

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



March 28, 2016

Scott J. Steffen, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

Richard J. Berry, Mayor

RE: Valle Vista at the Trails, Unit 2 (File: C09D009)
Grading and Drainage Plan, Engineer's Stamp Date 6-23-2014
Revised Grading Plan, (verbally approved) Engineer's Stamp Date 1-20-15
Engineer's Certification Date: 3-18-16

Dear Mr. Steffen:

Based upon the information provided in your submittal received 3-21-16, the above referenced plan is accepted for Release of Financial Guarantee for grading and drainage.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

New Mexico 87103

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf: via Email: Recipient; Charlotte LaBadie

March 18, 2016

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Ms. Rita Harmon
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Grading and Drainage Certification, Valle Vista Unit 2
DRB Case No. 1004606, (C09/D009)

Dear Rita:

Enclosed is the final grading and drainage certification for Valle Vista Unit 2. Enclosed for your review is the approved grading and drainage plan dated 6/23/14, with as-built elevations. Your comments, dated December 7, 2015, have been addressed as noted below. Also attached per your request is a hard copy of the Unit 2 and 3 grading plan revision dated 1/20/15. It was agreed with Curtis that these revisions could be as-built on the approved grading plan. The as-built grading plan and my previous Unit 2 certification submittal, dated 10/22/15 incorporate and/or address the grading plan revisions.

1. *This development discharges to Pond H, and as such the improvements to the Pond must be complete. The orifice plat is intended to allow for an opening of 1.14 SF and needs to resist over 3000 lbs of force without opening. Our field visit shows that the plates are already somewhat opened and need to be completely closed so that the opening does not exceed the 1.14 SF. The pin seems to be undersized. Show that the pin provided can maintain the plates remain completely closed under the 3000 lbs of force. Show that the pin will not shear with this amount of force. See attached picture. **It is my understanding that issues have been resolved and that at a subsequent field meeting with Rick Beltramo you stated that the Pond H improvements were acceptable.***
2. *The retaining wall at the rear of Lot 5 appears to have collapsed. **As previously discussed, the retaining wall has not collapsed, but actually turns an approximate 45 degree angle and steps down the slope.***
3. *Manhole is SD Tract east of Lot 5 needs to be adjusted to grade. **The manhole has been adjusted.***
4. *Lot 3 rear retaining wall is intended to be a garden wall retaining 2' to be built by the homebuilder. However, what mechanism is in place for the City to ensure that such a wall is built? If no such mechanism is in place, this wall should be constructed prior to Release of Financial Guarantee. Furthermore, should the garden wall not be built, the existing wall beyond is susceptible to overturning since the supporting soil is not in place. **The 2' garden wall has been built, see as-built elevations on the grading plan.***

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲

5. *The split between Lots 7 and 8 is over 2', and needs a retaining wall per the plan. **See the revised grading plan dated 1/20/15. The split is 2' or less, which will be built as part of the garden wall by the homebuilder.***
6. *The split between Lots 6 and 7 is over 4', and needs a retaining wall per the plan. **See the revised grading plan dated 1/20/15. The property line split is 2', with a slope in the rear yard. The 2' split will be incorporated in the garden wall, which will be built by the homebuilder.***
7. *Valley gutter at intersection of Valle Prado Lane and Valle Cantero Lane is chipped along an edge, and the asphalt is not flush. **The valley gutter is part of the Unit 1 infrastructure which has been accepted by the City. In addition, the streets in Valle Vista are private.***

After reviewing the as-built elevations and visiting the site on 3/17/16, it is my belief that Valle Vista Unit 2 has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval is requested for SIA/Financial Guarantee Release for Valle Vista Unit 2. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Rick Beltramo, Wexford Construction



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- ☐ HYDROLOGY/ DRAINAGE
☐ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ ARCHITECT CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
- ☐ PRE-DESIGN MEETING
☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☐ No

DATE SUBMITTED: _____ **By:** _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____

TRACT OS-3
THE TRAILS UNIT 3A
FILED: 12/21/07, BK: 2007C, PG: 0352

SCOTT J. STEFFEN, NMPE 14664 3/18/16 DATE







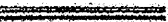

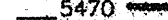







KEYED NOTES:

- ### GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DISTRICT CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ASSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMES AS PER DETAIL, SHEET 38, AND WEETING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOUNDARIES GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

LEGEND

- | | |
|---|--------------------------------------|
|  | PROPOSED SPOT ELEVATION |
|  | EXISTING SPOT ELEVATION (GRAND & TC) |
|  | EXISTING CURB & GUTTER |
|  | PROPOSED MOUNTABLE CURB & GUTTER |
|  | PROPOSED STANDARD CURB & GUTTER |
|  | EXISTING CONTOUR W/ INDEX ELEVATION |
|  | FLOW ARROW |
|  | PROPOSED RETAINING WALL |
|  | PROPOSED SLOPE |
|  | PROPOSED STORM DRAIN |
|  | PROPOSED STORM DRAIN MANHOLE |
|  | PROPOSED STORM DRAIN INLET |
|  | HIGH POINT |
|  | WALL DRAIN |

