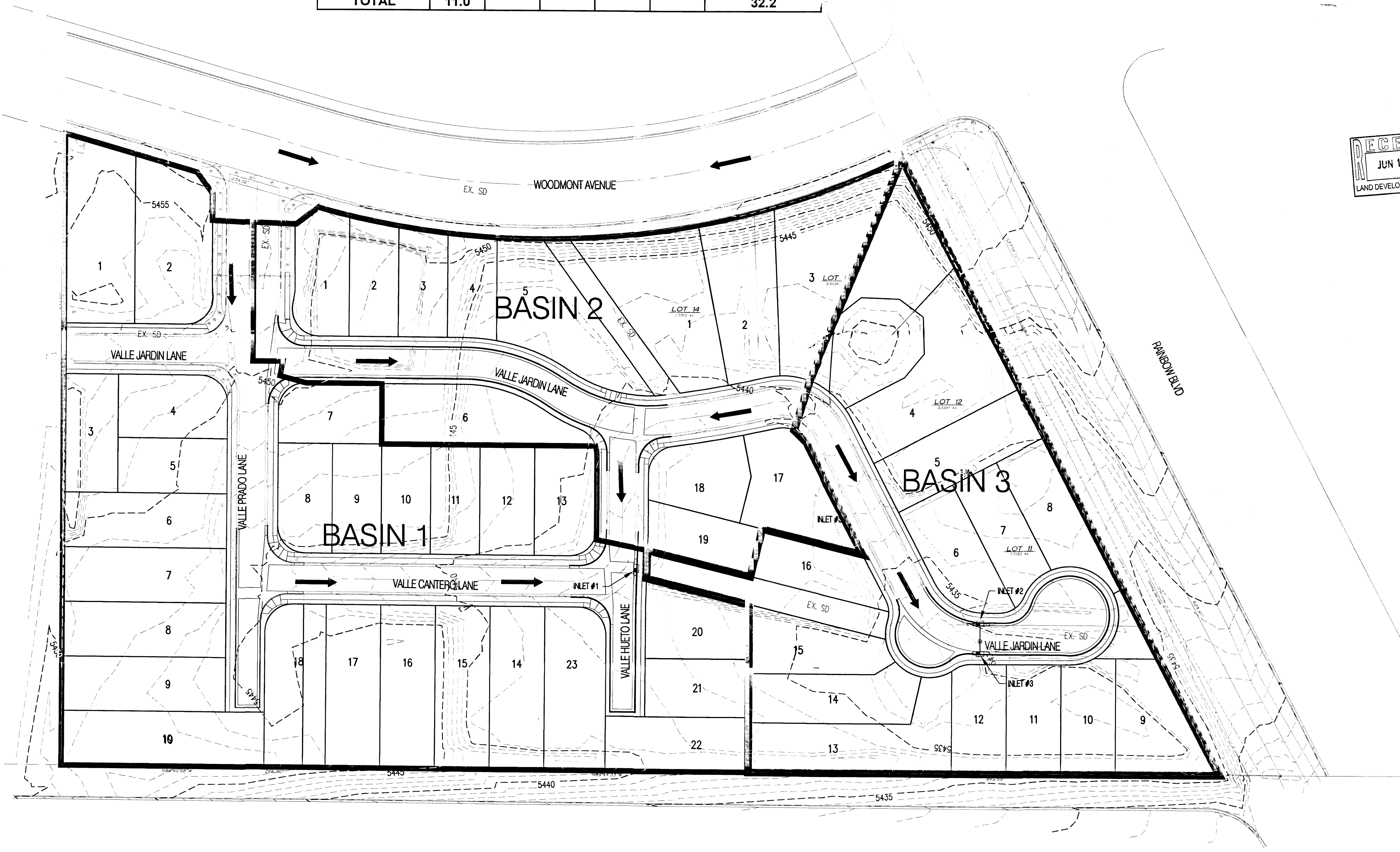
VALLE VISTA
FULLY DEVELOPED BASIN MAP

BASIN	AREA (AC)	% LAND TREATMENT				Q (100YR-24HR) (CFS)
		A	B	C	D	
BASIN 1	5.1	0.0%	25.0%	25.0%	50.0%	15.1
BASIN 2	2.8	0.0%	28.0%	28.0%	44.0%	8.2
BASIN 3	3.1	0.0%	28.0%	28.0%	44.0%	8.9
TOTAL	11.0					32.2



LEGEND

BASIN BOUNDARY	
FLOW ARROW	
PROPOSED STORM DRAIN	
EXISTING STORM DRAIN	



TRACT 3
THE TRAILS UNIT 3A
FILED: DECEMBER 21, 2007
PLAT BOOK 2007 2, PG. 0352

TRACT OS-3
THE TRAILS UNIT 3A
FILED: 12/21/07, BK: 2007C, PG: 0352

VALLE VISTA STORM DRAIN CAPACITY CALCULATIONS				
Pipe #	Size in.	Slope	Capacity cfs	Design Flow cfs
Valle Jardin Lane				
1	24	0.50%	16.00	31.30
2	24	0.55%	16.78	31.30
Tract C Unit 2				
3	30	3.33%	74.85	22.30
Valle Huerto Lane				
4	30	1.19%	44.74	22.30
Tract C Unit 3				
5	30	2.46%	64.33	45.60
Valle Jardin Lane				
6	30	1.11%	43.21	54.50

*Capacity is based on gravity flow using Manning's Equation with n=0.013
*Under pressure flow conditions design flow may exceed capacity

KEY NOTES

- (A) EXISTING 4" STORM DRAIN MANHOLE
- (B) EXISTING TYPE 'A' SINGLE GRATE INLET TO BE CONVERTED TO TYPE 'D' INLET OR REPLACED WITH 4" MANHOLE
- (C) PROPOSED TYPE 'A' SINGLE GRATE INLET
- (D) PROPOSED TYPE 'A' DOUBLE GRATE INLET
- (E) EXISTING 25" PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT
- (F) EXISTING 30" PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT
- (G) EXISTING 20" PUBLIC DRAINAGE EASEMENT
- (H) NEW 4" STORM DRAIN MANHOLE

GENERAL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- x 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- HIGH POINT
- WALL DRAIN

Bohannon & Huston
www.bhinc.com 800.877.5332



**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**VALLE VISTA UNITS 1, 2 & 3
GRADING AND DRAINAGE PLAN**

Design Review Committee/ City Engineer Approval		Mo./Day/Yr.	
		Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	XXXXXX	Zone Map No.	C-09-Z
Sheet	1	Of	2

This is supervised by Plan Stamp date 9/23

PRELIMINARY PLAT FOR
VALLE VISTA UNIT 1
LOTS 1-10 & TRACTS
A1 & A2
JUNE, 2014

LEGAL DESCRIPTION

Lots 1-4 and Tract A, Valle Vista at The Trails Unit 2 Subdivision, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the correction plat entitled "VALLE VISTA AT THE TRAILS UNIT 2 WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 21, 2007, in Plat Book 2007C, Page 168, as Document No. 2007094303.

