

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 17, 2022

Joshua J. Lutz, P.E.  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

**RE: Valle Prado Subdivision, Units 5, Revision 1**  
**Engineer's Certification Date: 10/03/22**  
**Engineer's Stamp Date: 8/20/19**  
**Hydrology File: C09D011**  
**CPN: 740587**

Dear Mr. Lutz:

PO Box 1293

Based on the Certification received 10/05/2022 and site visit on 10/14/22, this certification is approved in support of ROFG/SIA by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

NM 87103

Sincerely,

www.cabq.gov

Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Valle Prado Unit 5 **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** C09D011  
**DRB#:** PR 2018-001991 **EPC#:** \_\_\_\_\_ **Work Order#:** CPN 740587  
**Legal Description:** Valle Prado Unit 5 subdivision UPC# 100906409535022413  
**City Address:** Valle Prado Unit 5

**Applicant:** Bohannan Huston Inc. **Contact:** Josh Lutz  
**Address:** 7500 Jefferson St NE CY2 Albuquerque, NM, 87109  
**Phone#:** 505-798-7945 **Fax#:** \_\_\_\_\_ **E-mail:** jltuz@bhinc.com

**Owner:** PV Trails Albuquerque LCC **Contact:** Scott Steffen  
**Address:** 4350 La Jolla Village Dr, Suite 110 San Diego CA 92122  
**Phone#:** 505 243-3949 **Fax#:** \_\_\_\_\_ **E-mail:** ssteffen@pricedg.com

**TYPE OF SUBMITTAL:**  PLAT (1 # OF LOTS)  RESIDENCE  DRB SITE  ADMIN SITE

IS THIS A RESUBMITTAL?:  Yes  No

**DEPARTMENT:**  TRAFFIC/ TRANSPORTATION  HYDROLOGY/ DRAINAGE

Check all that Apply:

**TYPE OF SUBMITTAL:**

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- OTHER (SPECIFY) \_\_\_\_\_
- PRE-DESIGN MEETING?

**TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 10/03/2022 **By:** Josh Lutz, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

October 3, 2022

Ms. Renee Brissette, P.E.  
Hydrology Section  
City of Albuquerque  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Final Grading and Drainage Certification Valle Prado Unit 5 Subdivision; DRB Case No. PR- 2018-001991; Hydrology File C09D011

Dear Renee,

We are submitting a final grading and drainage certification for Valle Prado Unit 5 Subdivision. Enclosed for your review is the approved grading and drainage plan dated 08/20/19. These lots have been graded and the curb and gutter for the corresponding roads as well as the pavement and downstream infrastructure have been constructed. The pond exceeds the design volume.

After reviewing these as-built elevations and visiting the site on 09-29-2022 it is my belief that the above lot has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval are requested for Financial Guaranty Release. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