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www.bhinc.com 800.877.5332

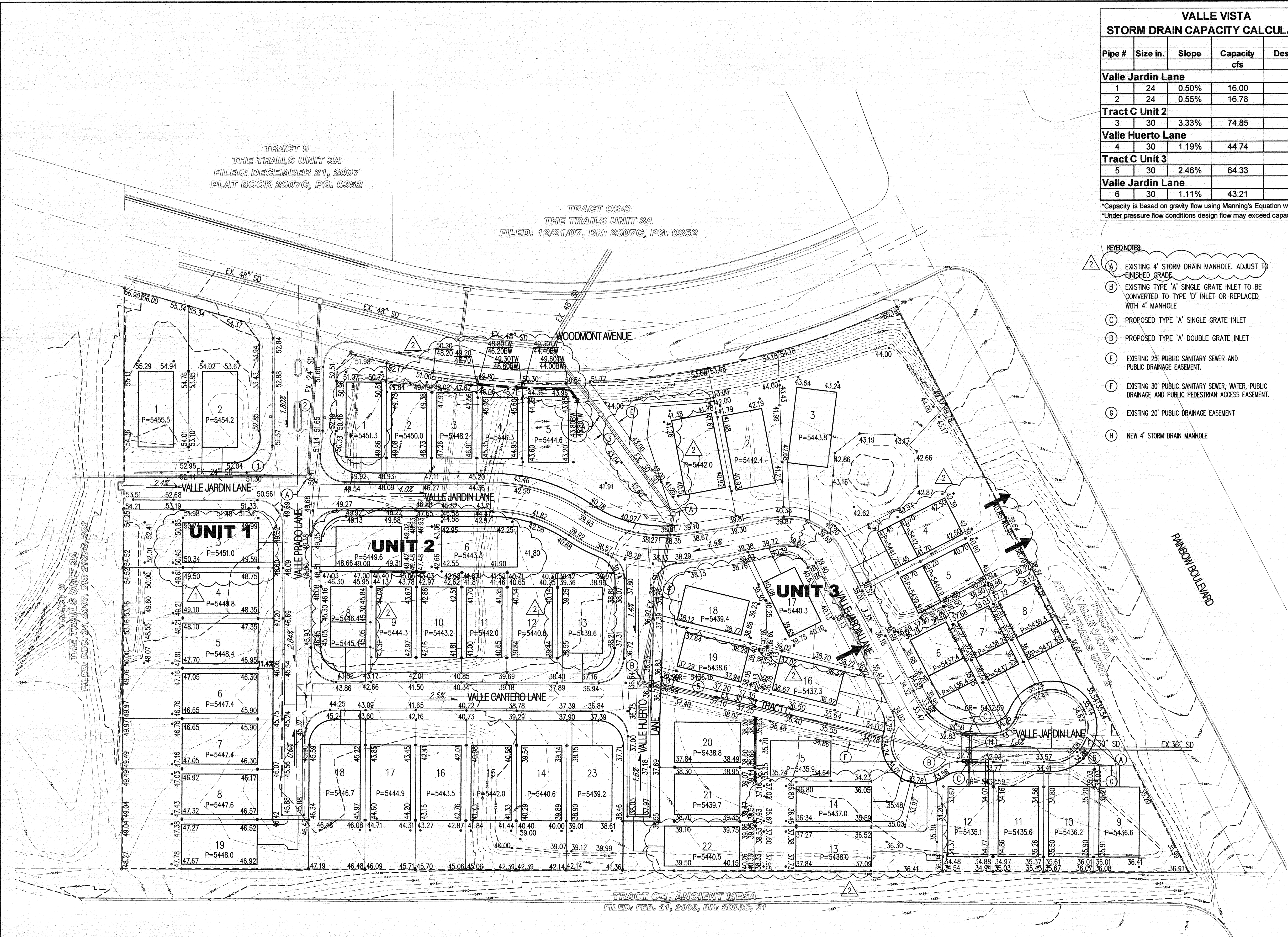


CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

VALLE VISTA UNITS 1, 2 & 3
GRADING AND DRAINAGE PLAN

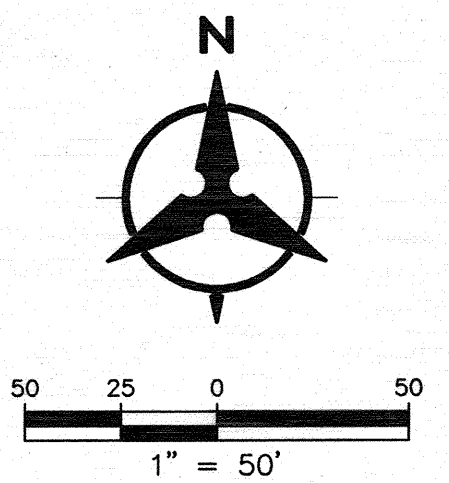
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
XXXXXX	C-09-7	1	2	

