

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

May 14 2021

Josh Lutz, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

RE: Durango Unit 5
Request for Partial Pad Certification Lots 1-19 - Approved
Grading Plan Stamp Date: 3/7/19
Certification Dated: 5/3/21
Drainage File: C09D012

Dear Mr. Lutz:

PO Box 1293

Based on the submittal received on 5/4/21, this certification is approved for Building Permit for the lots listed above.

Albuquerque

Please note, Certificate of Occupancy will be held until Infrastructure improvements are complete.

NM 87103

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Hydrology
Planning Department
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Durango Unit 5 **Building Permit #:** _____ **Hydrology File #:** C09D012
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract H, Durango Unit 1 7 Tract A of Durango Unit 5
City Address: _____

Applicant: Bohannon Huston Inc. **Contact:** Josh Lutz
Address: 7500 Jefferson St NE CY2 Albuquerque, NM, 87109
Phone#: 505-798-7945 **Fax#:** _____ **E-mail:** jltutz@bhinc.com
Owner: PV Trails Albuquerque LCC **Contact:** Scott Steffen
Address: 4350 La Jolla Village Dr, Suite 110 San Diego CA 92122
Phone#: 505 243-3949 **Fax#:** _____ **E-mail:** ssteffen@pricedg.com

TYPE OF SUBMITTAL: ☒ PLAT (¹⁹# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE MASTER PLAN
_____ DRAINAGE REPORT
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 05-03-2021 **By:** Josh Lutz, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

May 03, 2021

Mr. Ernest Armijo, P.E.
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification Durango Unit 5 Subdivision; DRB Case No.
PR- 2018-001996; Hydrology File C09D012

Dear Ernest,

We are submitting a partial grading and drainage certification for Durango Unit 5 Subdivision. The partial certification includes Lots 1-19. Enclosed for your review is the approved grading and drainage plan dated 03/07/19. These lots have been graded; retaining walls and curb and gutter have been constructed.

After reviewing these as-built elevations and visiting the site on 05-03-2021 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Josh Lutz, P.E.
Project Engineer
Community Development & Planning

