

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

February 27, 2019

Yolanda Padilla Moyer, PE  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

RE: **Durango Subdivision, Units 3 - 5**  
**Tr H, Durango Unit 1 & Tr A Durango Unit 3A**  
**Drainage Report Stamp Date: 3/5/15**  
**Unit 3 Grading Plan Stamp Date: 8/12/15 (previously approved for Plat, 8/18/15)**  
**Unit 3A Grading Plan Stamp Date: 2/15/19**  
**Unit 4 Grading Plan Stamp Date: 8/12/15 (previously approved for Grading & Plat, 8/18/15)**  
**Unit 5 Grading Plan Stamp Date: 2/15/19**  
**Hydrology File: C09D012**

PO Box 1293

Dear Ms. Padilla Moyer,

Albuquerque

Based on the submittal received on 2/15/19 the above-referenced Grading Plans cannot be approved for Preliminary Plat, Grading Permit, and Work Order until the following are corrected:

NM 87103

[www.cabq.gov](http://www.cabq.gov)

1. Show the storm drain network on the Grading Plan (vicinity of Unit 3A, layer may be missing or turned off); delineate which portions have been constructed (any portion of the storm drain that hasn't been constructed and accepted will need to be added to the infrastructure list).
2. How will flows be directed from the west side of Coal Bank St to Red Mountain Rd (Unit 3A)? It appears that a valley gutter is needed here. (layer may be missing or turned off)
3. Along all external boundaries, provide sections of the proposed retaining walls and show the property line, existing and proposed grades on the section views. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use. Ensure that the retaining walls (including footers) do not encroach on neighboring property or public ROW. Sections are missing behind lots 1-2 (backing up to Woodmont) and behind lots 18-19 (backing up to SLO land). If a revocable permit is pursued it should be discussed prior to Preliminary Plat, so it can be included as an infrastructure list item.
4. Tract C needs to be eliminated and made part of Lot18, with a public drainage easement placed over the drainage swale. The drainage swale needs to be concrete (Std Dwg 2260) and

# CITY OF ALBUQUERQUE

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listed on the Infrastructure List, as it will be publically maintained. This swale needs to be sized for the area draining to it, including sediment bulking and sediment transport capacity. Flow from the Open Space needs to be conveyed through the swale to Mancos; it cannot be diverted south the SLO tract and towards the APS school. How will flows be conveyed to Mancos across the sidewalk? Transportation has indicated that a dip section will be acceptable here.

5. Prior to Unit 5 ROFG, The backyard ponds for Lots 4-16, Unit 5 need a [Drainage Covenant \(No Public Easement\)](#) to ensure these ponds don't become a hazard for the homeowners in Unit 3. A recorded document will be needed at ROFG, provide a draft when resubmitting.
6. This project requires an ESC Plan, submitted to the Storm Water Quality Engineer (Curtis Cherne PE, [ccherne@cabq.gov](mailto:ccherne@cabq.gov) or 924-3420).
7. For Information: Prior to Unit 3/3A ROFG, a temporary drainage easement on the temporary ponds will be needed, unless the upstream road portions have been built.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Dana M. Peterson  
Senior Engineer, Planning Dept.  
Development Review Services



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** Durango Units 3-5 **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** C09D012  
**DRB#:** \_\_\_\_\_ **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Tract H, Durango Unit 1 & Tract A of Durango Unit 3A  
**City Address:** \_\_\_\_\_

**Applicant:** Bohannon Huston Inc. **Contact:** Yolanda Moyer  
**Address:** 7500 Jefferson St NE CY2 Albuquerque, NM, 87109  
**Phone#:** 505-798-7945 **Fax#:** \_\_\_\_\_ **E-mail:** ypadilla@bhinc.com  
**Owner:** PV Trails Albuquerque LCC **Contact:** Scott Steffen  
**Address:** 4350 La Jolla Village Dr, Suite 110 San Diego CA 92122  
**Phone#:** 505 243-3949 **Fax#:** \_\_\_\_\_ **E-mail:** ssteffen@pricedg.com

**TYPE OF SUBMITTAL:** ☒ PLAT (19 # OF LOTS) ☐ RESIDENCE ☒ DRB SITE ☐ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

**DEPARTMENT:** ☐ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☒ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☒ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 02-15-19 **By:** Yolanda Padilla Moyer, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

February 15, 2019

Mr. Dana Peterson, P.E.  
Senior Engineer  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

Re: Durango Subdivision, Units 3 - 5  
Tr H, Durango Unit 1 & Tr A Durango Unit 3A  
Drainage Report Stamp Date: 3/5/15  
Unit 3 Grading Plan Stamp Date: 8/12/15 (Approved for Plat, 8/18/15)  
Unit 3A Grading Plan Stamp Date: 1/18/19  
Unit 4 Grading Plan Stamp Date: 8/12/15 (Approved for Grading, 8/18/15)  
Unit 5 Grading Plan Stamp Date: 1/18/19  
Hydrology File: C09D012

Dear Mr. Peterson:

Enclosed are responses to the comments provided on June 19, 2018. Responses are listed in red below.

1. Please include the entire submittal electronically; the 2015 Unit 3 and Unit 4 plans were missing. It is Hydrology's intent to approve/reapprove Durango Units 3-5 for Preliminary Plat, Grading Permit, and Work Order, once the below corrections are made. **Digital Copies have been included**
2. Show the storm drain network on the Grading Plan (vicinity of Unit 3A); delineate which portions have been constructed (any portion of the storm drain that hasn't been constructed and accepted will need to be added to the infrastructure list). **Storm drain has been added. No new storm drain is needed**
3. Existing and proposed contour labels are missing for Unit 3A. In Unit 5, please increase the density of existing and proposed contours along the external boundaries. The slope indicators appear to be reversed along the 4:1 tie-in slope. **Additional contour labels have been added. Indicators have been corrected**
4. Provide a temporary pond on Coal Bank St where Unit 4 ties in (Unit 3A). Prior to Unit 3 ROFG, a temporary drainage easement on the temporary ponds will be needed, unless the upstream road portions have been built. **This has been added**
5. How will flows be directed from the west side of Coal Bank St to Red Mountain Rd (Unit 3A)? It appears that a valley gutter is needed here. **Valley Gutter has been added.**



6. Identify internal retaining walls to be constructed by the developer (prior to Pad Cert) and those to be deferred to homebuilder. Any wall retaining 2 feet or more will need to be constructed by the developer (i.e prior to Pad Cert); less than 2 feet retained can be deferred to homebuilder. **Any retaining walls have been added and shown with appropriate line style indication in Legend.**

7. Along all external boundaries, provide sections of the proposed retaining walls and show the property line, existing and proposed grades on the section views. Include diversion channels and berms if present. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use. Ensure that the retaining walls (including footers) do not encroach on neighboring property or public ROW. **Cross-sections have been added. Detail indicates that footer will no encroach in to adjacent proper. A revocable permit may still be pursued.**

8. Special care must be taken while grading adjacent to the Open Space. Identify all concentrated flow paths entering this subdivision and provide grade control and controlled flowpaths into the subdivision. Provide details showing how this will be accomplished, similar to what was required for Del Webb 3&4. Ensure all slopes are stabilized to prevent headcutting and erosion back into the Open Space. **A grade control wall has been added to the grading plan and the detail for location at concentrated flow locations.**

9. Provide a detail or section across Lot 18, Tract C, and into the Open Space. How will this property be protected from offsite flows? Is there a drainage feature proposed on Tract C? The grading isn't detailed enough to ensure this house will be adequately protected. **Grading plan has been revised and a cross-section added. There will be a swale added located west of the lot in the area between Lot 18 and the open space to convey flows to the roadway.**

10. Provide written permission from City Open Space for grading and construction of the drive entrance on their property (across from Lot 8, Unit 5). **Driveway has been removed**

11. The backyard ponds for Lots 4-16, Unit 5 need a protective covenant; either a restrictive covenant for the homeowner's (enforced by HOA) or a Drainage Covenant (No Public Easement) to ensure these ponds don't become a hazard for the homeowners in Unit 3. However this is resolved, a recorded document will be needed at Final Plat (provide a draft when resubmitting). **A drainage covenant will be utilized and will be required before Release of Financial Guaranty.**

12. This project requires an ESC Plan, submitted to the Storm Water Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420). **ESC Plans will be submitted.**

13. Include typical lot grading details on the Grading Plan; one for all of the backyards that drain to the streets via sideyard swales and one for lots in Unit 5 with the backyard ponds. **Two typical lot details have been added. One for the typical lots draining forward to the right-of-way and the second for the Lots 4-17.**

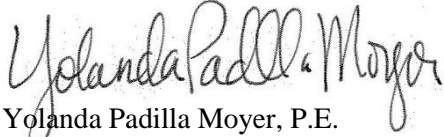
Mr. Dana Peterson, P.E.