P:\20150018\CDP\Plans\General\Pre-Plot\20150018_GP01.dwg
June 23, 2014 - 4:47pm



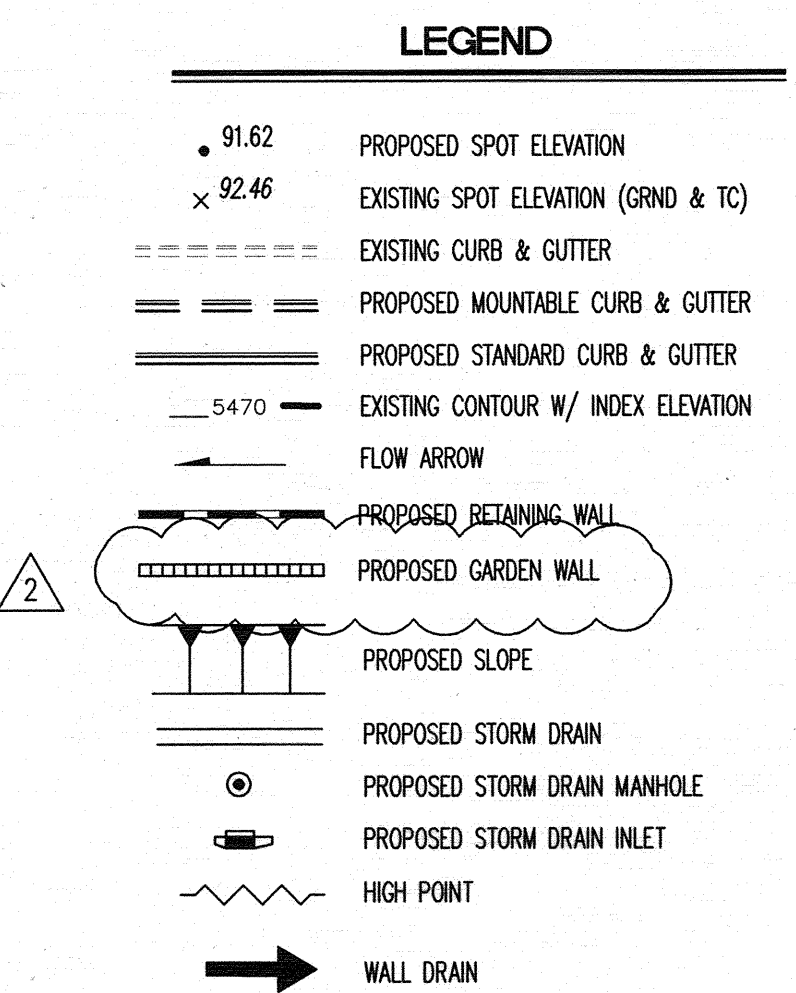
VALLE VISTA STORM DRAIN CAPACITY CALCULATIONS				
Pipe #	Size in.	Slope	Capacity cfs	Design Flow cfs
Valle Jardin Lane				
1	24	0.50%	16.00	31.30
2	24	0.55%	16.78	31.30
Tract C Unit 2				
3	30	3.33%	74.85	22.30
Valle Huerto Lane				
4	30	1.19%	44.74	22.30
Tract C Unit 3				
5	30	2.46%	64.33	45.60
Valle Jardin Lane				
6	30	1.11%	43.21	54.50

*Capacity is based on gravity flow using Manning's Equation with n=0.013
*Under pressure flow conditions design flow may exceed capacity



- KEYNOTES**
- (A) EXISTING 4" STORM DRAIN MANHOLE. ADJUST TO FINISHED GRADE
 - (B) EXISTING TYPE 'A' SINGLE GRATE INLET TO BE CONVERTED TO TYPE 'D' INLET OR REPLACED WITH 4" MANHOLE
 - (C) PROPOSED TYPE 'A' SINGLE GRATE INLET
 - (D) PROPOSED TYPE 'A' DOUBLE GRATE INLET
 - (E) EXISTING 25" PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT.
 - (F) EXISTING 30" PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT.
 - (G) EXISTING 20" PUBLIC DRAINAGE EASEMENT
 - (H) NEW 4" STORM DRAIN MANHOLE

- GENERAL NOTES**
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 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
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AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		REVISIONS		DESIGN	
CONTRACTOR	DATE	ACCS MONUMENT STAMPED "UNION"	DATE	NO.	BY	NO.	BY	SS	SS	BY	DATE	DATE	DATE
INSPECTOR'S	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE										
VERIFICATION BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE										
DESIGNED BY	DATE	N = 1,523,503.475 E = 1,493,655.030	DATE										
RECORDED BY	DATE	GROUND-TO-GRID FACTOR = 0.999664360	DATE										
	NO.	Δa = -00'16"58.96"											
		NAVD 1988 ELEVATION = 5524.950											

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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**VALLE VISTA UNITS 1, 2 & 3
GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
XXXXXX	C-09-Z	1	2	