



April 19, 2016

Richard J. Berry, Mayor

Scott Steffen, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

**RE: Valle Prado Unit 3
Revised Grading Plan
Engineer's Stamp Date 3-28-2016 (File: C09D011A)**

**Pad Certification of all Lots
Certification dated 4-14-2016**

Dear Mr. Steffen:

Based upon the information provided in your submittal received 3-29-2016, the above referenced submittals are approved for ESC Permit (Grading Permit).

PO Box 1293

A subsequent Certification was received 4-15-2016 and is acceptable for Building Pad Certification for all lots.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf Addressee via Email

March 28, 2016

Rita Harmon, P. E.
Planning Department
Hydrology Review Section
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

Re: Valle Prado Unit 3, Grading and Drainage Plan (C09/D011A)

Dear Rita:

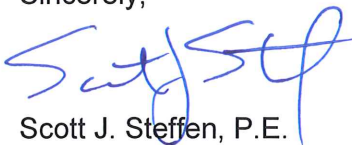
Enclosed is the revised Valle Prado Unit 3 grading plan for your review and approval. This letter is in response to the following comment in your email comments dated 2/12/16 for the Valle Prado Units 4 and 5 grading plan:

- *It is understood that Valle Prado Unit 3 is to be amended so that grades at the rear of lots 19, 20, and 21 will match those shown on Valle Prado Unit 5. The amended plan should be submitted at the same time or before Valle Prado Unit 5 is resubmitted.*

The Lot 19 homebuilder requested that the split pad be removed from the grading design. As a result, the revised lot 19 grading has a rear yard split greater than 2 feet, when matching the Valle Prado Unit 5 grades. The required dual wall system is shown on the revised grading plan. The Valle Prado Unit 5 grading plan will be revised for the resubmittal to reflect the revised Unit 3, Lot 19 design.

If you have any questions or require further information in order to approve the Grading and Drainage Plan, please feel free to contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development and Planning Group

Enclosures



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: _____ **Building Permit #:** _____ **City Drainage #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: _____
City Address: _____

Engineering Firm: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

DEPARTMENT:

- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
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- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
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- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