GENERAL NOTES

- EXISTING ZONING: SU-2, RD, TRAILS RESIDENTIAL DEVELOPING AREA
PROPOSED ZONING: SU-2, RD, TRAILS RESIDENTIAL DEVELOPING AREA
- PROPOSED ACREAGE: 3.65 AC
NUMBER OF LOTS: 10
PROPOSED DENSITY: 3.96 DU/AC
- MIN. LOT DIMENSIONS: 45' X 95'
MINIMUM LOT AREA: 4,275 SQFT
- ALL UTILITIES, AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN.
- TRACTS A1 AND A2 SHALL CONTAIN PRIVATE STREET RIGHT OF WAY. STREET IMPROVEMENTS TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.
- ALL PRIVATE STREET RIGHT OF WAY (TRACTS A1 AND A2) SHALL HAVE A PUBLIC SANITARY SEWER, WATER AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE.
- NO LOTS SHALL HAVE DIRECT ACCESS TO WOODMONT AVENUE.

SITE DATA

ZONE ATLAS NO.	C-09-Z
ZONING	SU-2, RD
MILES OF FULL WIDTH STREETS CREATED	0.29 MILES
NO. OF EXISTING TRACTS	5
NO. OF LOTS CREATED	10
NO. OF HOA TRACTS CREATED	2

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 9750".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

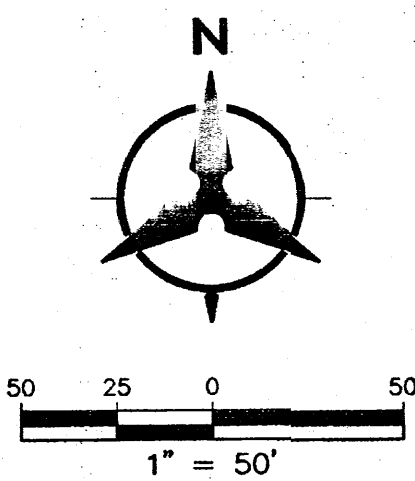
APPROVED

Dale P. Ashten 6-10-14
CITY SURVEYOR DATE

Kelly Calhoun 6/9/14
KELLY CALHOUN
MANAGER, WOODMONT-PASEO, LLC DATE

Kelly Calhoun 6/9/14
KELLY CALHOUN
PRESIDENT, THE TRAILS COMMUNITY ASSOCIATION, INC. DATE

Bohannon & Huston



BOUNDARY CURVE TABLE				
ID	ARC	RADIUS	DELTA	TANGENT
C1	6.82'	770.00'	00°30'27"	3.41'
C2	112.31'	71.50'	90°00'00"	71.50'
C3	35.35'	24.50'	82°39'34"	21.55'
C4	97.46'	966.50'	05°46'40"	48.77'
C5	32.40'	24.50'	75°46'56"	19.07'
C6	29.16'	24.50'	68°11'47"	16.59'
C7	197.10'	45.50'	248°11'47"	-----
C8	94.57'	71.50'	75°46'56"	55.64'
C9	92.72'	919.50'	05°46'40"	46.40'
C10	103.15'	71.50'	82°39'34"	62.88'
C11	38.48'	24.50'	90°00'00"	24.50'
C12	38.48'	24.50'	89°59'10"	24.49'

BOUNDARY TANGENT TABLE		
ID	BEARING	LENGTH
T1	N74°04'05"W	234.56'
T2	S00°15'20"W	577.91'
T3	S89°40'58"E	220.95'
T4	N00°16'10"E	149.68'
T5	S89°43'50"E	243.26'
T6	N00°16'10"E	52.11'
T7	S27°04'01"E	168.15'
T8	N27°04'01"W	233.14'
T9	S00°16'10"W	52.11'
T10	N89°43'50"W	243.26'
T11	N00°15'20"E	126.11'
T12	N09°29'40"E	90.31'
T13	N00°15'20"E	60.25'
T14	N53°01'03"E	26.89'

Albuquerque Control Survey Monument
"UNION"
New Mexico State Plane Coordinates, Central Zone (NAD 83) as published:
N=1,523,503.475
E=1,493,655.030
Ground to grid factor= 0.999664360
Delta Alpha= -00°16'58.96"
Elevation= 5524.950

TRACT OS-3
THE TRAILS UNIT 3A
FILED: 12/21/07, BK: 2007C, PG: 0352

KEYED NOTES

- (A) EXISTING 10' PUBLIC UTILITY EASEMENT
- (B) 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- (C) EXISTING PUBLIC PEDESTRIAN ACCESS EASEMENT
- (D) EXISTING 20' PUBLIC DRAINAGE EASEMENT
- (E) EXISTING 25' PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT.
- (F) EXISTING 30' PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT.
- (G) TRACT LINE ELIMINATED WITH THIS PLAT

LEGEND

- SUBDIVISION BOUNDARY LINE
- TRACT BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

PRELIMINARY PLAT FOR
VALLE VISTA UNIT 3
LOTS 1-23 & TRACTS
A2B1, A2B2 AND B-E
JUNE 2014

LEGAL DESCRIPTION

Lots 11-14, Valle Vista at The Trails Unit 2 Subdivision, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the correction plat entitled "VALLE VISTA AT THE TRAILS UNIT 2 WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 21, 2007, in Plat Book 2007C, Page 168, as Document No. 2007091303 & Tracts B and A2B, Valle Vista Unit 2 City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "SUBDIVISION PLAT OF VALLE VISTA UNIT 2 (LOTS 1-18 & TRACTS A2A, A2B & B), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on _____, in Plat Book _____, Page _____, as Document No. _____.

GENERAL NOTES

- EXISTING ZONING: SU-2, RD, TRAILS RESIDENTIAL DEVELOPING AREA
PROPOSED ZONING: SU-2, RD, TRAILS RESIDENTIAL DEVELOPING AREA
- PROPOSED ACREAGE: 5.15 AC
NUMBER OF LOTS: 23
PROPOSED DENSITY: 4.47 DU/AC
- MIN. LOT DIMENSIONS: 45' X 95'
MINIMUM LOT AREA: 4,275 SQFT
- ALL UTILITIES, AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN.
- TRACTS A2B1 AND A2B2 SHALL CONTAIN PRIVATE STREET RIGHT OF WAY. STREET IMPROVEMENTS TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.
- ALL PRIVATE STREET RIGHT OF WAY (TRACTS A2B1 AND A2B2) SHALL HAVE A PUBLIC SANITARY SEWER, WATER AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE.
- NO LOTS SHALL HAVE DIRECT ACCESS TO WOODMONT AVENUE.
- TRACT B-E TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.
- TRACT D IS SUBJECT TO A BLANKET PRIVATE ACCESS EASEMENT FOR THE USE AND BENEFIT OF LOTS 9 & 10.
- TRACT E IS SUBJECT TO A BLANKET PRIVATE ACCESS AND LANDSCAPE EASEMENT.