February 15, 2019

Page | 3

Revised Grading Plans are enclosed. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,

A handwritten signature in black ink that reads "Yolanda Padilla Moyer". The signature is fluid and cursive, with the first name "Yolanda" being the most prominent.

Yolanda Padilla Moyer, P.E.

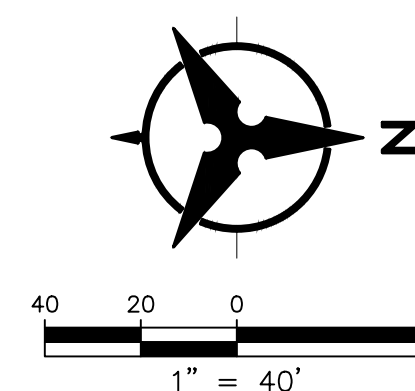
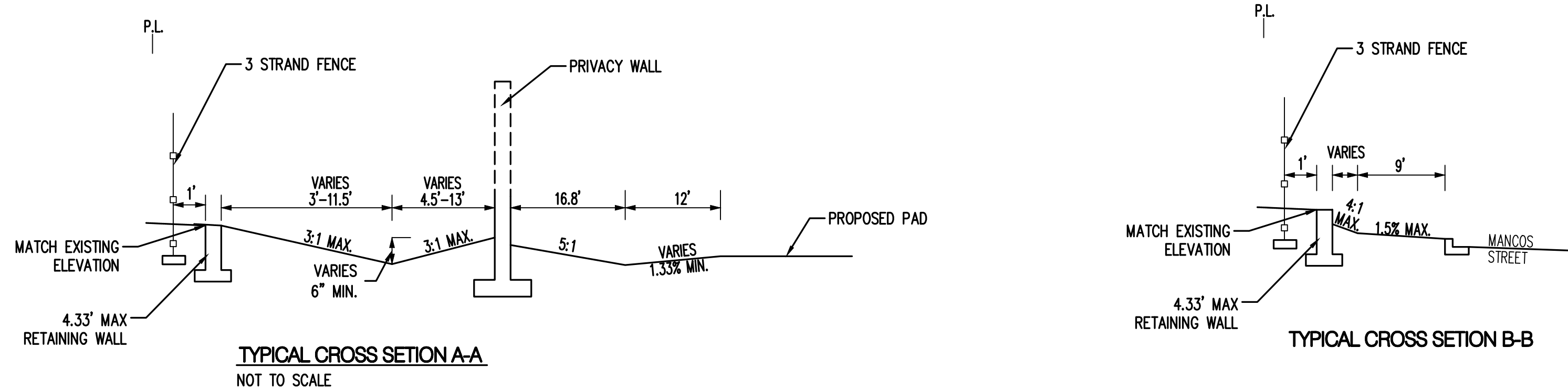
Senior Project Manager

Community Development and Planning

YPM/cc

Enclosures

cc: Scott J. Steffen, PLDG



### LEGEND

PROPOSED SPOT ELEVATION      ● 5235.25

EXISTING SPOT ELEVATION      ● EX 5235.25

PROPOSED CONTOUR      ————— 5025

EXISTING STORM DRAIN LINE      = = = = =

PROPOSED STORM DRAIN INLET      □

PROPOSED STORM DRAIN LINE      ════════════

PROPOSED STORM DRAIN MANHOLE      ○

PROPOSED WATER BLOCK      ~~~~~

RETAINING WALL      ─────────

PAD      

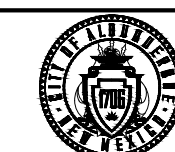
10  
P=5300.00

TURNED BLOCK      TB

STREET SLOPE      XX ↘

PHASE BOUNDARY      - - - - -

		ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS	AS-BUILT INFORMATION	
				FIELD NOTES				
				NO.	BY	DATE	CONTRACTOR	DATE
							ACS MONUMENT STAMPED "UNION"	DATE
							GEOGRAPHIC POSITION (NAD 83)	DATE
							N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE
No.	Date	REMARKS	By				N = 1,523,503.475 E = 1,493,655.030	DATE
							GROUND-TO-GRID FACTOR = 0.999664360	DATE
							Δm = -00'16".58.96"	MICROFILM INFORMATION
Designed By: JL				DATE:	01/2019		RECORDED BY	DATE
Drawn By: AR				DATE:	01/2019		NO.	
Checked By: YPW				DATE:	01/2019			



**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

## DURANGO

## UNIT 5

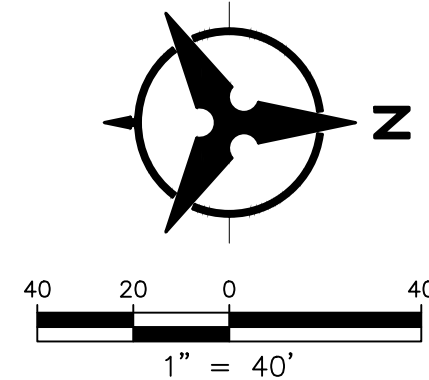
### GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No. C-09-Z
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Sheet	1	Of	4
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### LEGEND

- |                              |   |
|------------------------------|---|
| PROPOSED SPOT ELEVATION      | ● 5235.25   |
| EXISTING SPOT ELEVATION      | ● EX 5235.25  |
| PROPOSED CONTOUR             | — 5025  |
| EXISTING STORM DRAIN LINE    | ==  |
| PROPOSED STORM DRAIN INLET   | □   |
| PROPOSED STORM DRAIN LINE    | ===   |
| PROPOSED STORM DRAIN MANHOLE | ○   |
| PROPOSED WATER BLOCK         | ~~~~~   |
| RETAINING WALL               | — — — — —   |
| PAD                          | <div style="border: 1px solid black; padding: 5px; display: inline-block;">             10<br/>P-5300-00           </div> |
| TURNED BLOCK                 | TB  |
| STREET SLOPE                 | XX →  |
| PHASE BOUNDARY               | — · · · —   |

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
		FIELD NOTES					
		NO.	BY				
						CONTRACTOR	DATE
						WORK STARTED BY	DATE
						WORK STOPPED BY	DATE
						ACCEPTANCE BY	DATE
						FIELD REVISION BY	DATE
						REVISIONS	DATE
						NO. DATE	
						DESIGNED BY: JL	DATE: 01/2019
						DRAWN BY: AR	DATE: 01/2019
						CHECKED BY: YPW	DATE: 01/2019

**Bohannon**  **Huston**  
www.bhinc.com 800.877.5332



**CITY OF ALBUQUERQUE**  
**PUBLIC WORKS DEPARTMENT**

**DURANGO**  
UNIT 5  
**GRADING AND DRAINAGE PLAN**

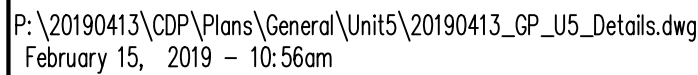
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.

