

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

September 28, 2020

Yolanda Padilla Moyer, PE  
Bohannon-Huston  
7500 Jefferson St NE Courtyard I  
Albuquerque, NM 87109

RE: **Valle Prado Unit 4**  
**Request for Partial Pad Certification Lots 9, 11, 20-43 - Approved**  
**Grading Plan Stamp Date: 8/20/19**  
**Certification Dated: 9/21/20**  
**Drainage File: C09D011**

Dear Ms. Padilla Moyer:

PO Box 1293

Based on the submittal received on 9/23/20, this certification is approved for Building Permit for the lots listed above.

Albuquerque

Please note, Certificate of Occupancy will be held until Infrastructure improvements are complete.

NM 87103

If you have any questions, please contact me at 924-3986 or [earmijo@cabq.gov](mailto:earmijo@cabq.gov).

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Hydrology  
Planning Department  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Valle Prado Units 4-5 Building Permit #: \_\_\_\_\_ Hydrology File #: C09D011  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
 Legal Description: Tract 6, The Trails Unit 3A  
 City Address: \_\_\_\_\_

**Applicant:** Bohannan Huston Inc. Contact: Yolanda Moyer  
 Address: 7500 Jefferson St NE CY2 Albuquerque, NM, 87109  
 Phone#: 505-798-7945 Fax#: \_\_\_\_\_ E-mail: ypadilla@bhinc.com

**Owner:** PV Trails Albuquerque LCC Contact: Scott Steffen  
 Address: 4350 La Jolla Village Dr, Suite 110 San Diego CA 92122  
 Phone#: 505 243-3949 Fax#: \_\_\_\_\_ E-mail: ssteffen@pricedg.com

**TYPE OF SUBMITTAL:**  PLAT (26# OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?:  Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION  HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ DRAINAGE MASTER PLAN
- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- \_\_\_\_\_ ELEVATION CERTIFICATE
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ TRAFFIC IMPACT STUDY (TIS)
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_
- \_\_\_\_\_ PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ SITE PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ SITE PLAN FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ SIA/ RELEASE OF FINANCIAL GUARANTEE
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ FLOODPLAIN DEVELOPMENT PERMIT
- \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 09-21-2020 By: Yolanda Padilla Moyer, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

September 21, 2020

Mr. Ernest Armijo, P.E.  
Hydrology Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Lots 9, 11, 20-43) Valle Prado Unit 4  
Subdivision; DRB Case No. PR- 2018-001991; Hydrology File C09D011

Dear Ernest,

We are submitting a partial grading and drainage certification for Valle Prado Unit 4 Subdivision. The partial certification includes Lots 9, 11 and 20-43. Enclosed for your review is the approved grading and drainage plan dated 08/20/19. These lots have been graded; retaining walls and curb and gutter have been constructed. Two lots, lots 20 and 23, have been dug and banded, however, based off of the as-built survey and the site walk through, it appears that those lots were properly graded prior to forming the frame for the pads.

After reviewing these as-built elevations and visiting the site on 09-17-2020 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.  
Senior Project Manager  
Community Development & Planning