SITE DATA

ZONE ATLAS NO.	C-09-2
ZONING	SU-2, RD
MILES OF FULL WIDTH STREETS CREATED	0.11 MILES
NO. OF EXISTING TRACTS	6
NO. OF LOTS CREATED	23
NO. OF HOA TRACTS CREATED	6

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 9/28/07".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED

Don P. Agate
CITY SURVEYOR

6-10-14
DATE

Kelly Calhoun
KELLY CALHOUN
MANAGER, WOODMONT-PASEO, LLC

6/9/14
DATE

Kelly Calhoun
KELLY CALHOUN
PRESIDENT, THE TRAILS COMMUNITY ASSOCIATION INC.

6/9/14
DATE

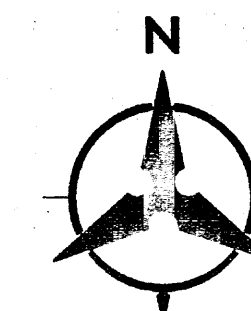
Bohannon & Huston

KEYED NOTES

- (A) EXISTING 10' PUBLIC UTILITY EASEMENT
- (B) 10' PUBLIC UTILITY EASEMENT
- (C) EXISTING 10' PUBLIC UTILITY EASEMENT TO BE VACATED WITH THE RECORDING OF THIS PLAT.
- (D) EXISTING 25' PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT.
- (E) EXISTING 30' PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT.
- (F) PRIVATE ACCESS EASEMENT FOR THE USE AND BENEFIT OF LOT 15
- (G) TRACT LINE ELIMINATED WITH THIS PLAT
- (H) EXISTING 20' PUBLIC DRAINAGE EASEMENT
- (J) PORTION OF EXISTING PUBLIC SANITARY SEWER, WATER AND DRAINAGE EASEMENT TO BE VACATED WITH RECORDING OF THIS PLAT.

LEGEND

- SUBDIVISION BOUNDARY LINE
- TRACT BOUNDARY
- NEW LOT LINE
- ADJOINING PROPERTY LINE
- CENTERLINE MONUMENT TO BE INSTALLED
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT



50 25 0 50
1" = 50'

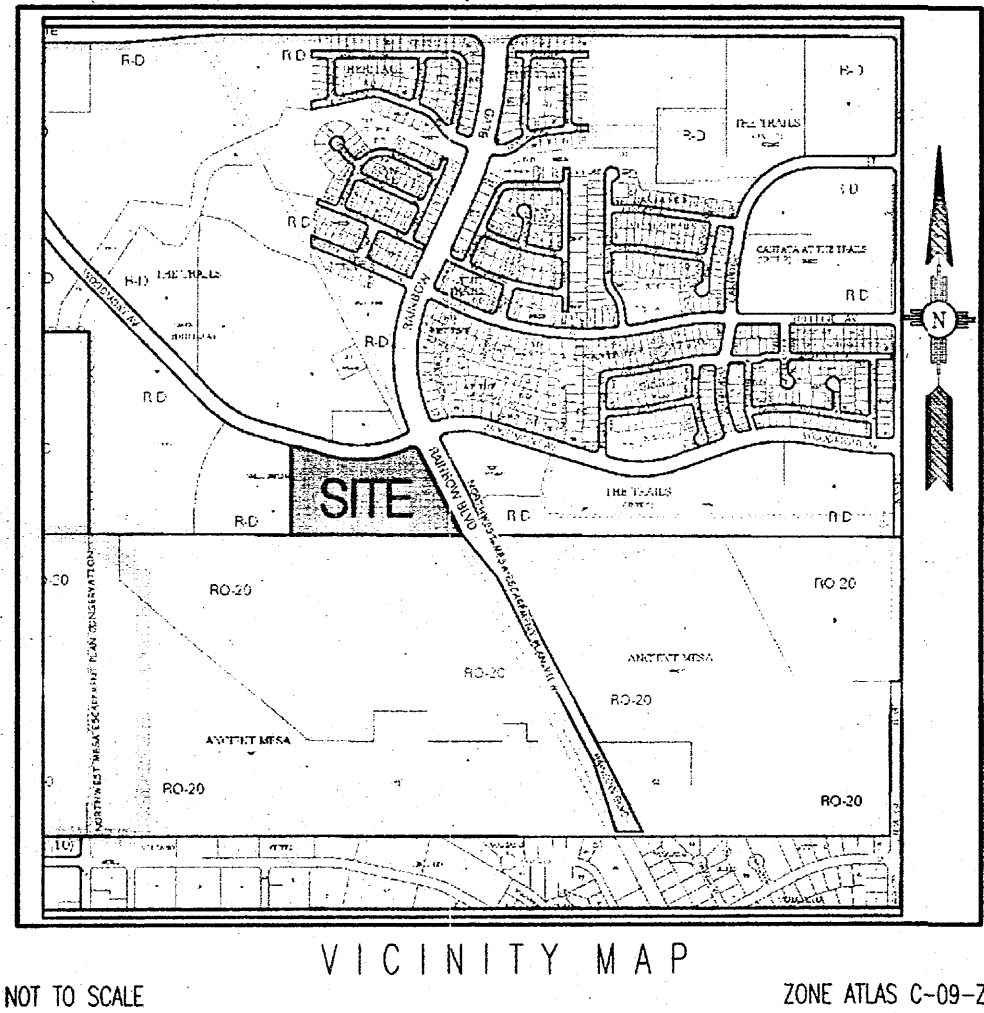
ID	ARC	RADIUS	DELTA	TANGENT
C1	341.19°	770.00'	25°23'17"	173.44'
C2	35.35°	24.50'	82°39'34"	21.55'
C3	112.31°	71.50'	90°00'00"	71.50'

ID	BEARING	LENGTH
T1	S00°16'10"W	149.76'
T2	S89°44'33"E	618.65'
T3	N27°16'48"W	633.92'
T4	S35°40'0"E	177.65'
T5	S00°16'10"W	52.11'
T6	N89°43'50"W	22.52'

TRACT 8
THE TRAILS UNIT 3A
FILED: DECEMBER 31, 2007
PLAT BOOK 2007C, PG. 0352

Albuquerque Control Survey Monument
"UNION"
New Mexico State Plane Coordinates,
Central Zone (NAD 83) as published:
N=1,523,503.475
E=1,493,655.030
Ground to grid factor= 0.999664360
Delta Alpha= -00°16'58.96
Elevation= 5524.950