Zone Map No.  
**C-09-Z**

Sheet **2** Of **4**





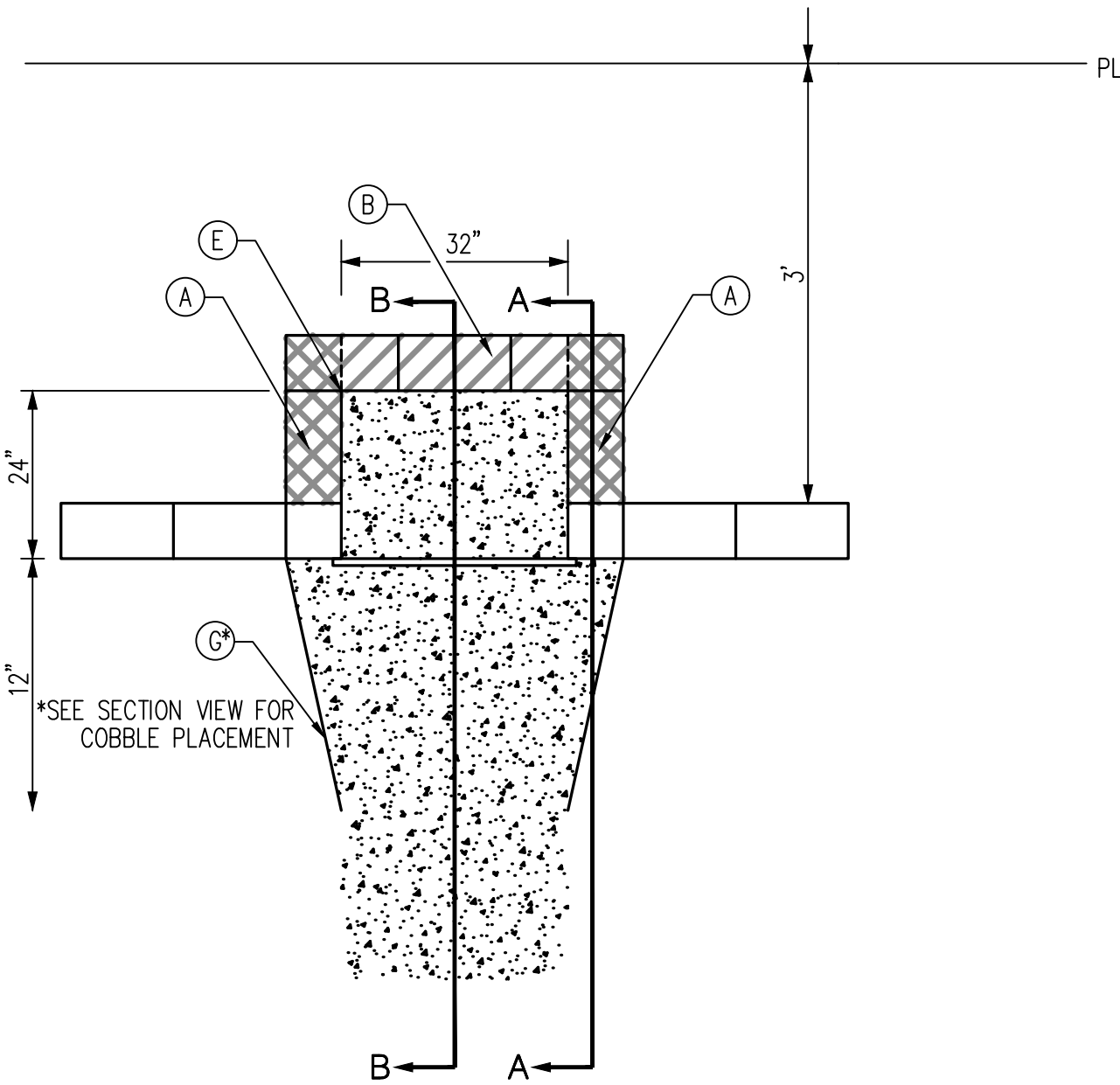


KEYED NOTES

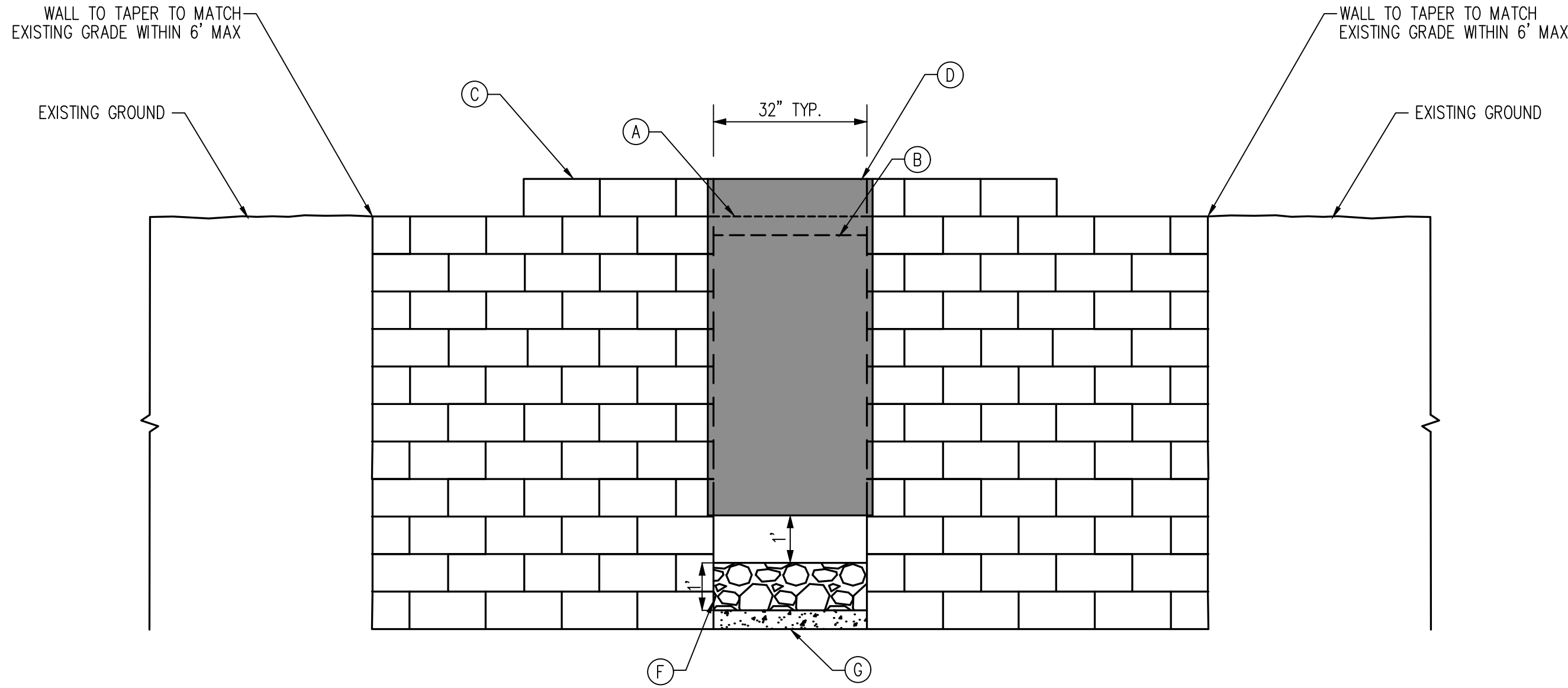
- (A) SIDE WALLS OF HORSESHOE NOTCH SHALL MATCH EXISTING GRADE AND SHALL BE ONE COURSE (8") LOWER THAN FACE OF WALL HEIGHT.
- (B) BACK WALL OF HORSESHOE NOTCH SHALL BE 1.5 COURSES (APPROX. 12") LOWER THAN FACE OF WALL HEIGHT.
- (C) FACE OF WALL ONE COURSE (8") HIGHER THAN EXISTING GROUND AT NOTCH.
- (D) METAL PLATE TO BE ATTACHED TO FACE OF WALL. TOP OF METAL PLATE TO MATCH TOP OF FACE OF WALL. TO BE INSTALLED BY OTHER.
- (E) PREVENTATIVE GRATING TO BE ANCHORED TO CORNERS OF WALL (3/4" STEEL BARS PLACED 4" O.C.)
- (F) 6" COBBLE (2 LIFTS, 12" TOTAL)
- (G) 3" CONCRETE SLAB, 4000 PSI
- (H) 6"x6" TRIANGULAR CONCRETE WEDGE