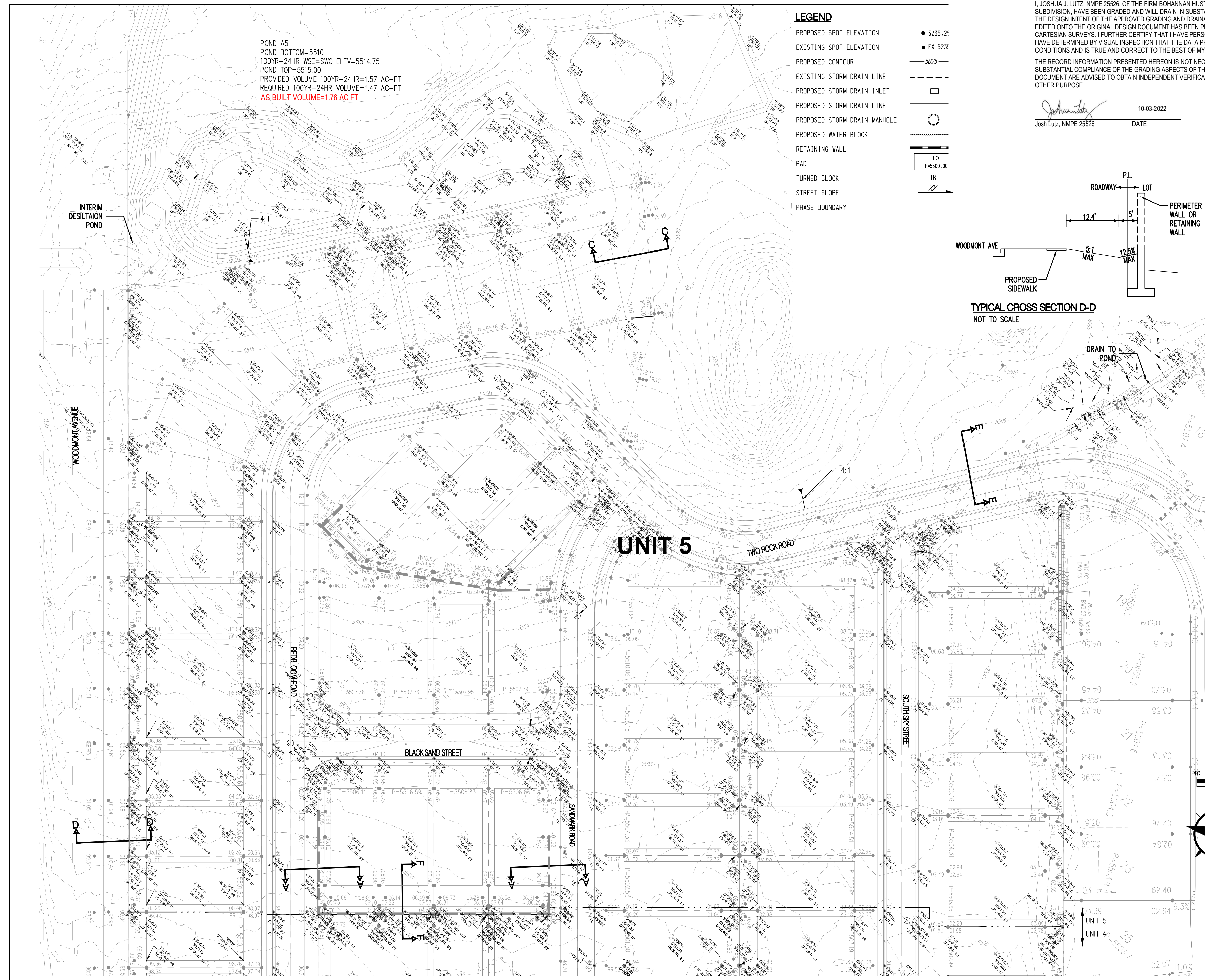
Sincerely,



Josh Lutz, P.E.  
Project Manager  
Community Development & Planning

Enclosure

cc: Scott Steffen, PLDG



POND A5  
 POND BOTTOM=5510  
 100YR-24HR WSE=SWQ ELEV=5514.75  
 POND TOP=5515.00  
 PROVIDED VOLUME 100YR-24HR=1.57 AC-FT  
 REQUIRED 100YR-24HR VOLUME=1.47 AC-FT  
**AS-BUILT VOLUME=1.76 AC-FT**

**LEGEND**

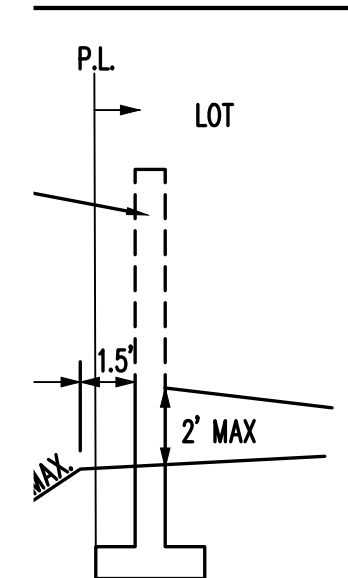
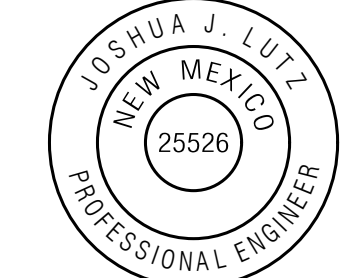
- PROPOSED SPOT ELEVATION ● 5235.2'
- EXISTING SPOT ELEVATION ● EX 523'
- PROPOSED CONTOUR — 5025 —
- EXISTING STORM DRAIN LINE — — — — —
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE — — — — —
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK — — — — —
- RETAINING WALL — — — — —
- PAD — — — — —
- TURNED BLOCK TB
- STREET SLOPE XX
- PHASE BOUNDARY — — — — —