TRACT 05-3
THE TRAILS UNIT 3A
FILED: 12/21/07, BK: 2007C, PG: 0352



NOT TO SCALE
VICINITY MAP
ZONE ATLAS C-09-Z

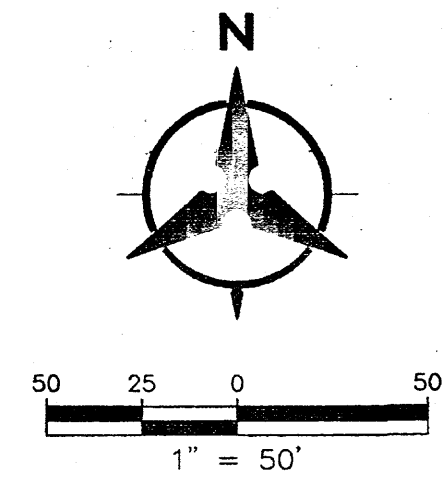
TRACT 9
THE TRAILS UNIT 3A
FILED: DECEMBER 21, 2007
PLAT BOOK 2007C, PG. 0352

Albuquerque Control Survey Monument
"UNION"
New Mexico State Plane Coordinates,
Central Zone (NAD 83) as published:
N=1,523,503.475
E=1,493,655.030
Ground to grid factor= 0.999664360
Delta Alpha= -00°16'58.96
Elevation= 5524.950

ID	ARC	RADIUS	DELTA	TANGENT
C1	38.48'	24.50'	89°59'10"	24.49'
C2	39.28'	25.00'	90°00'50"	25.01'
C3	207.45'	770.00'	15°26'12"	104.36'
C4	9.63'	71.50'	07°43'00"	4.82'
C5	92.72'	919.50'	05°46'40"	46.40'
C6	94.57'	71.50'	75°46'56"	55.64'

ID	BEARING	LENGTH
T1	S53°01'03"W	26.89'
T2	S00°15'20"W	60.25'
T3	S09°29'40"W	90.31'
T4	S00°15'20"W	126.11'
T5	S00°16'10"W	47.00'
T6	N89°17'41"W	10.31'
T7	S00°15'20"W	74.57'
T8	S89°40'58"E	266.70'
T9	S89°44'33"E	793.63'
T10	N27°16'48"W	153.93'
T11	S89°46'05"E	170.25'
T12	S27°04'01"E	210.94'

TRACT 06-S
THE TRAILS UNIT 3A
FILED: 12/21/07, BKG 2007C, PG. 0352



PRELIMINARY PLAT FOR VALLE VISTA UNIT 2 LOTS 1-19 & TRACTS A2A, A2B, B JUNE 2014

LEGAL DESCRIPTION

Lots 5-10 and 15-18, Valle Vista at The Trails Unit 2 Subdivision, City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the correction plat entitled "VALLE VISTA AT THE TRAILS UNIT 2 WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTIONS 16, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on June 21, 2007, in Plat Book 2007C, Page 158, as Document No. 2007091303 & Lot 10 & Tract A2, Valle Vista Unit 1 City of Albuquerque, Bernalillo County, New Mexico, as the same is shown and designated on the plat entitled "SUBDIVISION PLAT OF VALLE VISTA UNIT 1 (LOTS 1-10 & TRACTS A1, A2 & B), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on _____, in Plat Book _____, Page _____, as Document No. _____.

GENERAL NOTES

- EXISTING ZONING: SU-2, RD, TRAILS RESIDENTIAL DEVELOPING AREA
PROPOSED ZONING: SU-2, RD, TRAILS RESIDENTIAL DEVELOPING AREA
- PROPOSED ACREAGE: 6.32 AC
NUMBER OF LOTS: 19
PROPOSED DENSITY: 5.37 DU/AC
- MIN. LOT DIMENSIONS: 45' X 95'
MINIMUM LOT AREA: 4,275 SQFT
- ALL UTILITIES, AND STORM DRAIN IMPROVEMENTS ARE TO BE PUBLIC AND TO BE DEDICATED TO THE CITY OF ALBUQUERQUE FOR MAINTENANCE.
- LOT SETBACKS SHALL CONFORM TO THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN.
- TRACTS A2A AND A2B SHALL CONTAIN PRIVATE STREET RIGHT OF WAY. STREET IMPROVEMENTS TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC.
- ALL PRIVATE STREET RIGHT OF WAY (TRACTS A2A AND A2B) SHALL HAVE A PUBLIC SANITARY SEWER, WATER AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE.
- NO LOTS SHALL HAVE DIRECT ACCESS TO WOODMONT AVENUE.
- TRACT B TO BE OWNED AND MAINTAINED BY THE TRAILS COMMUNITY ASSOCIATION, INC. AND TO BE SUBDIVIDED AS PART OF VALLE VISTA UNIT 3.

SITE DATA

ZONE ATLAS NO.	C-09-Z
ZONING	SU-2, RD
MILES OF FULL WIDTH STREETS CREATED	0.23 MILES
NO. OF EXISTING TRACTS	12
NO. OF LOTS CREATED	19
NO. OF HOA TRACTS CREATED	3

SURVEY NOTES:

- ALL BOUNDARY CORNERS SHOWN (●) ARE FOUND REBAR W/CAP.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (▲) AND WILL BE MARKED BY (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 9750".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, TANGENCY STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED
Dan P. Acosta 6-10-14
CITY SURVEYOR DATE
L. M. Otero 6/9/14
LAWRENCE OTERO DATE
OWNER, LOT 5
Kelly Calhoun 6/9/14
KELLY CALHOUN DATE
MANAGER, WOODMONT-PASEO, LLC
Kelly Calhoun 6/9/14
KELLY CALHOUN DATE
PRESIDENT, THE TRAILS COMMUNITY ASSOCIATION, INC.

