

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 9, 2020

Yolanda Padilla Moyer, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

RE: **Valle Prado Unit 4**
Request for Partial Pad Certification Lots 7, 10, 15-19, 44-45- Approved
Grading Plan Stamp Date: 8/20/19
Certification Dated: 10/7/20
Drainage File: C09D011

Dear Ms. Padilla Moyer:

PO Box 1293

Based on the submittal received on 10/7/20, this certification is approved for Building Permit for the lots listed above.

Albuquerque

Please note, Certificate of Occupancy will be held until Infrastructure improvements are complete.

NM 87103

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Hydrology
Planning Department
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Valle Prado Units 4-5 **Building Permit #:** _____ **Hydrology File #:** C09D011
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract 6, The Trails Unit 3A
City Address: _____

Applicant: Bohannan Huston Inc. **Contact:** Yolanda Moyer
Address: 7500 Jefferson St NE CY2 Albuquerque, NM, 87109
Phone#: 505-798-7945 **Fax#:** _____ **E-mail:** ypadilla@bhinc.com

Owner: PV Trails Albuquerque LCC **Contact:** Scott Steffen
Address: 4350 La Jolla Village Dr, Suite 110 San Diego CA 92122
Phone#: 505 243-3949 **Fax#:** _____ **E-mail:** ssteffen@pricedg.com

TYPE OF SUBMITTAL: PLAT (9 # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: 10-07-2020 **By:** Yolanda Padilla Moyer, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

October 7, 2020

Mr. Ernest Armijo, P.E.
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Lots 7, 10, 15-19, 44-45) Valle Prado Unit 4
Subdivision; DRB Case No. PR- 2018-001991; Hydrology File C09D011

Dear Ernest,

We are submitting a partial grading and drainage certification for Valle Prado Unit 4 Subdivision. The partial certification includes Lots 7, 10, 15-19, 44-45. Enclosed for your review is the approved grading and drainage plan dated 08/20/19. These lots have been graded; retaining walls and curb and gutter have been constructed.

After reviewing these as-built elevations and visiting the site on 10-06-2020 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development & Planning