**GRADING AND DRAINAGE CERTIFICATION**

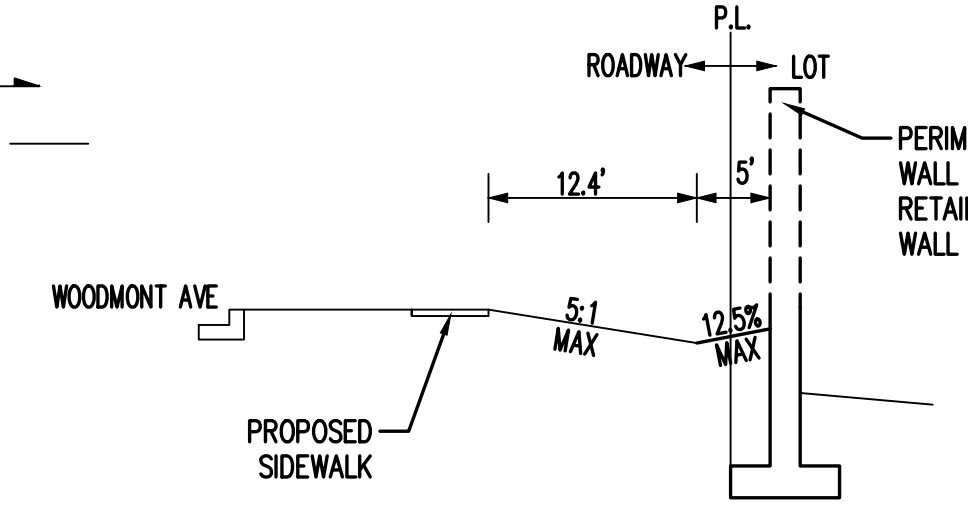
I, JOSHUA J. LUTZ, NMPE 25526, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT VALLE PRADO UNIT 5 SUBDIVISION, HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 08/20/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 09-29-2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

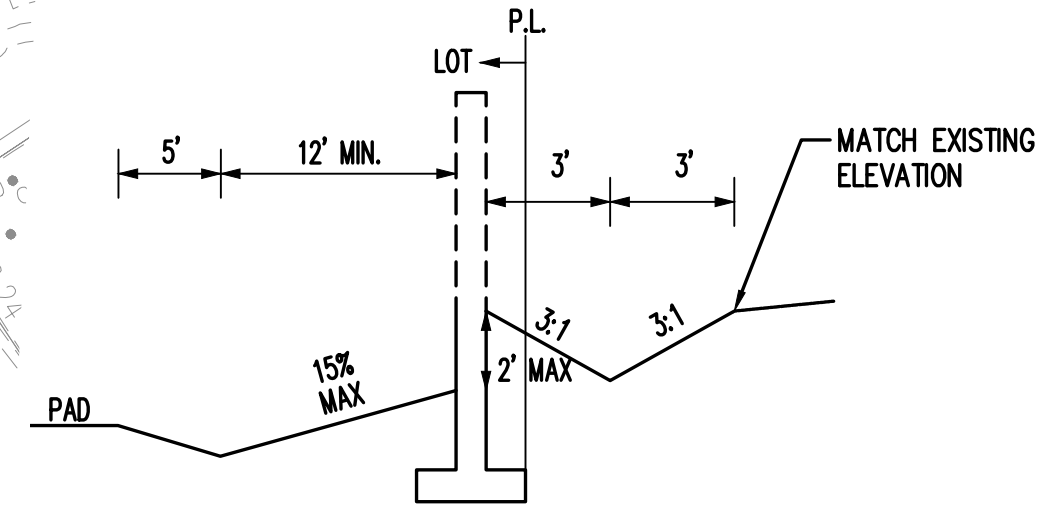
Josh Lutz, NMPE 25526  
 DATE 10-03-2022



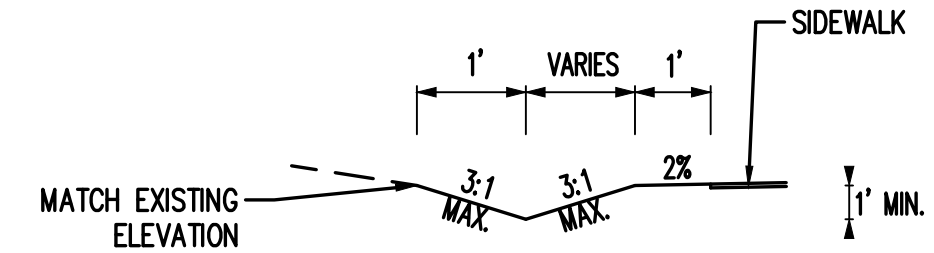
**TYPICAL CROSS SECTION B-B**  
 NOT TO SCALE