Bohannon & Huston

KEYED NOTES

- (A) EXISTING 10' PUBLIC UTILITY EASEMENT
- (B) 10' PUBLIC UTILITY EASEMENT GRANTED BY THIS PLAT.
- (C) EXISTING 20' PUBLIC DRAINAGE EASEMENT
- (D) EXISTING 25' PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT.
- (E) EXISTING 30' PUBLIC PEDESTRIAN ACCESS EASEMENT UNIT 3.
- (F) TRACT LINE ELIMINATED WITH THIS PLAT

LEGEND	
	SUBDIVISION BOUNDARY LINE
	TRACT BOUNDARY
	NEW LOT LINE
	ADJOINING PROPERTY LINE
	CENTERLINE MONUMENT TO BE INSTALLED
	CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT

GRADING AND DRAINAGE CERTIFICATION
I, SCOTT J. STEFFEN, NMPE 14664, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT LOTS 1-8, VALLE VISTA UNIT 1, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 6/23/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY RUSS HUGG, NMPS 9750, OF SURVITEK INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/07/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Scott J. Steffen 10/8/14
SCOTT J. STEFFEN NMPE 14664 DATE



VALLE VISTA STORM DRAIN CAPACITY CALCULATIONS

Pipe #	Size in.	Slope	Capacity cfs	Design Flow cfs
Valle Jardin Lane				
1	24	0.50%	16.00	31.30
2	24	0.55%	16.78	31.30
Tract C Unit 2				
3	30	3.33%	74.85	22.30
Valle Huerto Lane				
4	30	1.19%	44.74	22.30
Tract C Unit 3				
5	30	2.46%	64.33	45.60
Valle Jardin Lane				
6	30	1.11%	43.21	54.50

*Capacity is based on gravity flow using Manning's Equation with n=0.013
*Under pressure flow conditions design flow may exceed capacity

KEY NOTES

- EXISTING 4" STORM DRAIN MANHOLE
- EXISTING TYPE 'A' SINGLE GRATE INLET TO BE CONVERTED TO TYPE 'D' INLET OR REPLACED WITH 4" MANHOLE
- PROPOSED TYPE 'A' SINGLE GRATE INLET
- PROPOSED TYPE 'A' DOUBLE GRATE INLET
- EXISTING 25" PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT.
- EXISTING 30" PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT.
- EXISTING 20" PUBLIC DRAINAGE EASEMENT
- NEW 4" STORM DRAIN MANHOLE

GENERAL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL, SHEET 38, AND NETTING THE SOIL TO KEEP IT FROM BLOWING.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- 82.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- HIGH POINT
- WALL DRAIN

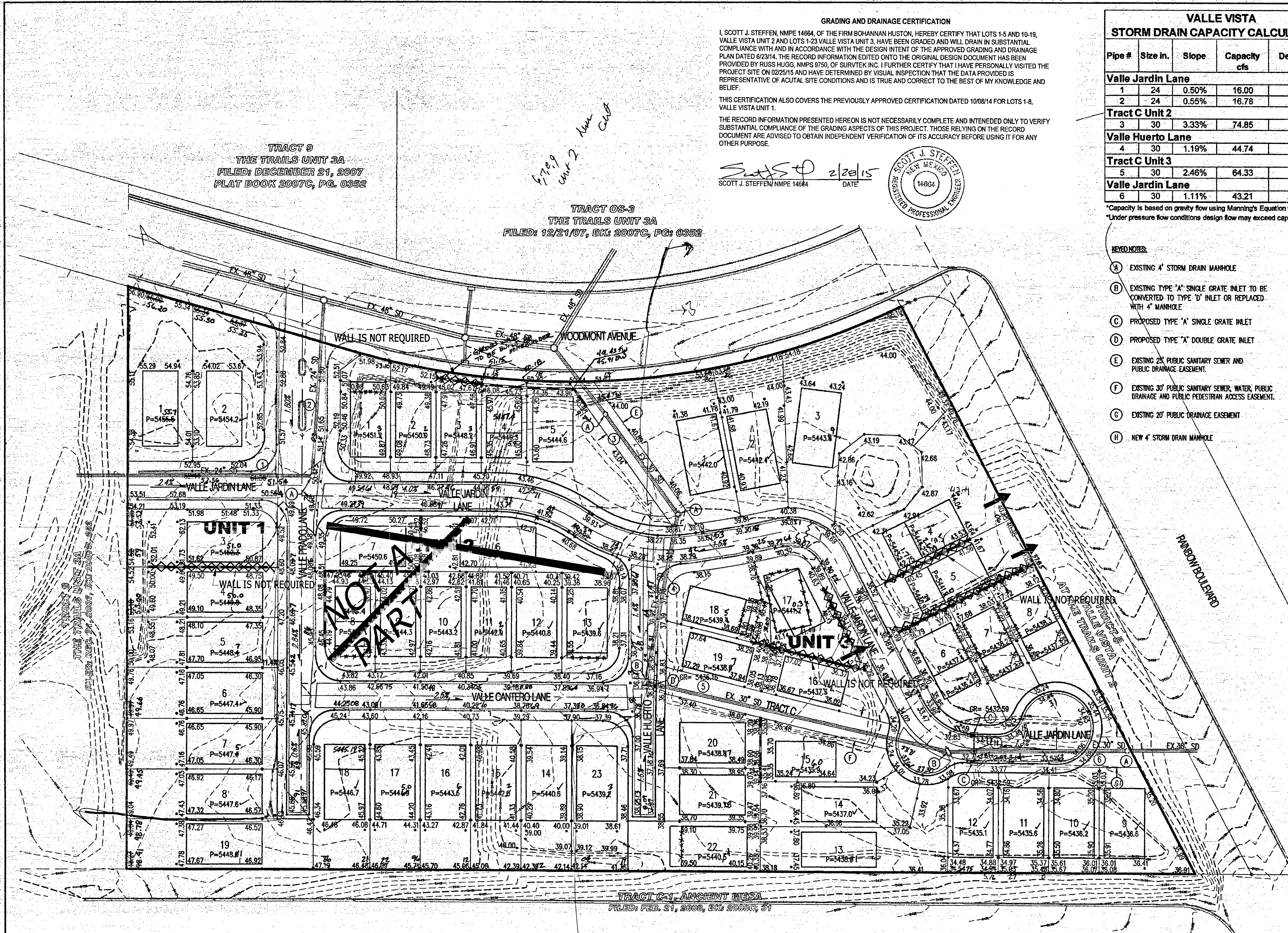
Bohannan & Huston
www.bhinc.com 800.877.5332



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

VALLE VISTA UNITS 1, 2 & 3
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXXX	C-09-Z	1	2



GRADING AND DRAINAGE CERTIFICATION

I, SCOTT J. STEFFEN, NMPE 14684, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT LOTS 1-5 AND 10-19, VALLE VISTA UNIT 2 AND LOTS 1-23 VALLE VISTA UNIT 3, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 6/23/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY RUSS HUGG, NMPS 9750, OF SURVTEK INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 02/25/15 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

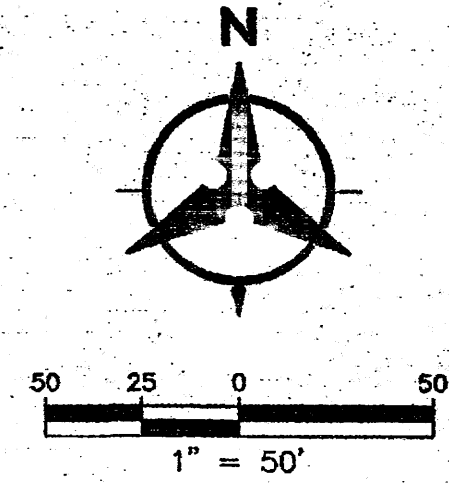
THIS CERTIFICATION ALSO COVERS THE PREVIOUSLY APPROVED CERTIFICATION DATED 10/08/14 FOR LOTS 1-8, VALLE VISTA UNIT 1.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J. STEFFEN NMPE 14684 DATE 2/26/15