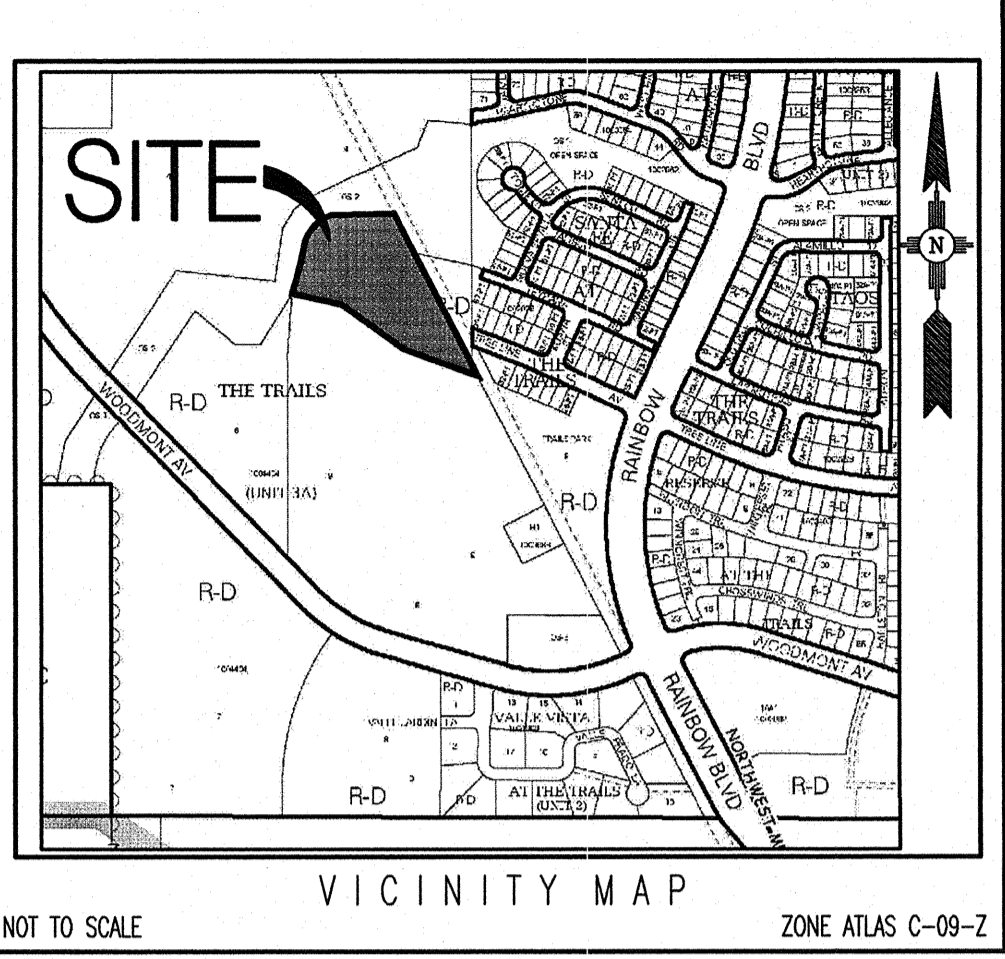
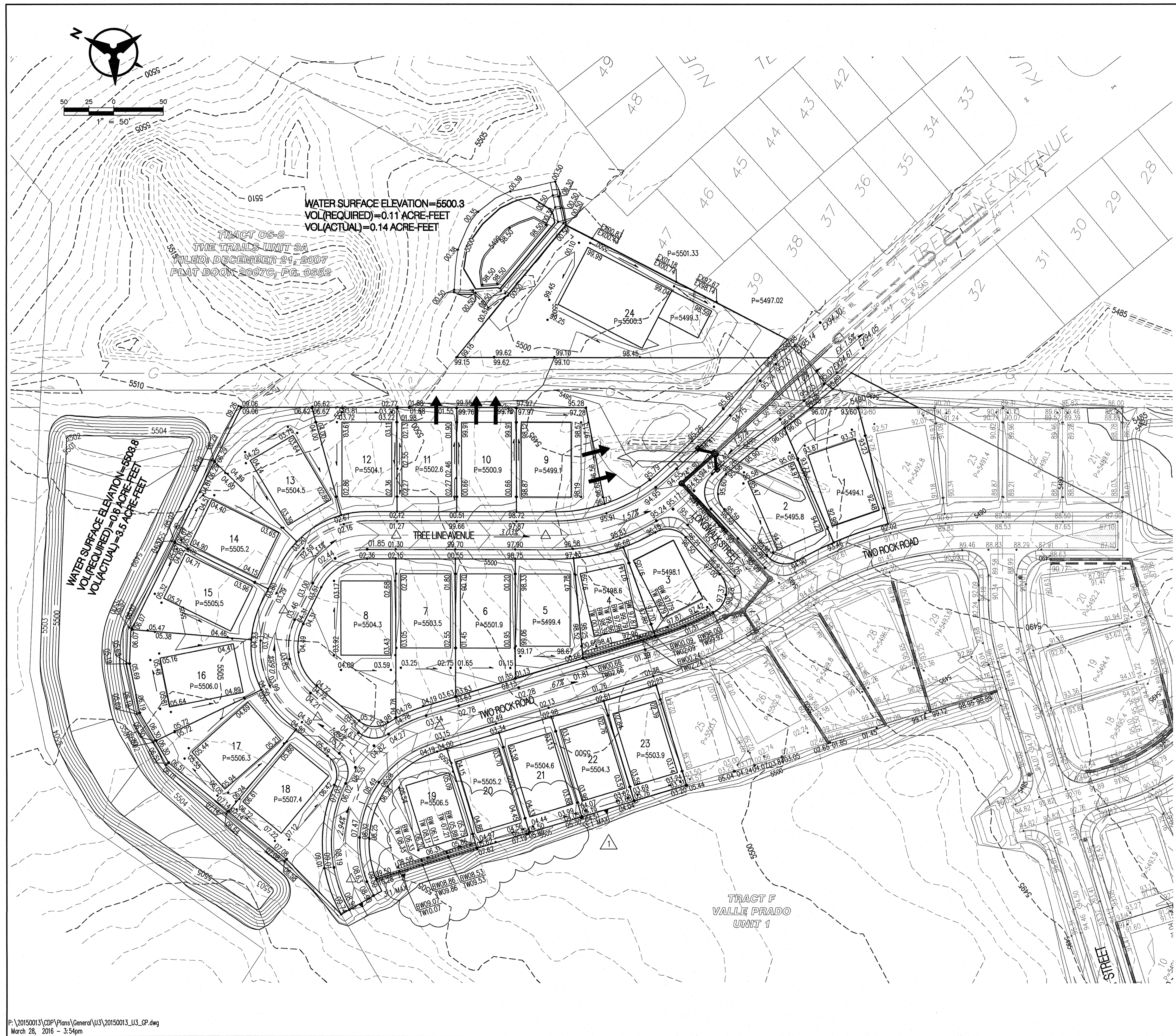
TYPE OF SUBMITTAL:

- ENGINEER/ ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED: _____



- GENERAL NOTES**
- CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
 - THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 - THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 - ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 - BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 - ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.

- LEGEND**
- 91.62 PROPOSED SPOT ELEVATION
 - 92.46 EXISTING SPOT ELEVATION (GRND & TC)
 - EXISTING CURB & GUTTER
 - === PROPOSED MOUNTABLE CURB & GUTTER
 - === PROPOSED STANDARD CURB & GUTTER
 - 54.70 EXISTING CONTOUR W/ INDEX ELEVATION
 - FLOW ARROW
 - ▬ PROPOSED RETAINING WALL
 - ▬ PROPOSED GARDEN WALL
 - ▬ PROPOSED SLOPE
 - ▬ PROPOSED STORM DRAIN
 - PROPOSED STORM DRAIN MANHOLE
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Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

VALLE PRADO
UNIT 3
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. XXXXXX		Zone Map No. C-09-Z	Sheet 1 Of 2

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	MARK	DATE	NO.	BY	NO.	DATE
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P:\20150013\CDP\Plans\General\U3\20150013_U3_GP.dwg
March 28, 2016 - 3:54pm

April 14, 2016

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Ms. Rita Harmon
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Grading and Drainage Pad Certification, Valle Prado Unit 3
DRB Case No. 1004404, (C09/D011)

Dear Rita:

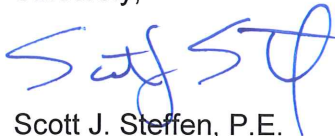
We are submitting a partial grading and drainage certification for Valle Prado Unit 3. The partial certification only includes Valle Prado Unit 3 Lots 1-24. This certification is in support of the changes to Lots 19-21 as shown on the approved grading plan dated 3/28/16. Enclosed for your review is the approved grading and drainage plan dated 3/28/16, with as-built elevations for Unit 3. The Unit 3 lots have been graded, and curb and gutter, pavement and storm drain improvements have been constructed.

The 2' garden walls have not been constructed and will be complete prior to request for release of financial guaranty.