GENERAL NOTES

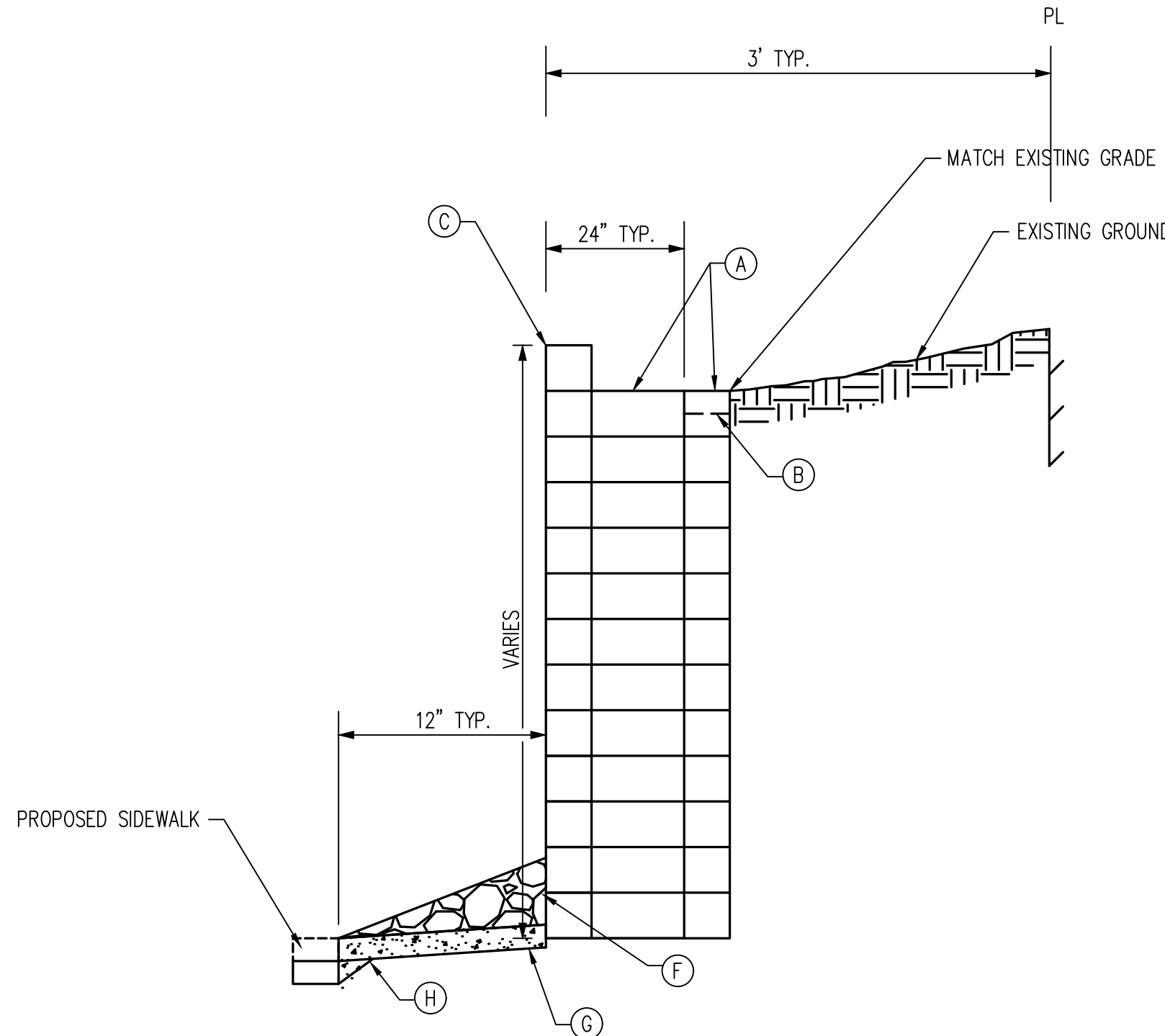
1. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND OWNER PRIOR TO CONSTRUCTION.
2. NO DISTURBANCE IS ALLOWED ON THE MONUMENT, IF DAMAGE OCCURS TO NEIGHBOR'S PROPERTY THEN WRITTEN ACCEPTANCE OF THE REPAIRS WILL BE REQUIRED PRIOR TO ACCEPTANCE OF ENGINEER'S CERTIFICATION. CONTRACTOR MUST IMMEDIATELY STABILIZE THE SLOPE TO PREVENT EROSION FROM ENCRoACHING INTO THE NEIGHBOR'S PROPERTY PER DETAILS THIS SHEET.



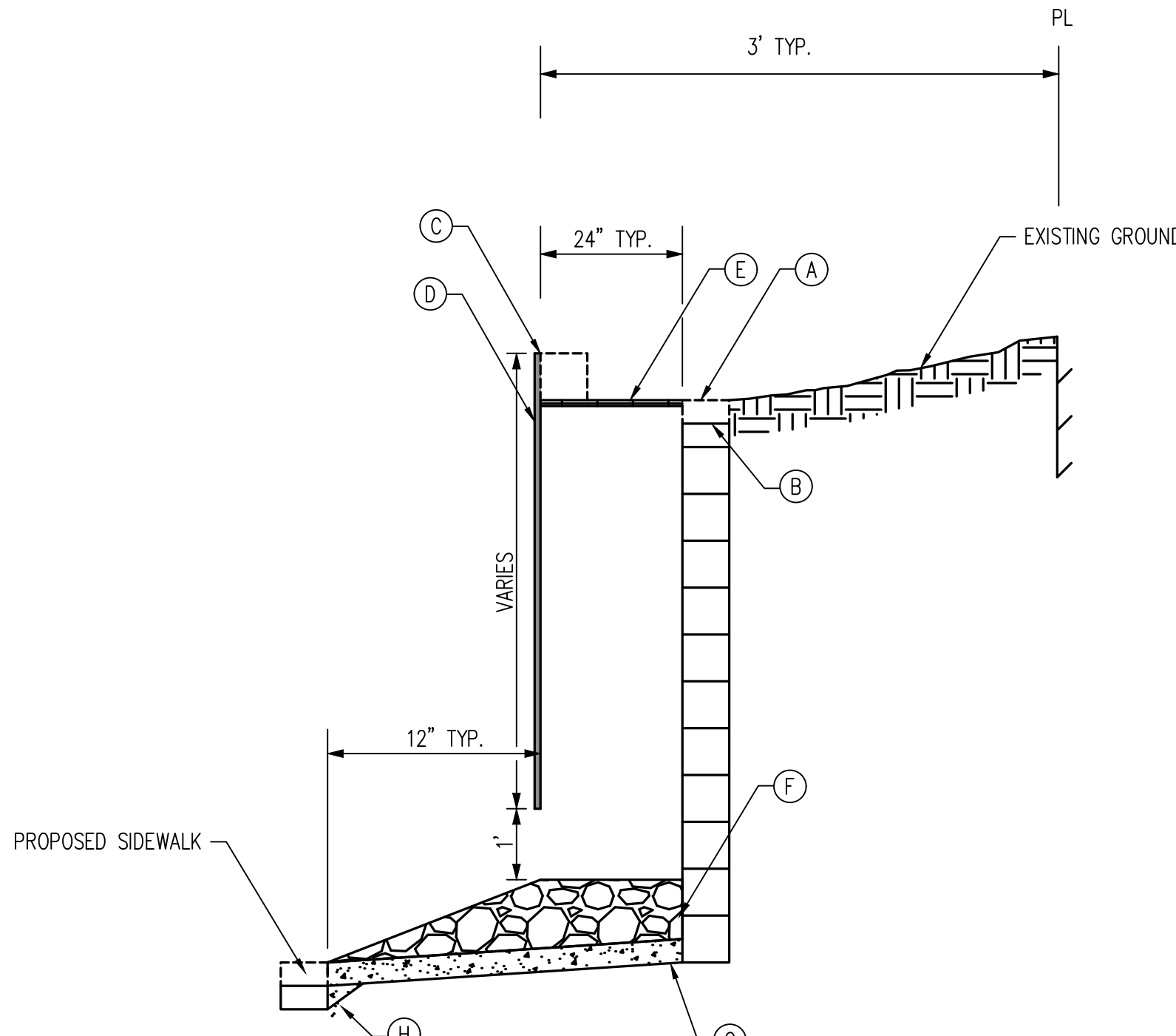
WEST DRAINAGE WALL PLAN DETAIL  
NOT TO SCALE



WEST DRAINAGE WALL FRONT SECTION  
NOT TO SCALE

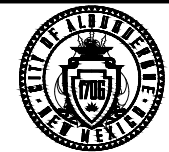


WEST DRAINAGE WALL SECTION A-A  
NOT TO SCALE



WEST DRAINAGE WALL SECTION B-B  
NOT TO SCALE

Bohannon & Huston  
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CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT

DURANGO

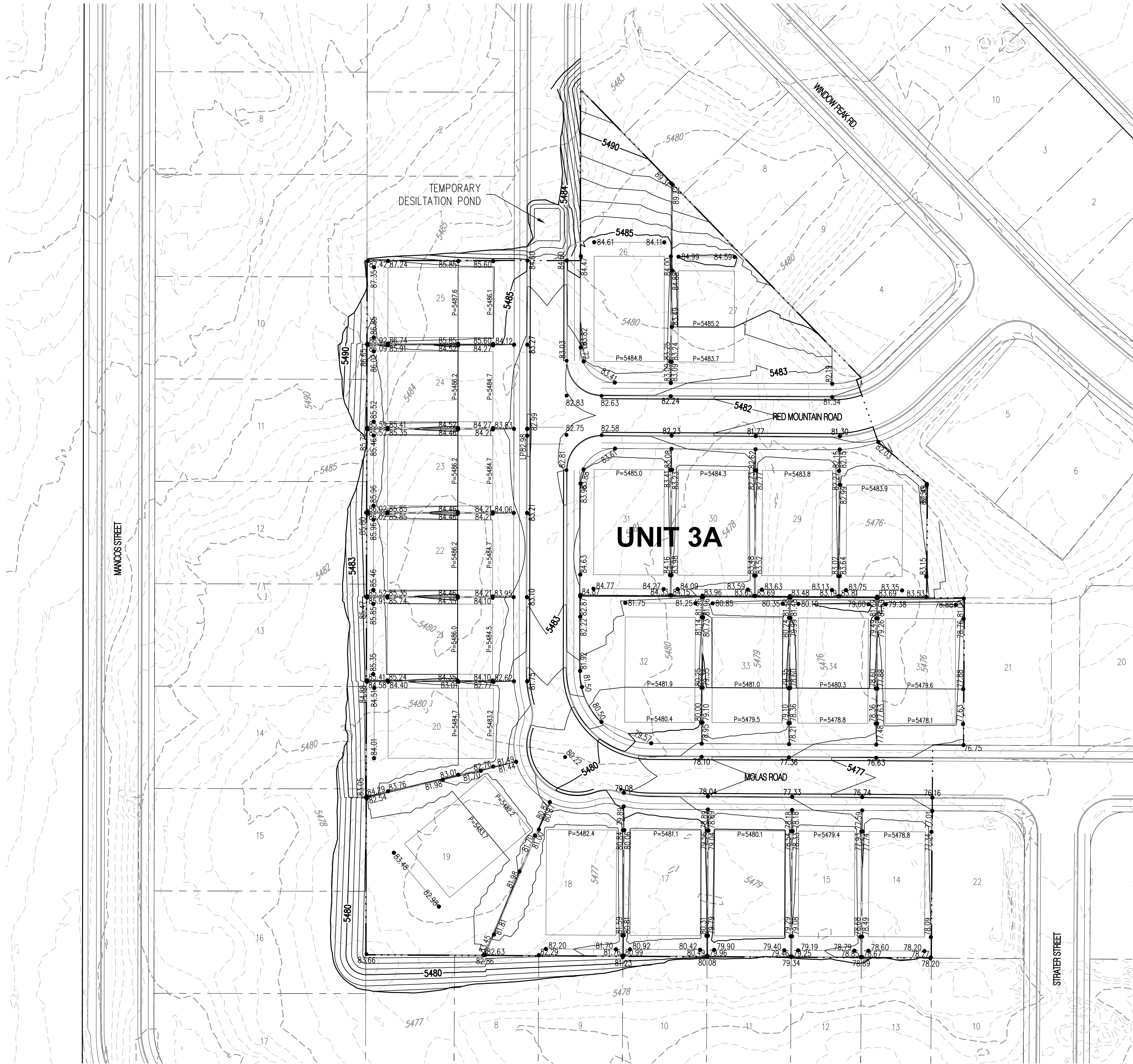
WALL DRAINAGE STRUCTURE DETAIL

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No.	Zone Map No.	Sheet	Of
	C-09-Z	4	4

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS		DESIGN		DESIGNED BY		DRAWN BY		CHECKED BY	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	BY	DATE	DATE	REVISIONS	DATE	DESIGNED BY	DATE	DRAWN BY	DATE	CHECKED BY	DATE	NO.	DATE
WORKED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE														
ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE														
VERIFICATION BY	DATE	N = 1,523,503.475 E = 1,493,655.030	DATE														
DRAWINGS BY	DATE	GROUND-TO-GRID FACTOR = 0.999864360	DATE														
REVISIONS	DATE	Δm = -00'16"58.96"	DATE														
MICROFILM INFORMATION	DATE	NAVD 1988 ELEVATION = 5524.950	DATE														

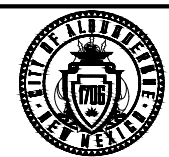




LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- PAD
- TURNED BLOCK
- STREET SLOPE
- PHASE BOUNDARY

Bohannon & Huston  
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CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT

DURANGO  
UNIT 3A  
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

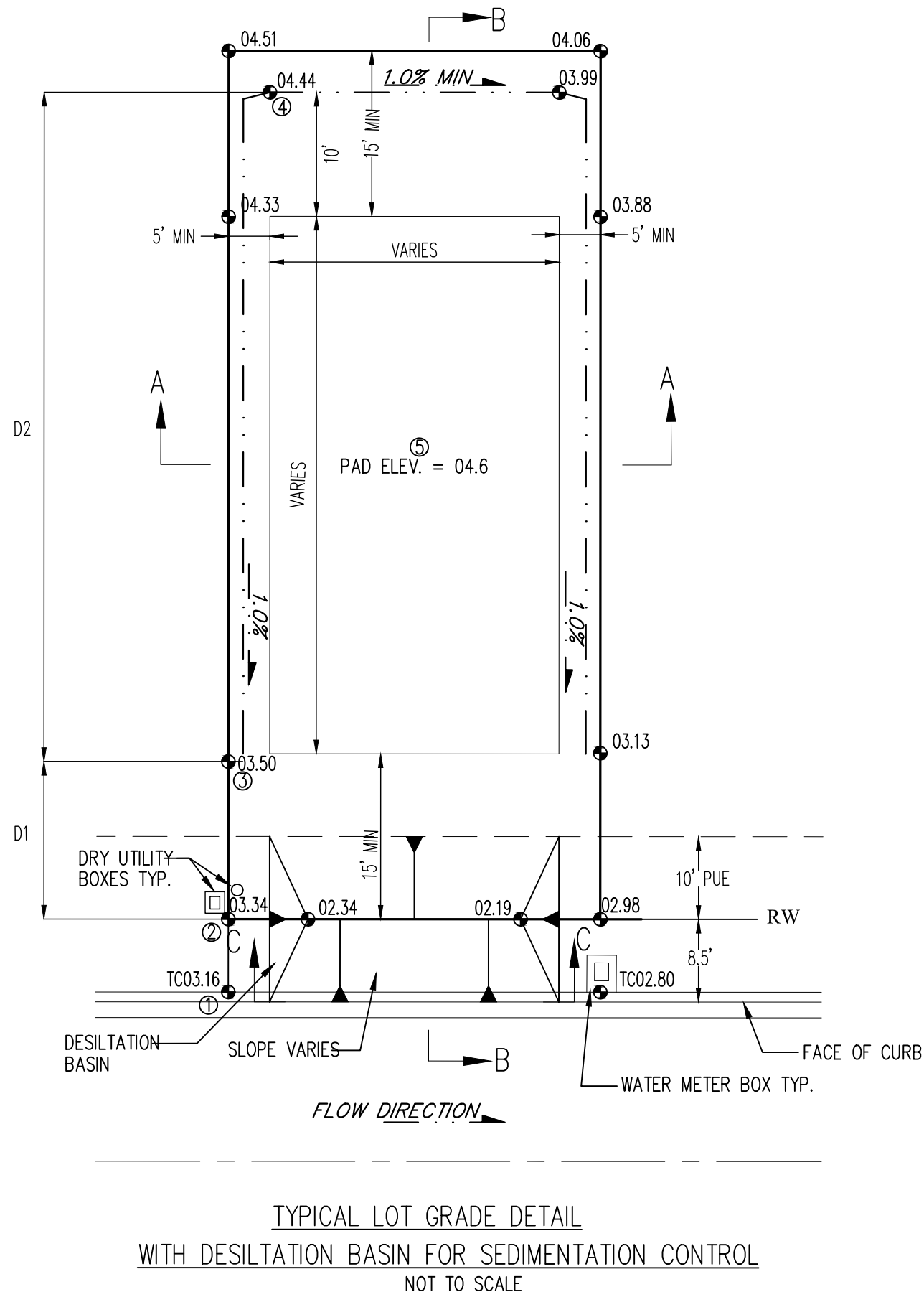
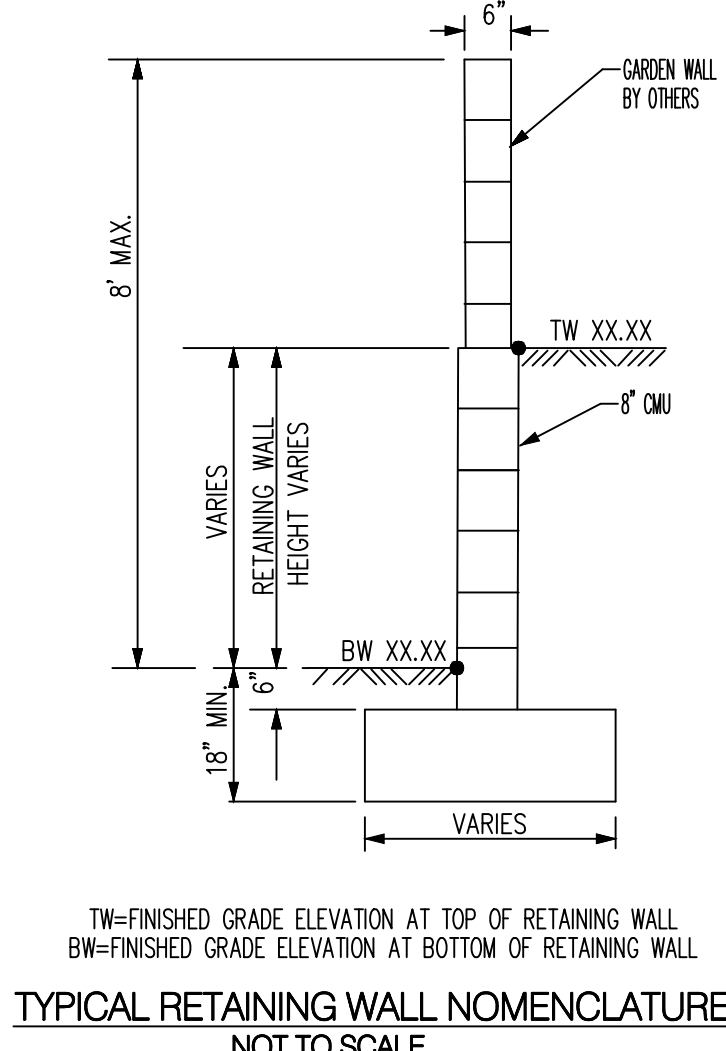
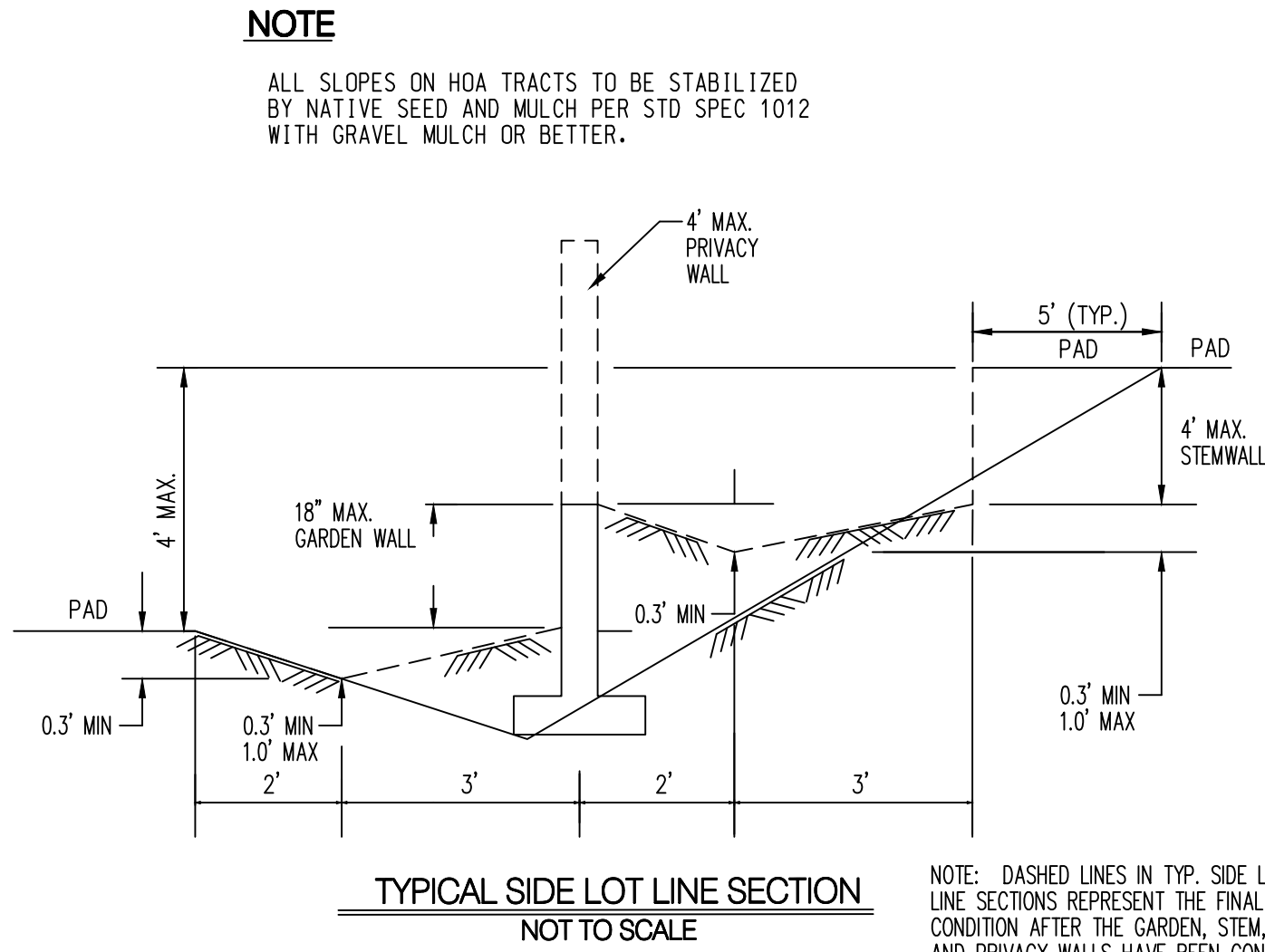
City Project No.	Zone Map No.	Sheet	Of
C-09-Z		1	2