VALLE VISTA STORM DRAIN CAPACITY CALCULATIONS				
Pipe #	Size in.	Slope	Capacity cfs	Design Flow cfs
Valle Jardin Lane				
1	24	0.50%	16.00	31.30
2	24	0.55%	16.78	31.30
Tract C Unit 2				
3	30	3.33%	74.85	22.30
Valle Huerto Lane				
4	30	1.19%	44.74	22.30
Tract C Unit 3				
5	30	2.46%	64.33	45.60
Valle Jardin Lane				
6	30	1.11%	43.21	54.50

*Capacity is based on gravity flow using Manning's Equation with n=0.013
*Under pressure flow conditions design flow may exceed capacity



- KEY NOTES:**
- (A) EXISTING 4" STORM DRAIN MANHOLE
 - (B) EXISTING TYPE "A" SINGLE GRATE INLET TO BE CONVERTED TO TYPE "D" INLET OR REPLACED WITH 4" MANHOLE
 - (C) PROPOSED TYPE "A" SINGLE GRATE INLET
 - (D) PROPOSED TYPE "A" DOUBLE GRATE INLET
 - (E) EXISTING 24" PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT
 - (F) EXISTING 30" PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT
 - (G) EXISTING 20" PUBLIC DRAINAGE EASEMENT
 - (H) NEW 4" STORM DRAIN MANHOLE

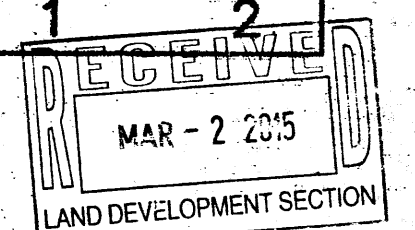
- GENERAL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
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 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

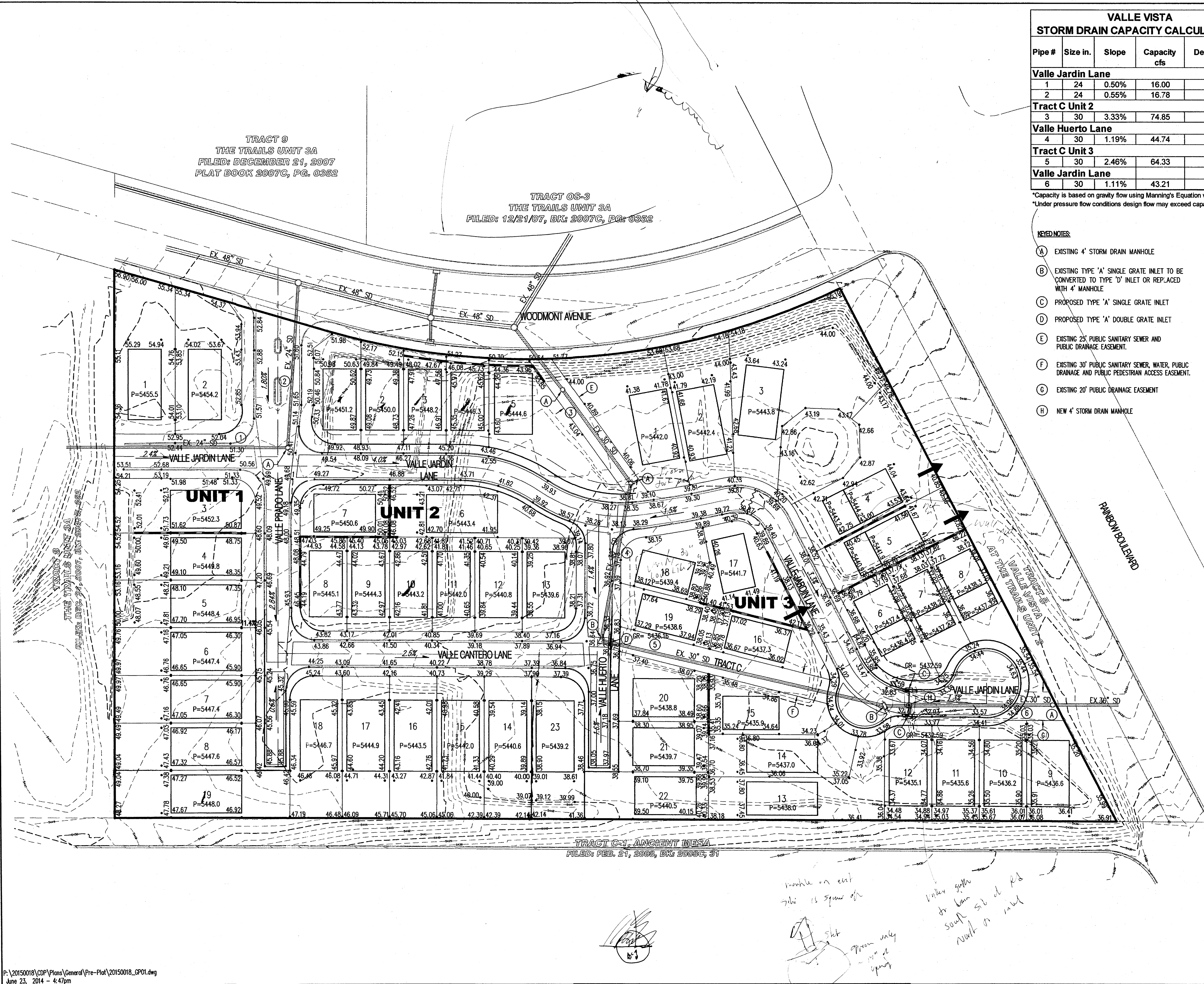
- LEGEND**
- 91.62 PROPOSED SPOT ELEVATION
 - 92.46 EXISTING SPOT ELEVATION (GRID & TC)
 - ===== EXISTING CURB & GUTTER
 - ===== PROPOSED MOUNTABLE CURB & GUTTER
 - ===== PROPOSED STANDARD CURB & GUTTER
 - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - ===== PROPOSED RETAINING WALL
 - ===== PROPOSED SLOPE
 - ===== PROPOSED STORM DRAIN
 - ⊙ PROPOSED STORM DRAIN MANHOLE
 - ⊙ PROPOSED STORM DRAIN INLET
 - ~ HIGH POINT
 - WALL DRAIN