After reviewing these as-built elevations and visiting the site on 4/13/16, it is my belief that the Valle Prado Unit 3 subdivision has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval is requested for Pad Certification for Valle Prado Unit 3, Lots 1-24. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development & Planning

Enclosure

cc: Rick Beltramo, Wexford Construction

Engineering ▲

Spatial Data ▲

Advanced Technologies ▲



City of Albuquerque

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Owner: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Architect: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

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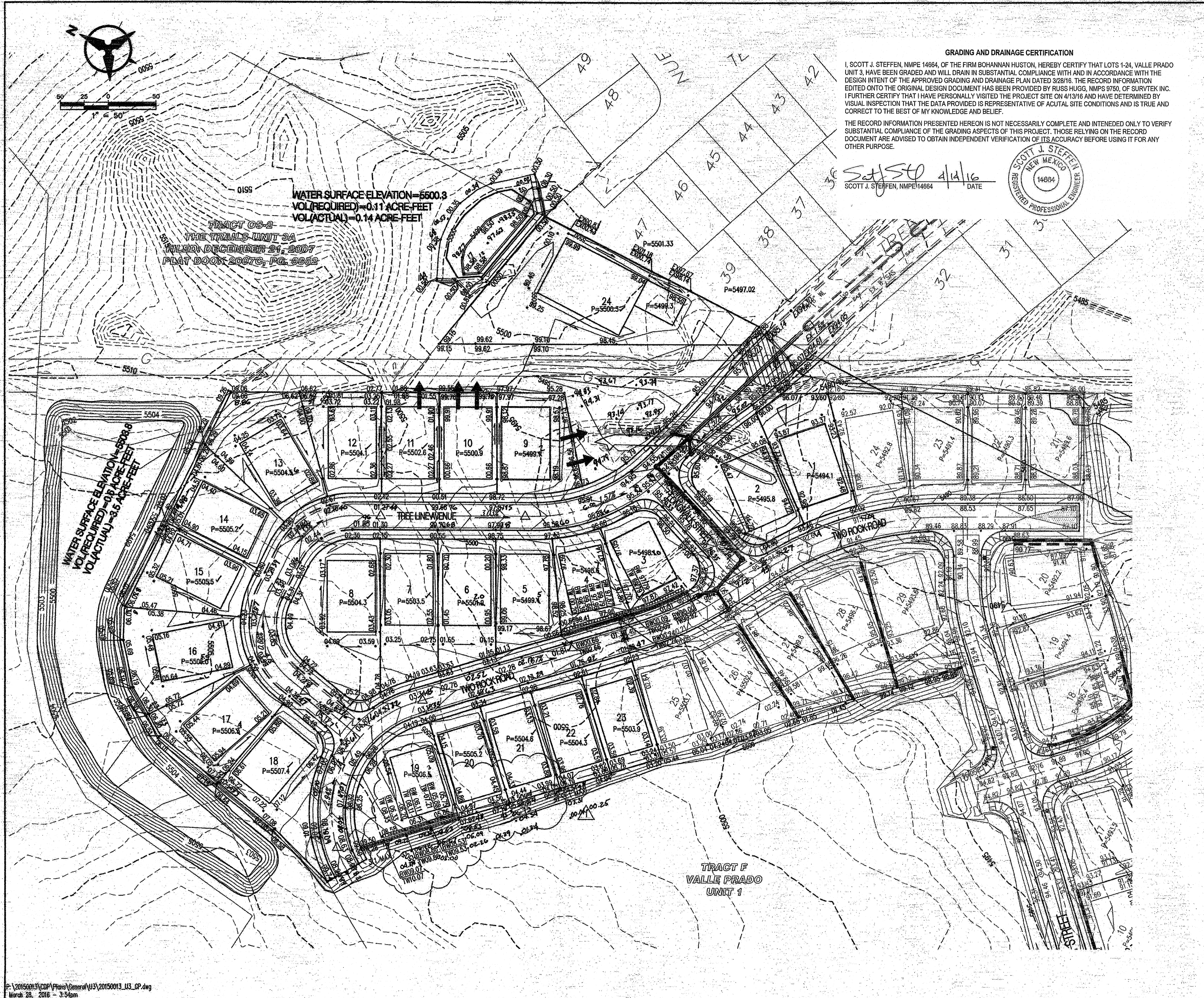
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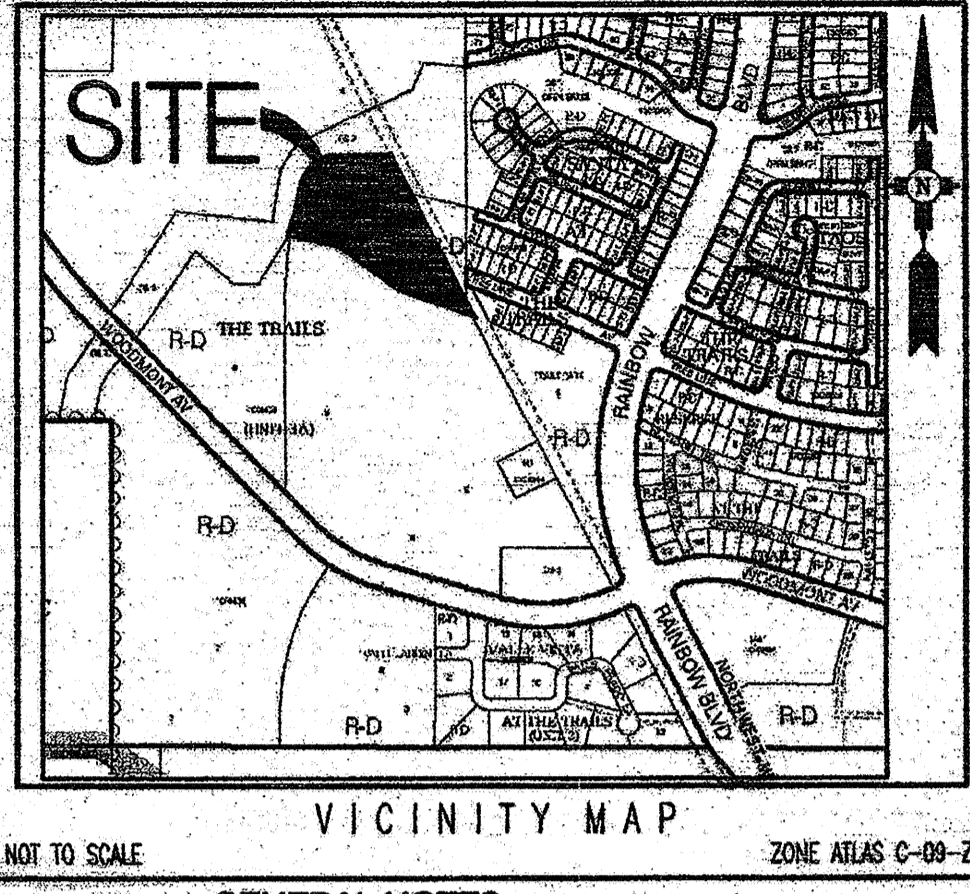