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REMARKS	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	BY	DATE	By	No.	Date
WORKED BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE						
SUPERVISOR'S	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE						
ACCEPTANCE BY	DATE	N = 1,523,503.475 E = 1,493,655.030	DATE						
VERIFICATION BY	DATE	GROUND-TO-GRID FACTOR = 0.999664360	DATE						
DRAWINGS	DATE	Δw = -00'16"58.96"	DATE						
REVISIONS	DATE	NAVD 1988 ELEVATION = 5524.950	DATE						
MICROFILM INFORMATION	DATE								
RECORDED BY	DATE								
NO.									



Designed By: JL  
Drawn By: AR  
Checked By: YPM  
DATE: 01/2019  
DATE: 01/2019  
DATE: 01/2019



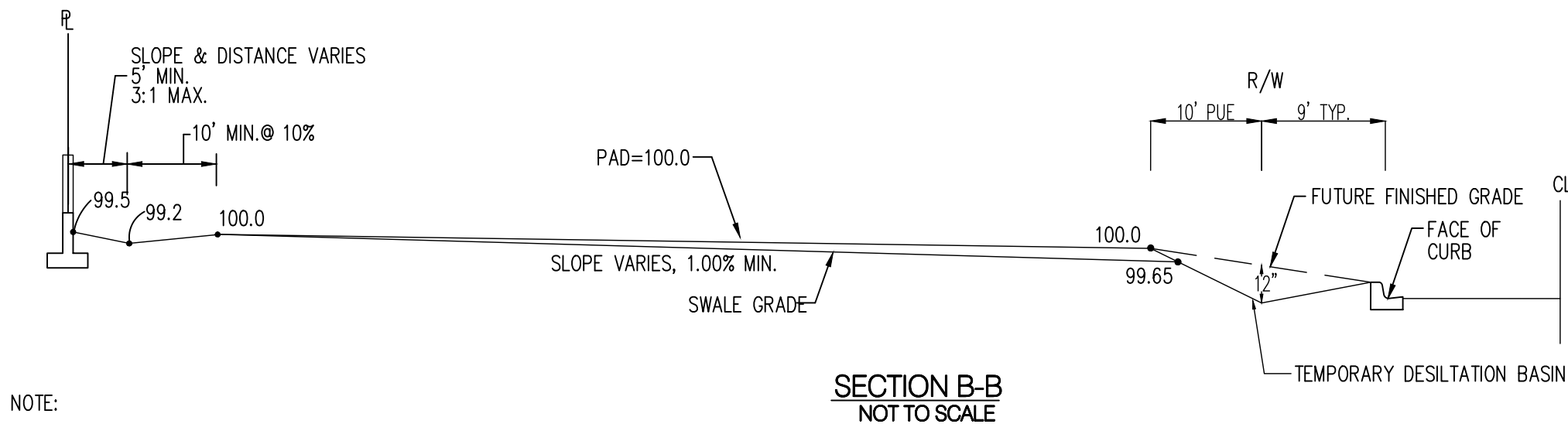
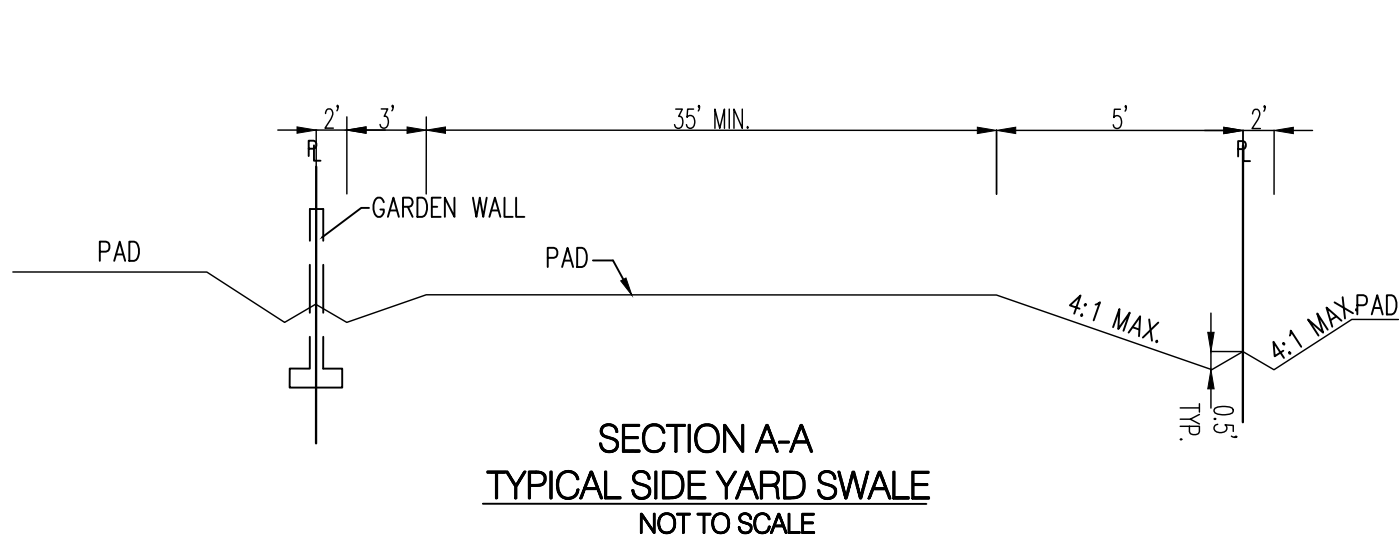