Enclosure

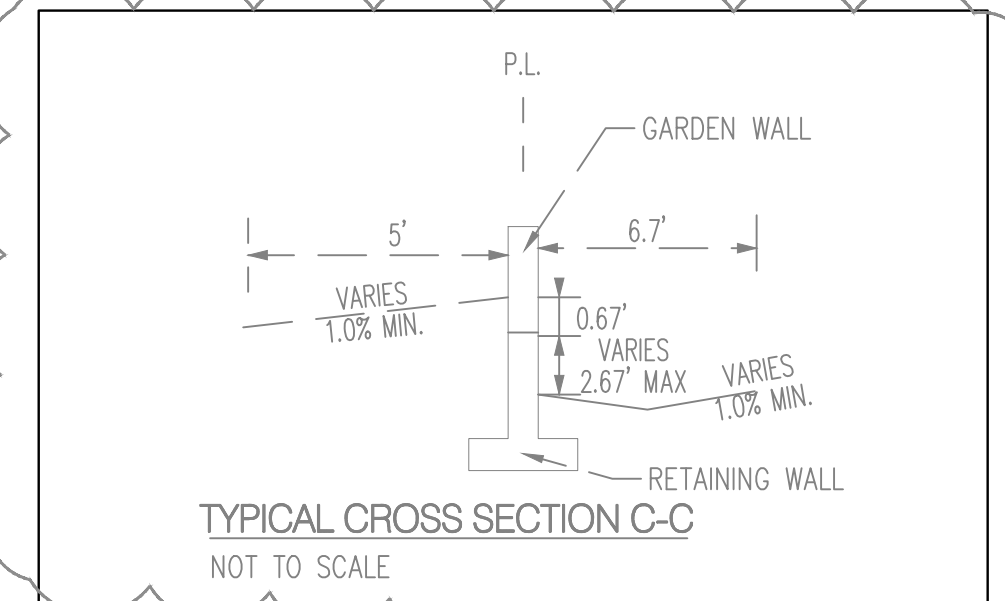
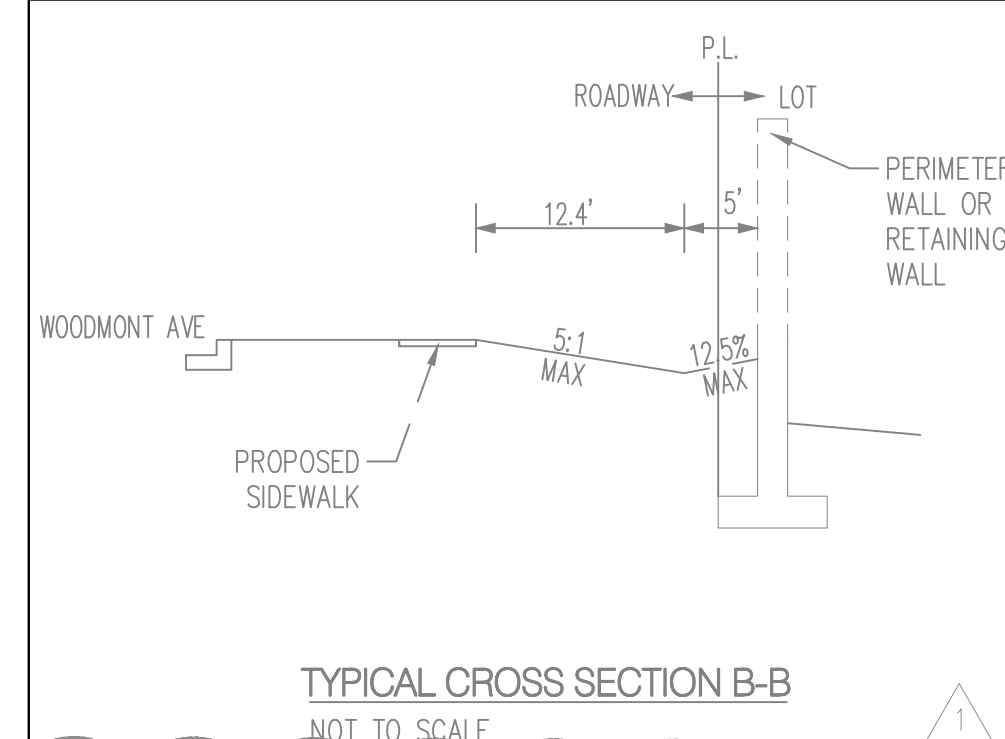
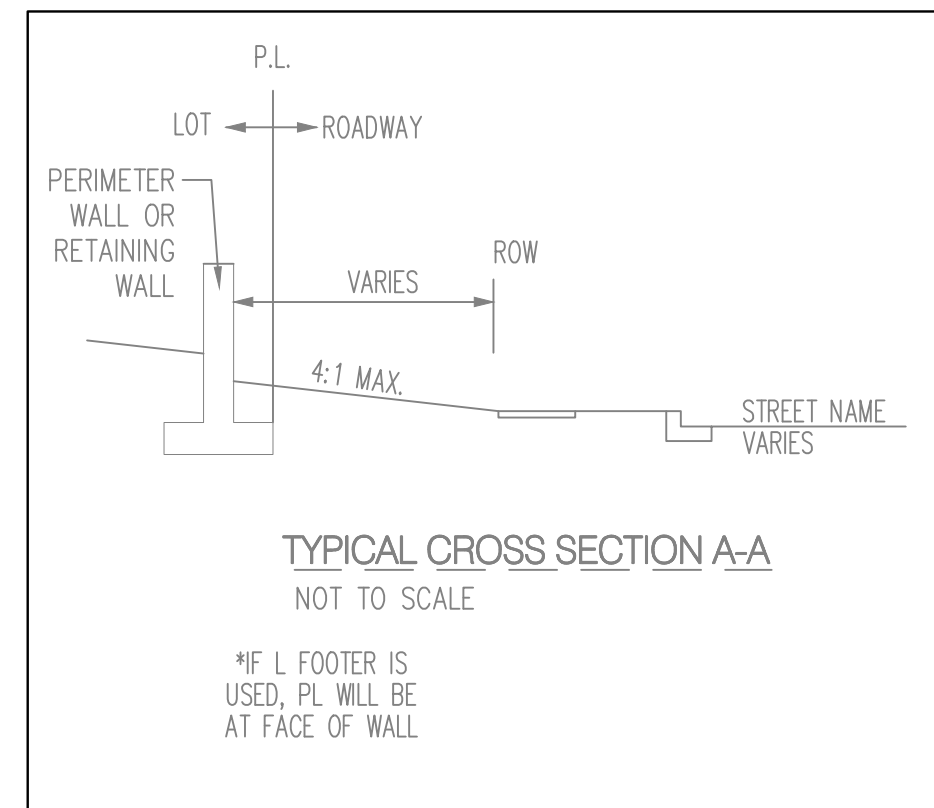
cc: Scott Steffen, PLDG

GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOTS Partial Lots 7, 10, 15-19, 44-45 at VALLE PRADO UNIT 4 SUBDIVISION, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 08/20/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMP's 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 10-06-2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Yolanda Padilla Moyer
 YOLANDA PADILLA MOYER, NMPE 16035
 10/07/2020
 DATE



LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR — 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE ———
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK ———
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE XX
- PHASE BOUNDARY [Symbol]

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	BY	REVISIONS	REVISIONS
BOHANNAN HUSTON							
WORK BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE				
INSPECTED BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE				
ACCEPTANCE BY	DATE	N = 1,523,503.475 E = 1,493,655.030	DATE				
DRAWN BY	DATE	GROUND-TO-GRID FACTOR = 0.999664360	DATE				
VERIFIED BY	DATE	Δx = -00'16"58.96"	DATE				
PROJECT NO.		NAVD 1988 ELEVATION = 5524.950					
CITY PROJECT NO.							
DESIGNED BY: JL	DATE: 01/2019						
DRAWN BY: AR	DATE: 01/2019						
CHECKED BY: JPM	DATE: 01/2019						

Bohannan Huston
 www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

VALLE PRADO UNIT 4 GRADING AND DRAINAGE PLAN	
Design Review Committee	City Engineer Approval
Mo./Day/Yr.	Mo./Day/Yr.
City Project No. C-09-Z	Zone Map No.
Sheet 1	Of 2