

# CITY OF ALBUQUERQUE



February 27, 2015

Scott Steffen, P.E.  
Bohannon Huston Inc.  
7500 Jefferson St NE, Ctyd 1  
Albuquerque, NM 87109

**Re: Valle Vista at the Trails Units 1  
Grading and Drainage Plan  
Engineer's Stamp Date 6-23-14 (C09D009)  
Certification dated 10-8-14**

Dear Mr. Steffen,

Based upon the information provided in your submittal received 10-16-14, the above referenced plan is accepted for Release of Financial Guarantee for grading and drainage.

- If you have any questions, you can contact me at 924-3986.

PO Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis Cherne, P.E.  
Principal Engineer, Hydrology  
Planning Dept.

C: e-mail  
Christiana Montoya

October 8, 2014

Mr. Curtis Cherne  
Hydrology Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification, Valle Vista Unit 1  
DRB Case No. 1004606, (C09/D009)

Dear Curtis:

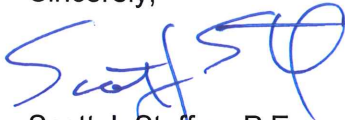
We are submitting a partial grading and drainage certification for the Valle Vista Units 1, 2 and 3. The partial certification only includes Valle Vista Unit 1 (Lots 1-8). Enclosed for your review is the approved grading and drainage plan dated 6/23/14, with as-built elevations for Unit 1. The Unit 1 lots have been graded, and curb and gutter, and pavement have been constructed. Grading of the Unit 2 and 3 lots has not been completed, but the existing street and storm drain infrastructure is still in place to accept runoff from Unit 1. The Unit 2 and 3 lots will be certified once grading and construction of improvements has been completed.

The Lot 3 pad was lowered 1.3' during construction to reduce the slope of the driveway to the lot. As a result the side yard split between Lots 3 and 4 is less than 2 feet and the retaining wall shown on the approved grading plan is no longer required.

After reviewing these as-built elevations and visiting the site on 10/7/14, it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the existing street and drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for SIA/Financial Guarantee Release. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.  
Vice President  
Community Development & Planning

Enclosure

cc: Rick Beltramo, Wexford Construction

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)
- \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
- \_\_\_\_\_ ENGINEER'S CERT (ESC)
- \_\_\_\_\_ SO-19
- \_\_\_\_\_ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ GRADING CERTIFICATION
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ ESC PERMIT APPROVAL
- \_\_\_\_\_ ESC CERT. ACCEPTANCE
- \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



TRACT 9  
THE TRAILS UNIT 3A  
FILED: DECEMBER 21, 2007  
PLAT BOOK 2007C, PG. 0352

TRACT OS-3  
THE TRAILS UNIT 3A  
FILED: 12/21/07, BK: 2007C, PG: 0352

TRACT C-1, ANCIENT MESA  
FILED: FEB. 21, 2008, BK: 2008C, PG: 31

GRADING AND DRAINAGE CERTIFICATION  
I, SCOTT J. STEFFEN, NMPE 14664, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT LOTS 1-8, VALLE VISTA UNIT 1, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 6/23/14. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY RUSS HUGG, NMPS 9750, OF SURVTEK INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 10/07/14 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.  
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J. STEFFEN  
NMPE 14664  
DATE 10/8/14  
REGISTERED PROFESSIONAL ENGINEER  
NEW MEXICO  
14664

VALLE VISTA STORM DRAIN CAPACITY CALCULATIONS				
Pipe #	Size in.	Slope	Capacity cfs	Design Flow cfs
<b>Valle Jardin Lane</b>				
1	24	0.50%	16.00	31.30
2	24	0.55%	16.78	31.30
<b>Tract C Unit 2</b>				
3	30	3.33%	74.85	22.30
<b>Valle Huerto Lane</b>				
4	30	1.19%	44.74	22.30
<b>Tract C Unit 3</b>				
5	30	2.46%	64.33	45.60
<b>Valle Jardin Lane</b>				
6	30	1.11%	43.21	54.50

\*Capacity is based on gravity flow using Manning's Equation with n=0.013  
\*Under pressure flow conditions design flow may exceed capacity

#### KEY NOTES:

- (A) EXISTING 4" STORM DRAIN MANHOLE
- (B) EXISTING TYPE 'A' SINGLE GRATE INLET TO BE CONVERTED TO TYPE 'D' INLET OR REPLACED WITH 4" MANHOLE
- (C) PROPOSED TYPE 'A' SINGLE GRATE INLET
- (D) PROPOSED TYPE 'A' DOUBLE GRATE INLET
- (E) EXISTING 24" PUBLIC SANITARY SEWER AND PUBLIC DRAINAGE EASEMENT
- (F) EXISTING 30" PUBLIC SANITARY SEWER, WATER, PUBLIC DRAINAGE AND PUBLIC PEDESTRIAN ACCESS EASEMENT
- (G) EXISTING 20" PUBLIC DRAINAGE EASEMENT
- (H) NEW 4" STORM DRAIN MANHOLE

#### GENERAL NOTES:

- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
- THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 38, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

#### LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- HIGH POINT
- WALL DRAIN

**Bohannon & Huston**  
www.bhinc.com 800.877.5332



**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

**VALLE VISTA UNITS 1, 2 & 3  
GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
XXXXXX	C-09-Z	1	2	