**GENERAL NOTES**

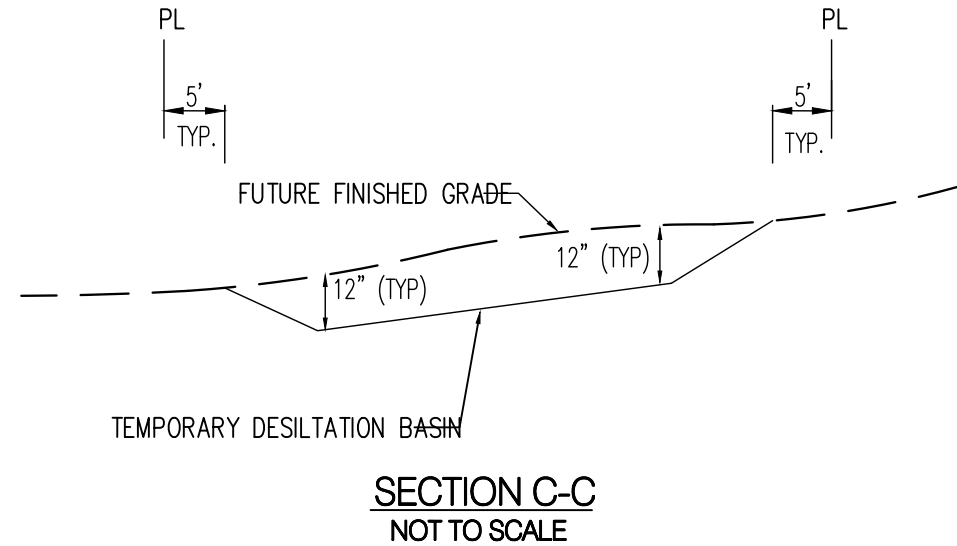
1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**GRADING NOTES**

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
10. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.
11. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
12. RETAINING WALLS ARE REQUIRED BETWEEN LOTS THAT HAVE PAD ELEVATIONS THAT ARE GREATER THAN 2' DIFFERENCE.



- NOTE:
1. CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
  2. FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
  3. HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.



**Bohannon & Huston**  
www.bhinc.com 800.877.5332

<b>CITY OF ALBUQUERQUE</b> <b>PUBLIC WORKS DEPARTMENT</b>	
<b>DURANGO</b> <b>UNIT 3A</b> <b>GRADING AND DRAINAGE DETAILS</b>	
Design Review Committee	City Engineer Approval
City Project No.	Zone Map No.
C-09-Z	2
Sheet	Of
2	2

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 18, 2015

Richard J. Berry, Mayor

Scott Steffen, PE  
**BOHANNAN-HUSTON, INC.**  
7500 Jefferson Street NE Courtyard I  
Albuquerque, NM 87109

RE: **Durango at the Trails (File: C09D012), Unit 3**  
**Grading and Drainage plan, Stamp Date 8-12-15 (Sheet 4)**

Dear Mr. Steffen:

Based upon the information provided in your submittal received 8-13-15, the above referenced submittal is approved for DRB action on the Preliminary Plat and Site Plan for Subdivision *for Unit 3*. Prior to approval for Grading Permit the following comment must be addressed.

1. An Interim Grading Plan is required showing a temporary pond on Coal Bank Street where Unit 4 ties in. Temporary Drainage Easements will be required before Work Order Acceptance.
2. Items that need to be addressed on the Work Order:
  - a. It appears a valley gutter is needed to direct flows from west side of Coal Bank St. down Red Mountain Road.
  - b. Offsite runoff seems to be directed by a swale to run behind the lots down to Weminuche Road. The sediment pond should pick up those flows.

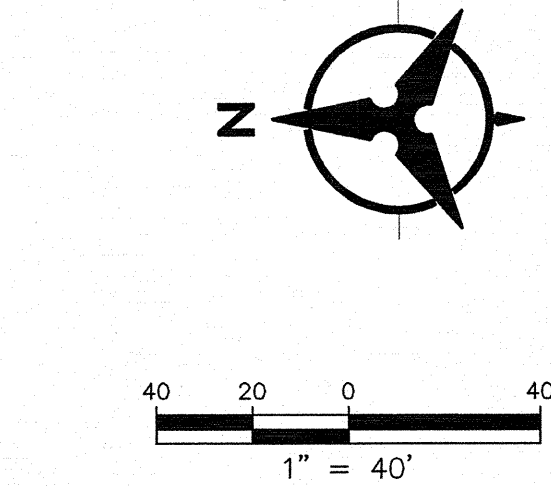
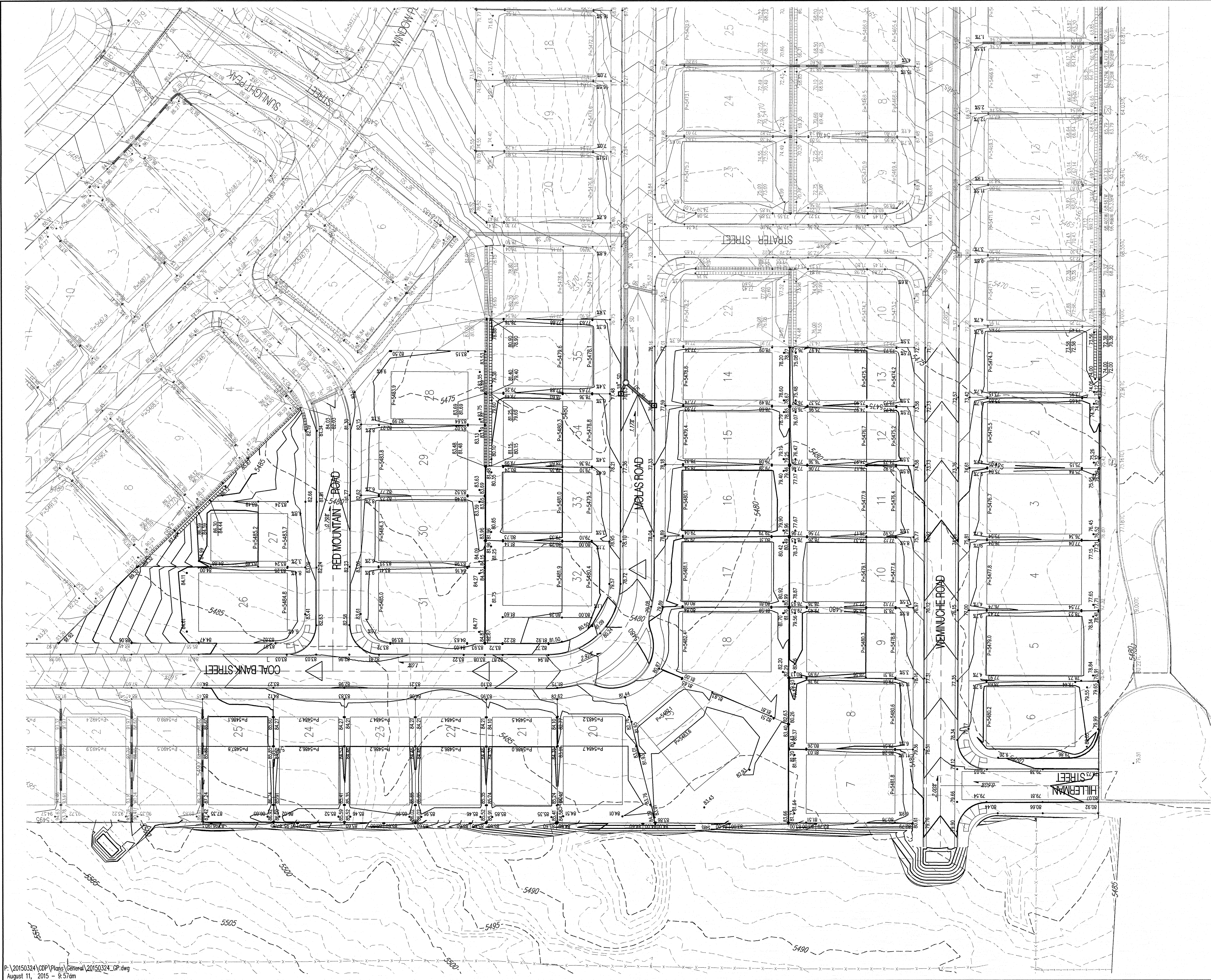
If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file  
c.pdf Addressee via Email