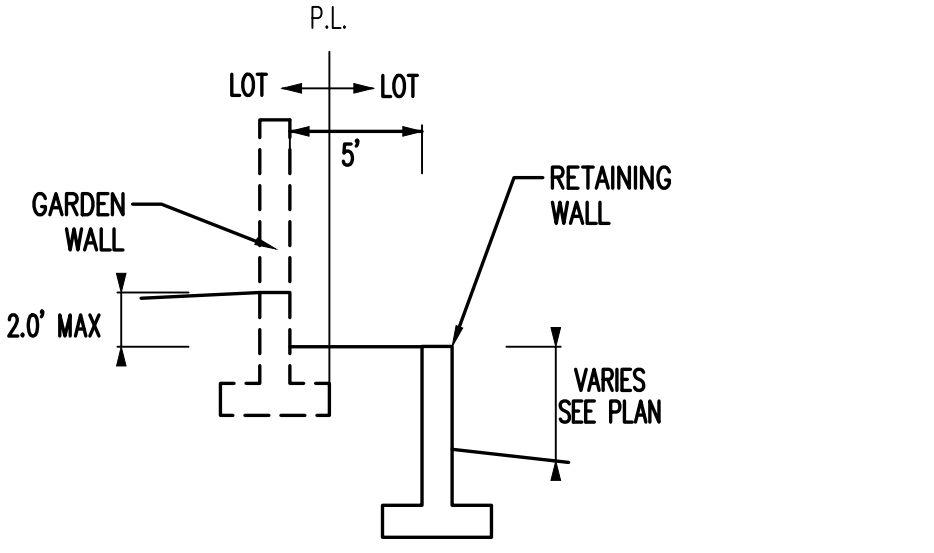
**TYPICAL CROSS SECTION D-D**  
 NOT TO SCALE



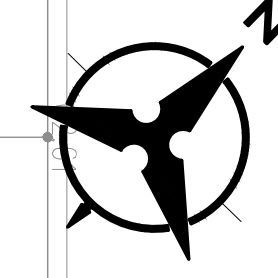
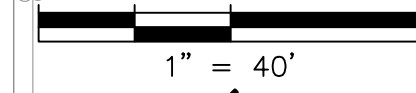
**TYPICAL CROSS SECTION C-C**  
 NOT TO SCALE



**TYPICAL CROSS SECTION E-E**  
 NOT TO SCALE



**TYPICAL CROSS SECTION F-F**  
 NOT TO SCALE



**Bohannan Huston**  
 www.bhinc.com 800.877.5332

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	BY	DATE	DATE
WORK BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE				
INSPECTORS ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)					
DRAWINGS VERIFICATION BY	DATE	N = 1,523,503.475 E = 1,493,655.030					
REVISIONS		GROUND-TO-GRID FACTOR = 0.999664360					
MICROFILM INFORMATION		Δir = -00'16"58.96"					
RECORDED BY	DATE	NAVD 1988 ELEVATION = 5524.950					
NO.							

NO.	DATE	BY	REVISIONS
4	2/5/22	JL	REVISED POND A5
3	8/3/21	YPM	REVISED LOT 16 AND SWALE
No.	Date	By	REVISIONS
			DESIGN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