GRADING AND DRAINAGE CERTIFICATION

I, SCOTT J. STEFFEN, NMPE 14684, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY THAT LOTS 1-24, VALLE PRADO UNIT 3, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 02/28/16. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY RUSSELL HUGG, NMPS 9760, OF SURVTEK INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 4/13/16 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SCOTT J. STEFFEN 4/14/16
 SCOTT J. STEFFEN, NMPE 14684 DATE



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 - WALL DRAIN

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
BOHANNAN HUSTON	02/28/16	BH-08-0925-01	02/28/16	19-21 REAR YARD GRADING, LOT 19	SJS	19-21 REAR YARD GRADING, LOT 19	SJS
DESIGNED BY	DATE	REVISIONS	DESIGN	DATE	DATE	DATE	DATE
DESIGNED BY: SJS	DATE: 10/14	REVISIONS: DESIGN	DESIGN	DATE: 10/14	DATE: 10/14	DATE: 10/14	DATE: 10/14
DRAWN BY: DTH	DATE: 10/14						
CHECKED BY: SJS	DATE: 10/14						

Bohannon & Huston
 www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

VALLE PRADO UNIT 3 GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. XXXXXX	Zone Map No. C-09-Z	Sheet 1	Of 2

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 March 28, 2016 - 3:34pm