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		REMARKS	
CONTRACTOR	DATE	STAMPED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE	By	Date
AGS MONUMENT STAMPED "UNION"				GEOGRAPHIC POSITION (NAD 83)		N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		GROUND-TO-GRID FACTOR = 0.999664360		NAVD 1988 ELEVATION = 5524.950	
				N = 1,523,503.475		E = 1,493,655.030		Δa = -00'16.58.96"			
				MICROFILM INFORMATION		RECORDED BY		NO.		DATE: 11/13	
										DATE: 11/13	
										DATE: 11/13	

Bohannon & Huston
www.bhinc.com 800.877.5332

		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
VALLE VISTA UNITS 1, 2 & 3 GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXXX	C-09-Z	1	2





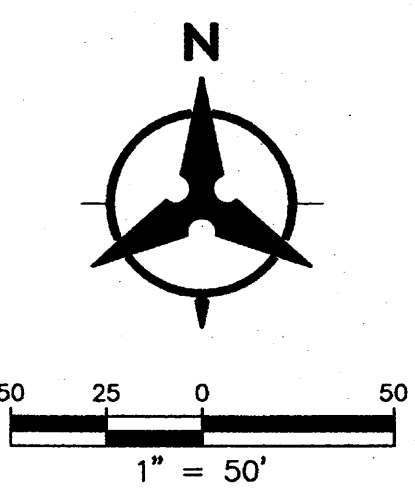
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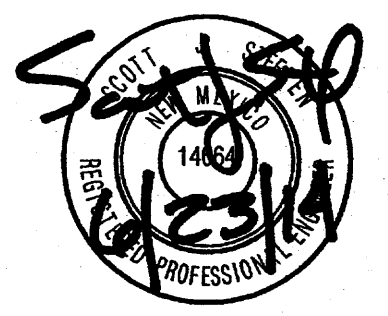
- KEY NOTES:**
- (A) EXISTING 4' STORM DRAIN MANHOLE
 - (B) EXISTING TYPE 'A' SINGLE GRATE INLET TO BE CONVERTED TO TYPE 'D' INLET OR REPLACED WITH 4' MANHOLE
 - (C) PROPOSED TYPE 'A' SINGLE GRATE INLET
 - (D) PROPOSED TYPE 'A' DOUBLE GRATE INLET
 - (E) EXISTING 24" PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT
 - (F) EXISTING 30" PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT
 - (G) EXISTING 20" PUBLIC DRAINAGE EASEMENT
 - (H) NEW 4' STORM DRAIN MANHOLE

- GENERAL NOTES**
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 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

- LEGEND**
- 91.62 PROPOSED SPOT ELEVATION
 - 92.46 EXISTING SPOT ELEVATION (GRID & IC)
 - EXISTING CURB & GUTTER
 - ===== PROPOSED MOUNTABLE CURB & GUTTER
 - ===== PROPOSED STANDARD CURB & GUTTER
 - 5470--- EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - ===== PROPOSED RETAINING WALL
 - ===== PROPOSED SLOPE
 - PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN MANHOLE
 - PROPOSED STORM DRAIN INLET
 - ~ HIGH POINT
 - WALL DRAIN



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	BY	NO.	By
REVISIONS	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE				
REVISIONS	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE				
REVISIONS	DATE	N = 1,923,503.475 E = 1,493,655.030	DATE				
REVISIONS	DATE	GROUND-TO-GRID FACTOR = 0.999664360	DATE				
REVISIONS	DATE	Δx = -00'16"58.96"	DATE				
REVISIONS	DATE	NAVD 1988 ELEVATION = 5524.950	DATE				

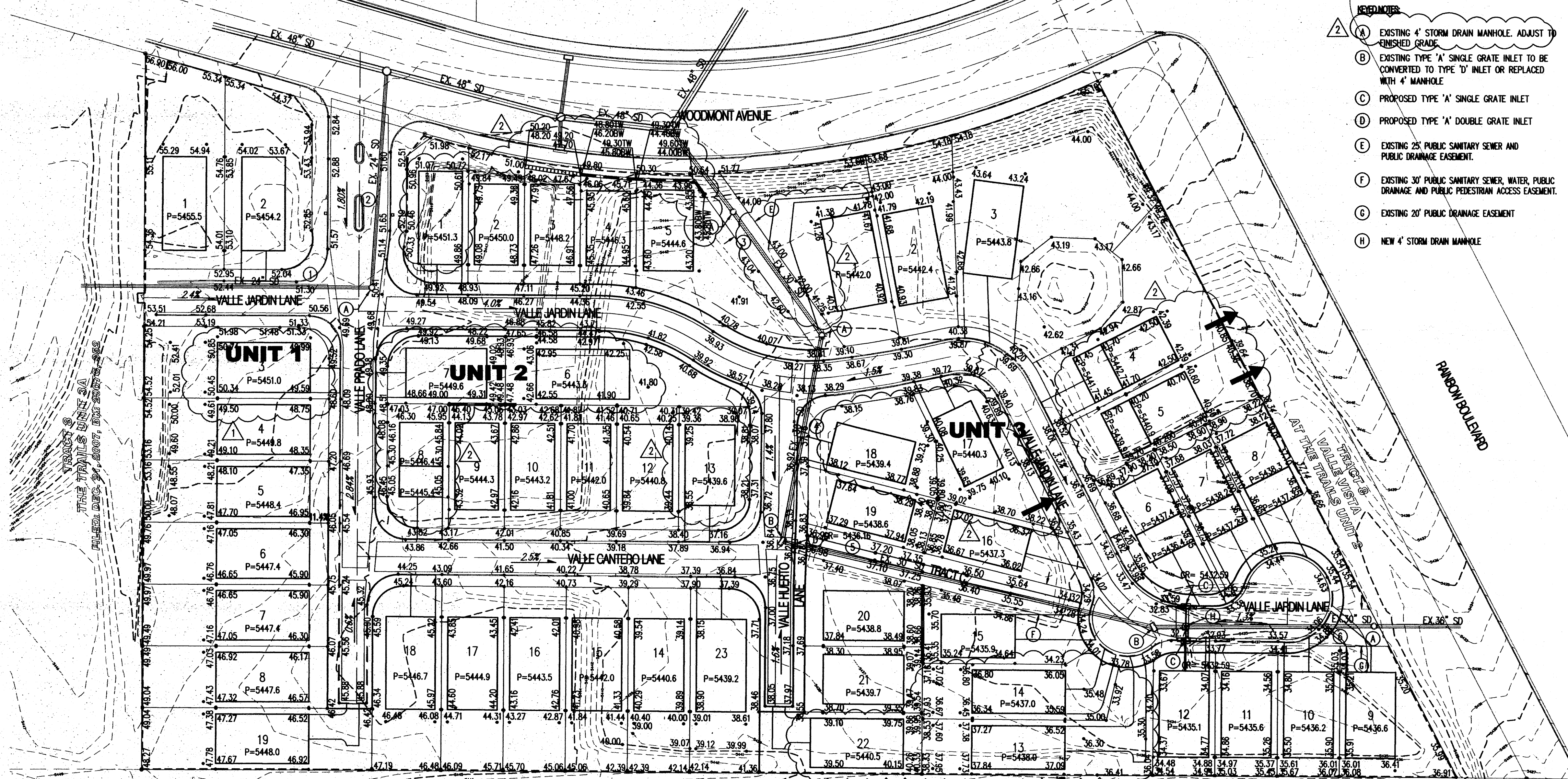


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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT			
VALLE VISTA UNITS 1, 2 & 3 GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXXX	C-09-Z	1	2