Enclosure

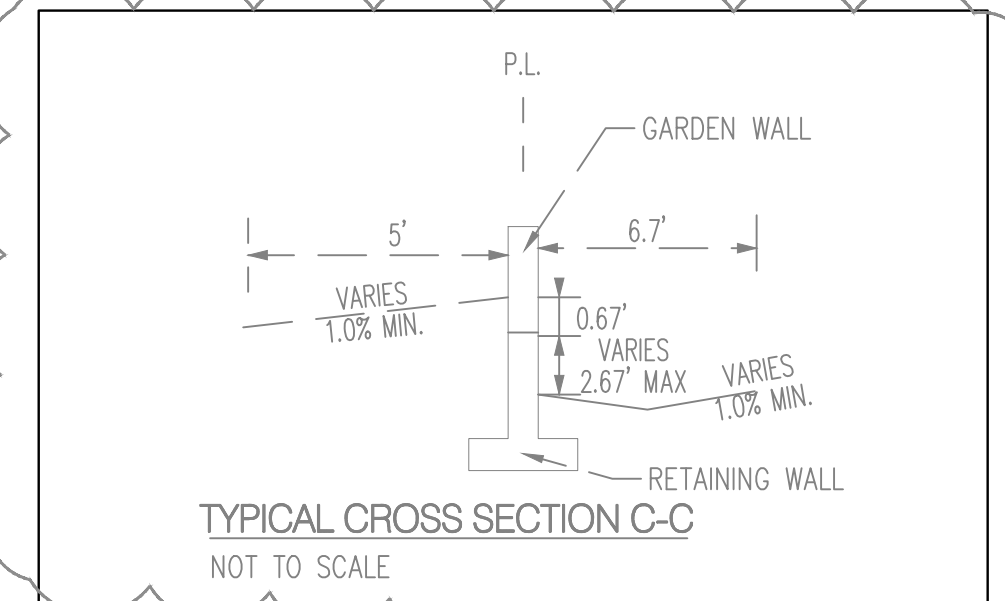
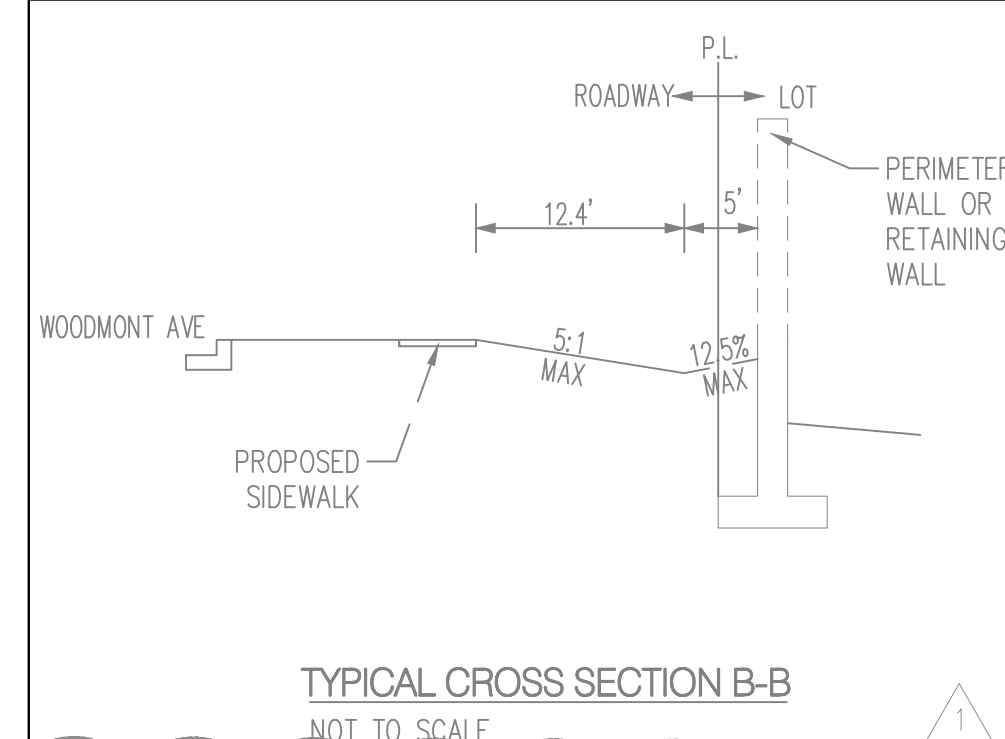
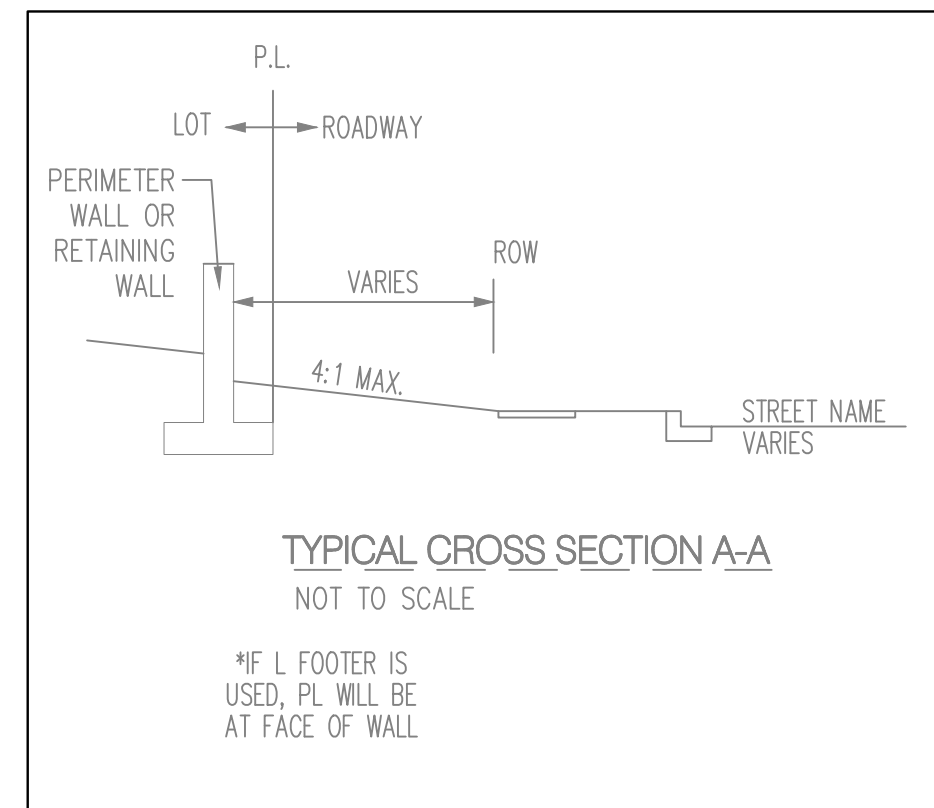
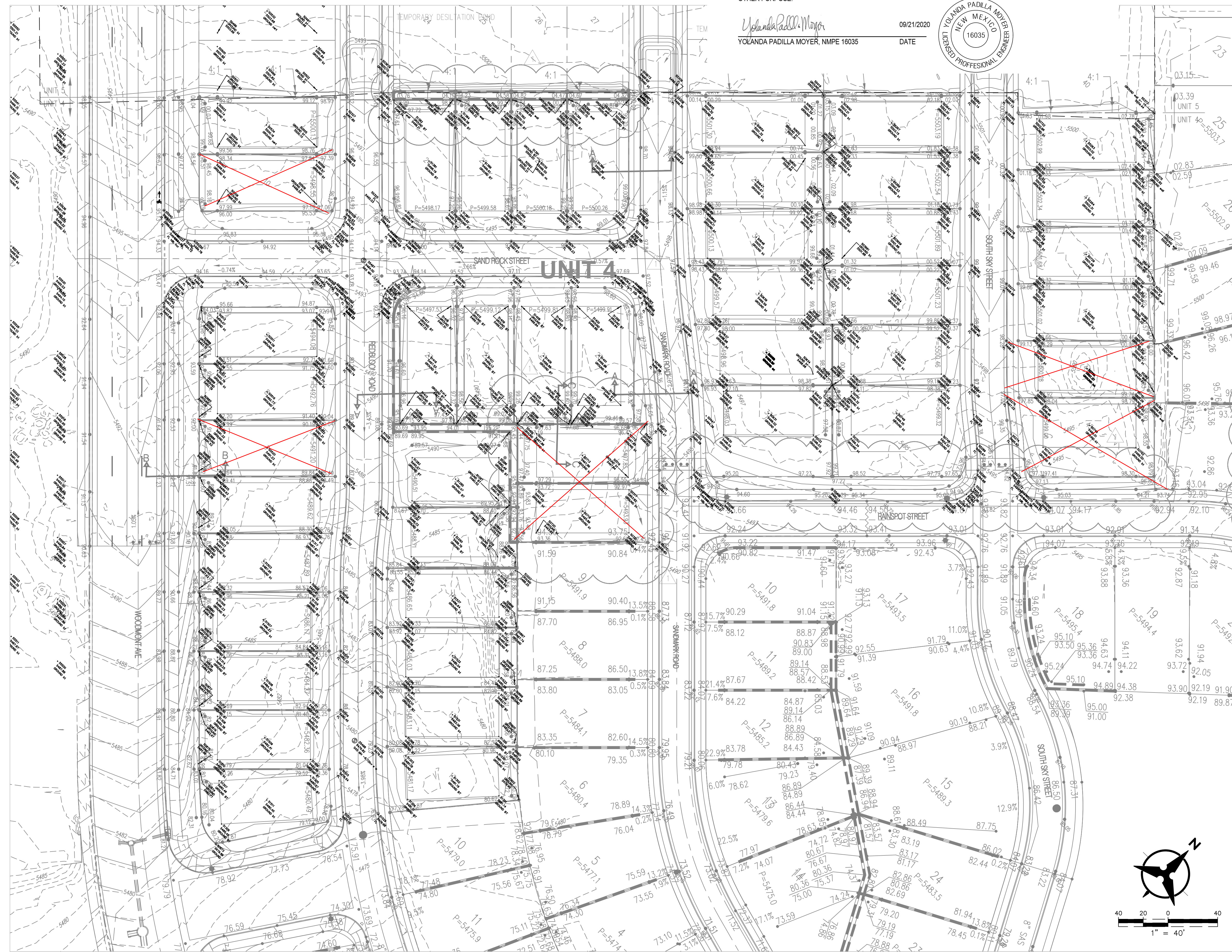
cc: Scott Steffen, PLDG

**GRADING AND DRAINAGE CERTIFICATION**

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOTS Partial Lots 9, 11, and 20-43 at VALLE PRADO UNIT 4 SUBDIVISION, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 08/20/19. THE RECORD INFORMATION EDITED ON TO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 09/17/2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

*Yolanda Padilla Moyer*  
 YOLANDA PADILLA MOYER, NMPE 16035  
 DATE 09/21/2020



**LEGEND**

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR ——— 5225
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE ———
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK [Wavy Line]
- RETAINING WALL [Hatched Area]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE [Symbol]
- PHASE BOUNDARY [Symbol]

**Bohannan Huston**  
 www.bhinc.com 800.877.5332

**CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT**

**VALLE PRADO UNIT 4 GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-09-Z	1	2

P:\20190414\CDP\Plans\General\Unit4\20190414\_GradingPlan\_Unit4\_CERT.dwg  
 September 19, 2020 - 10:36am