- GENERAL NOTES**
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  4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 36, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
  5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
  6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
  7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
  8. ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH 4"-6" COBBLE OVER NON-WOVEN GEOTEXTILE FABRIC, CLASS I.

**LEGEND**

- 91.62 PROPOSED SPOT ELEVATION
- x 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- === PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET

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**CITY OF ALBUQUERQUE  
PUBLIC WORKS DEPARTMENT**

**DURANGO  
UNIT 3  
GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	XXXXXX	Zone Map No.	C-09-Z	Sheet 4 Of 5

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS	
CONTRACTOR	DATE	WORK STAMPED BY	DATE	FIELD NOTES	DATE		By	No.	Date
ACCS MONUMENT STAMPED "UNION"	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE	BY	DATE			REMARKS	DESIGN
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE	N = 1,523,503.475 E = 1,493,655.030	DATE						
GROUND-TO-GRID FACTOR = 0.999964360	DATE	Δm = -00'16"58.96"	DATE						
MICROFILM INFORMATION		RECORDED BY						DESIGNED BY: SJS	DATE: 03/2015
		NO.						DRAWN BY: DJH	DATE: 03/2015
								CHECKED BY: SJS	DATE: 03/2015



# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 18, 2015

Richard J. Berry, Mayor

Scott Steffen, PE  
**BOHANNAN-HUSTON, INC.**  
7500 Jefferson Street NE Courtyard I  
Albuquerque, NM 87109

RE: **Durango at the Trails (File: C09D012), Unit 4**  
**Grading and Drainage plan, Stamp Date 8-12-15 (Sheet ~~2~~ 3)**

Dear Mr. Steffen:

Based upon the information provided in your submittal received 8-13-15, the above referenced submittal is approved for DRB action on the Preliminary Plat and Site Plan for Subdivision *for Unit 4.*

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

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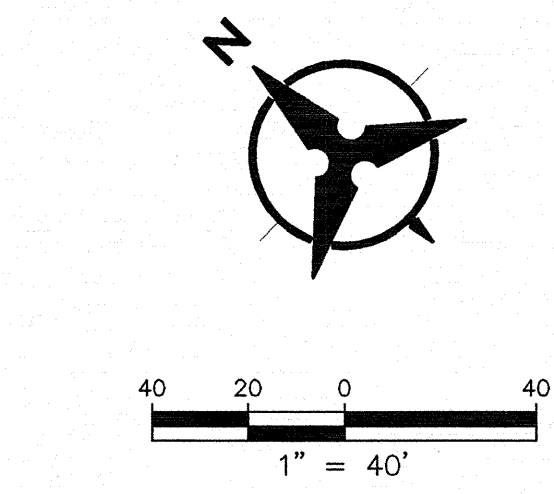
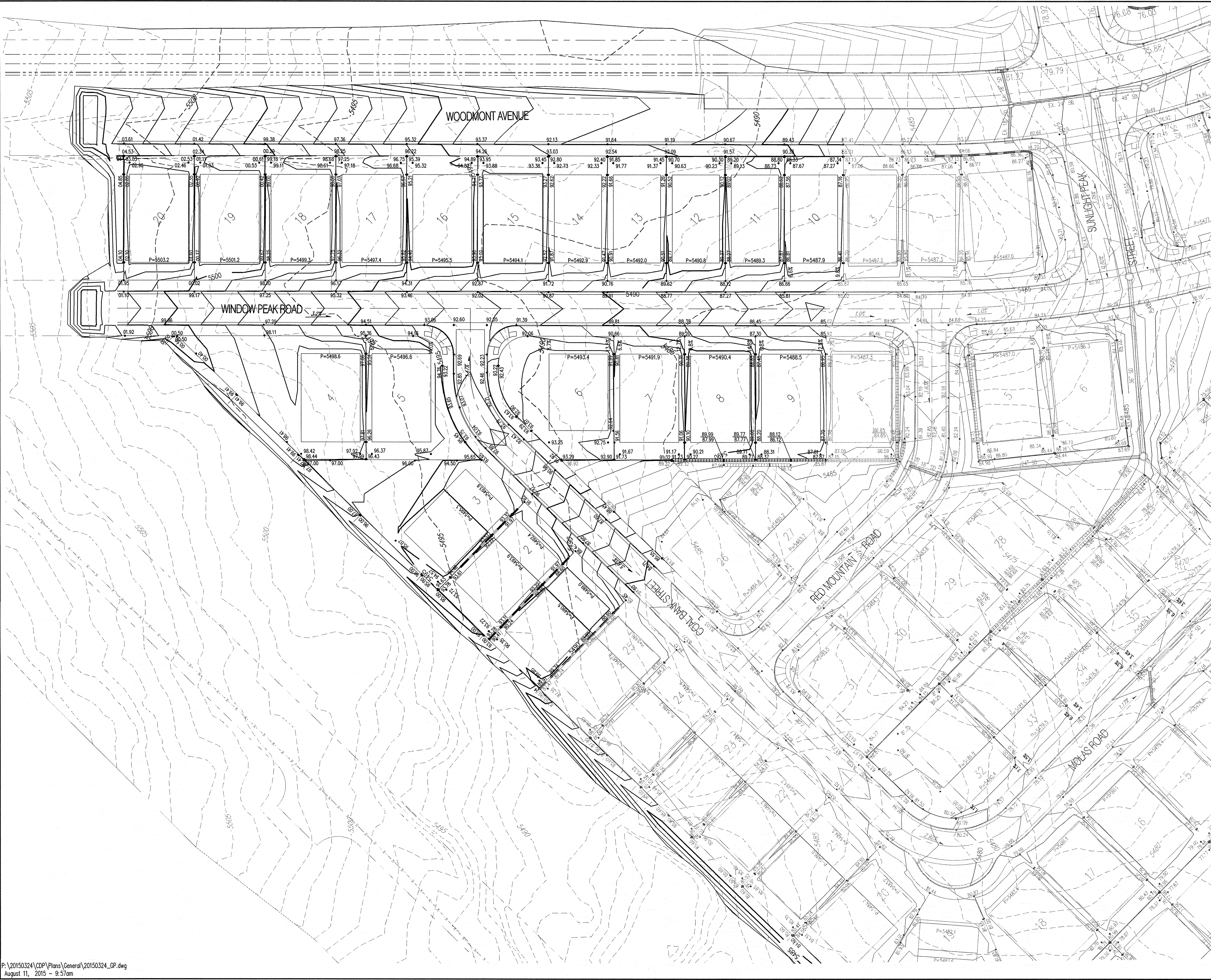
New Mexico 87103

Rita Harmon, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

[www.cabq.gov](http://www.cabq.gov)

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		<b>CITY OF ALBUQUERQUE</b>	
		<b>PUBLIC WORKS DEPARTMENT</b>	
<b>DURANGO</b>			
<b>UNIT 4</b>			
<b>GRADING AND DRAINAGE PLAN</b>			
Design Review Committee	City Engineer Approval	Last Design Update	
		Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	XXXXXX	Zone Map No.	C-09-Z
		Sheet	3 Of 5

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	DATE	NAD83 1988 ELEVATION = 5524.950	DATE								