TRACT 9
THE TRAILS UNIT 3A
FILED: DECEMBER 21, 2007
PLAT BOOK 2007C, PG. 0352

TRACT OS-3
THE TRAILS UNIT 3A
FILED: 12/21/07, BK: 2007C, PG: 0352



VALLE VISTA STORM DRAIN CAPACITY CALCULATIONS				
Pipe #	Size in.	Slope	Capacity cfs	Design Flow cfs
Valle Jardin Lane				
1	24	0.50%	16.00	31.30
2	24	0.55%	16.78	31.30
Tract C Unit 2				
3	30	3.33%	74.85	22.30
Valle Huerto Lane				
4	30	1.19%	44.74	22.30
Tract C Unit 3				
5	30	2.46%	64.33	45.60
Valle Jardin Lane				
6	30	1.11%	43.21	54.50

*Capacity is based on gravity flow using Manning's Equation with n=0.013
*Under pressure flow conditions design flow may exceed capacity

- NOTES
- EXISTING 4" STORM DRAIN MANHOLE. ADJUST TO FINISHED GRADE.
 - EXISTING TYPE 'A' SINGLE GRATE INLET TO BE CONVERTED TO TYPE 'D' INLET OR REPLACED WITH 4" MANHOLE.
 - PROPOSED TYPE 'A' SINGLE GRATE INLET.
 - PROPOSED TYPE 'A' DOUBLE GRATE INLET.
 - EXISTING 25" PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT.
 - EXISTING 30" PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT.
 - EXISTING 20" PUBLIC DRAINAGE EASEMENT.
 - NEW 4" STORM DRAIN MANHOLE.

GENERAL NOTES

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

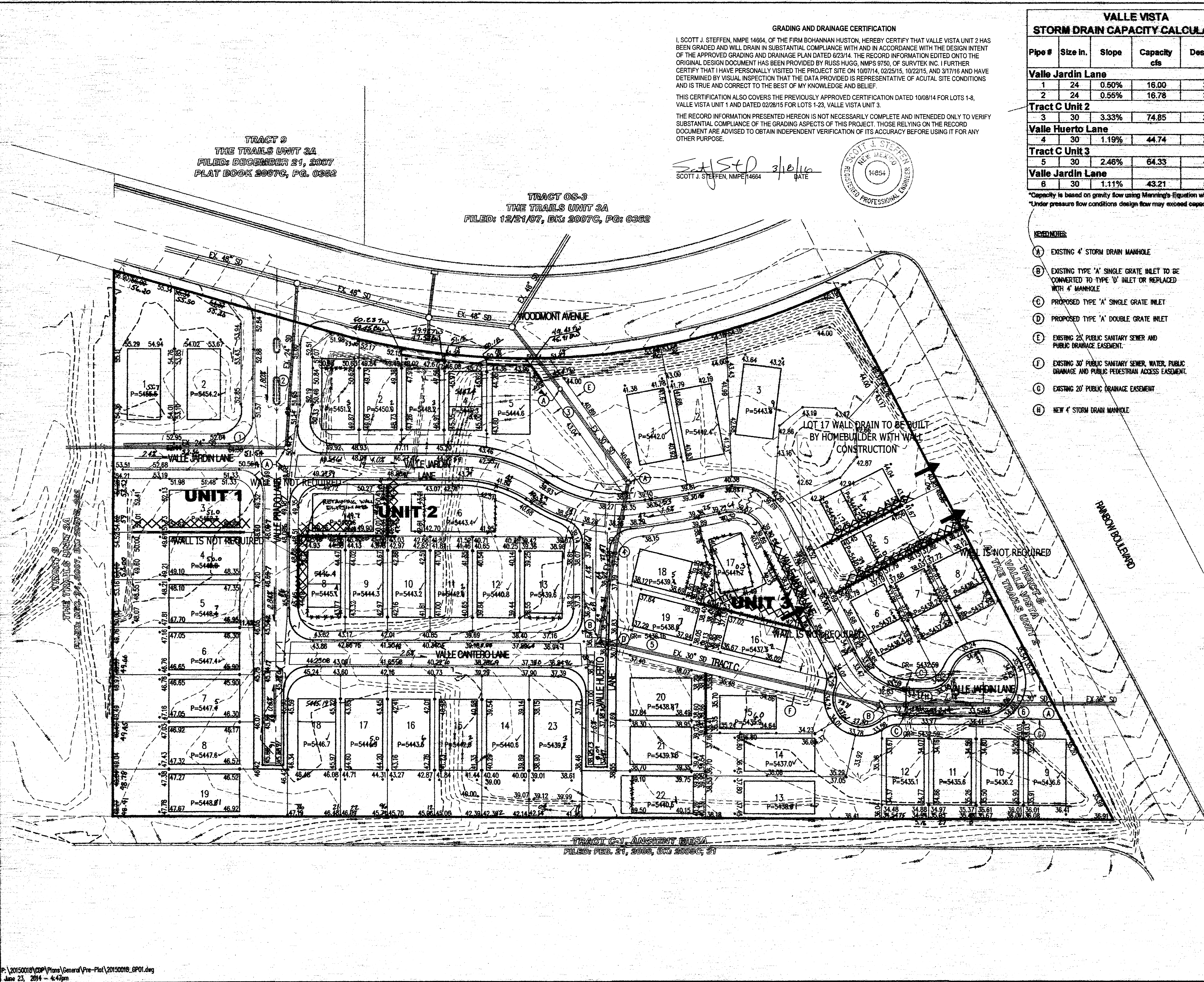
- 91.62 PROPOSED SPOT ELEVATION
- X 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- ===== PROPOSED MOUNTAIN CURB & GUTTER
- ===== PROPOSED STANDARD CURB & GUTTER
- 5470- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- HIGH POINT
- WALL DRAIN

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City Project No. XXXXXX Zone Map No. C-09-Z Sheet 1 Of 2