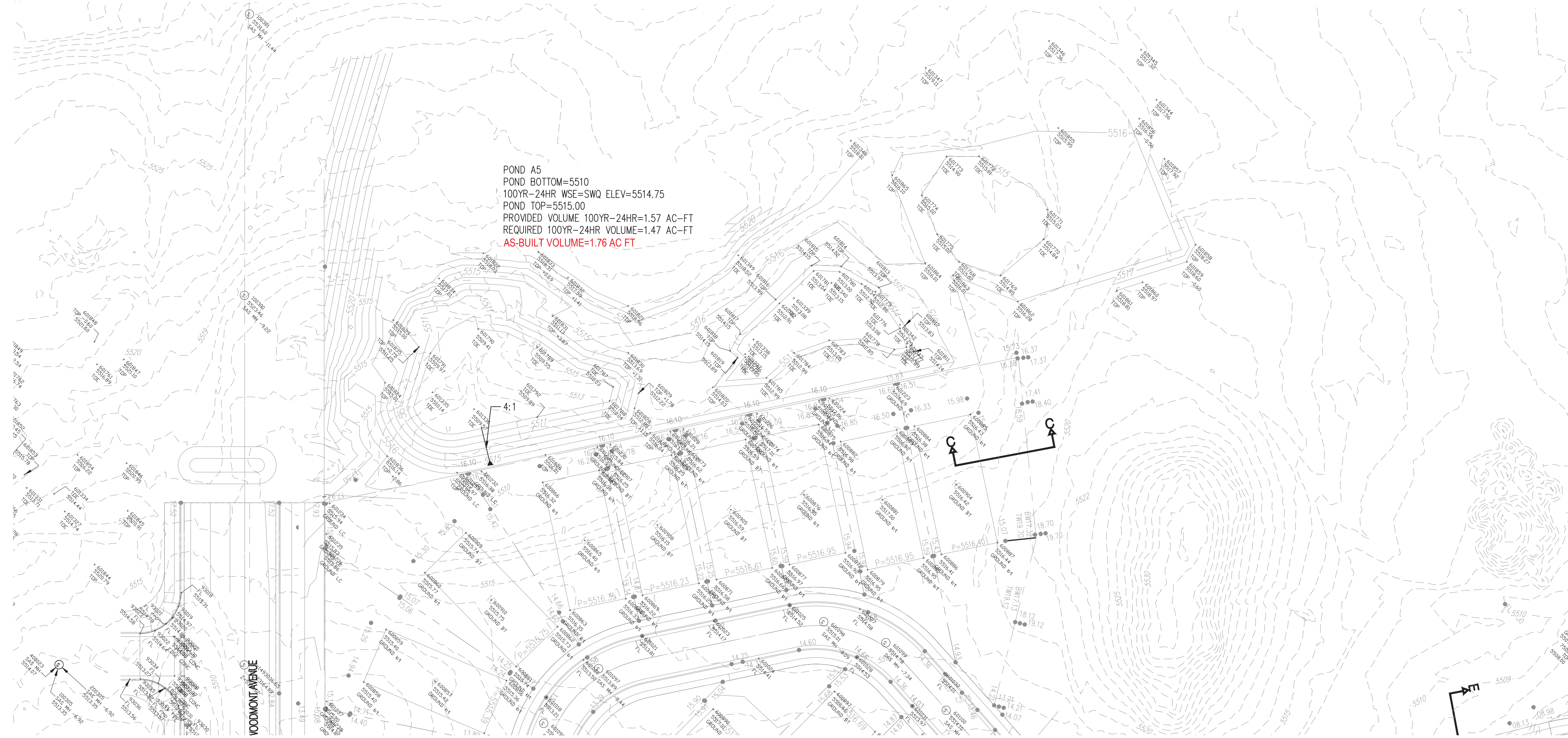
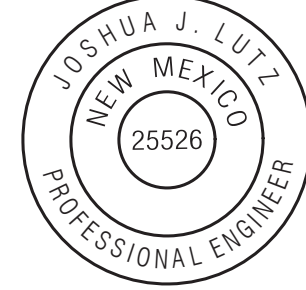
City Project No.	Zone Map No.	Sheet	Of
C-09-Z		1	2

**GRADING AND DRAINAGE CERTIFICATION**

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 Josh Lutz, NMPE 25526      DATE: 10-03-2022

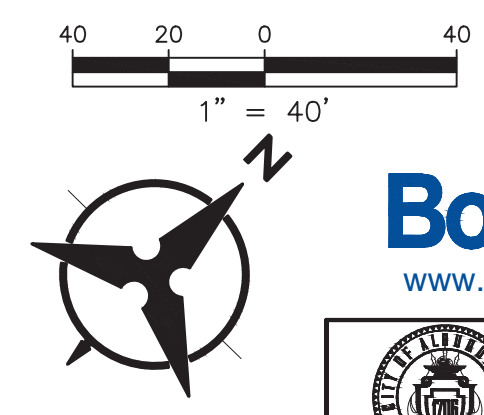


POND A5  
 POND BOTTOM=5510  
 100YR-24HR WSE=SWQ ELEV=5514.75  
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**AS-BUILT VOLUME=1.76 AC FT**

**LEGEND**

- PROPOSED SPOT ELEVATION      • 5235.25
- EXISTING SPOT ELEVATION      • EX 5235.25
- PROPOSED CONTOUR              - 5225 -
- EXISTING STORM DRAIN LINE    - - - - -
- PROPOSED STORM DRAIN LINE    □
- PROPOSED STORM DRAIN INLET    □
- PROPOSED STORM DRAIN MANHOLE    ○
- PROPOSED WATER BLOCK          - - - - -
- RETAINING WALL                  - - - - -
- PAD                                      10
- TURVED BLOCK                      TB
- STREET SLOPE                      XX
- PHASE BOUNDARY                  - - - - -

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		FIELD NOTES		MICROFILM INFORMATION	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	BY	NO.	DATE	NO.	DATE	NO.	DATE
BOHANNAN HUSTON	10-03-2022	ACS MONUMENT STAMPED "UNION"	08/20/19								
WORKING BY		GEOGRAPHIC POSITION (NAD 83)									
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CHECKED BY		NAVD 1988 ELEVATION = 5524.950									
RECORDED BY											



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 www.bhinc.com      800.877.5332

**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

**VALLE PRADO**  
 UNIT 5  
**GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.      Zone Map No.      Sheet      Of

C-09-Z      1A      2