Enclosure

cc: Scott Steffen, PLDG

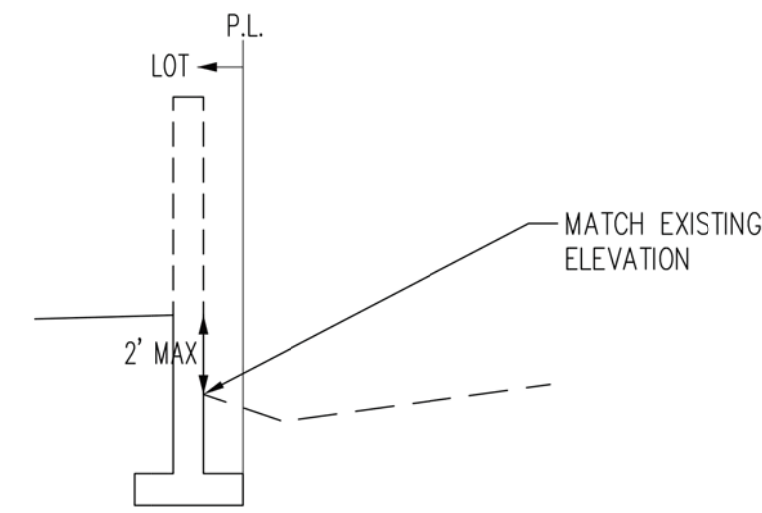
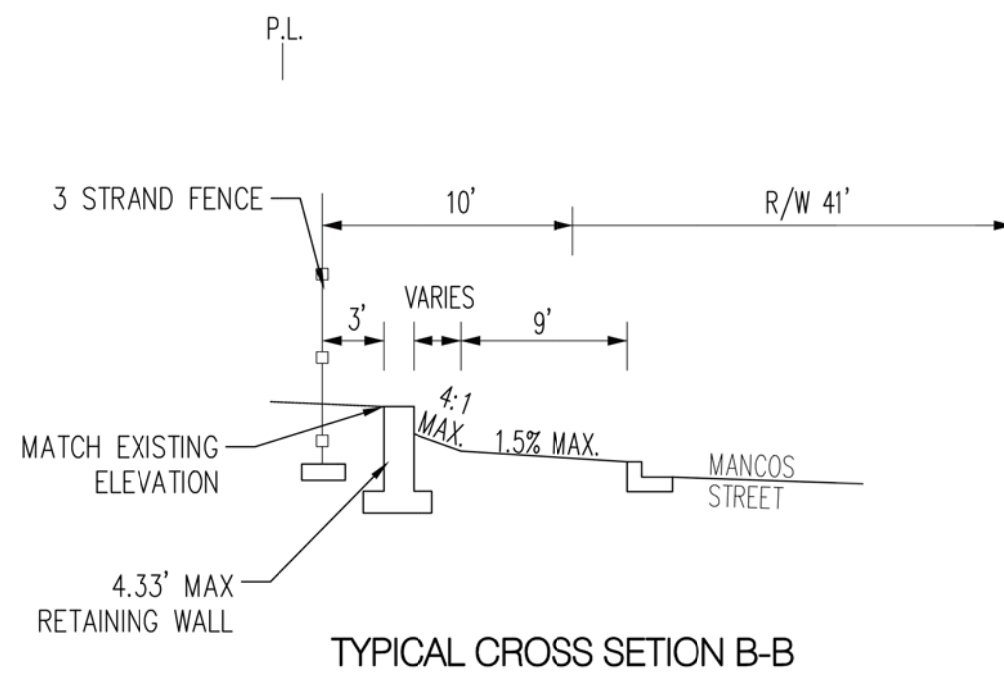
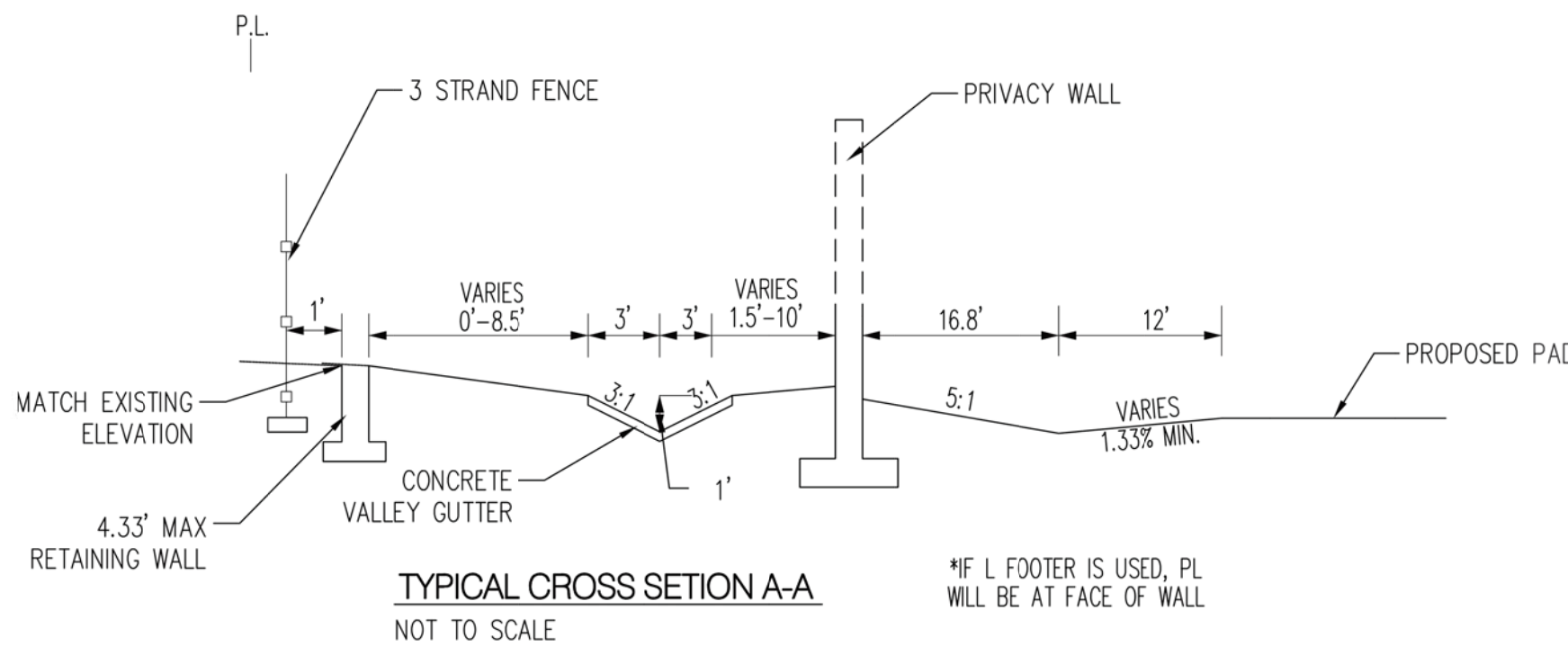
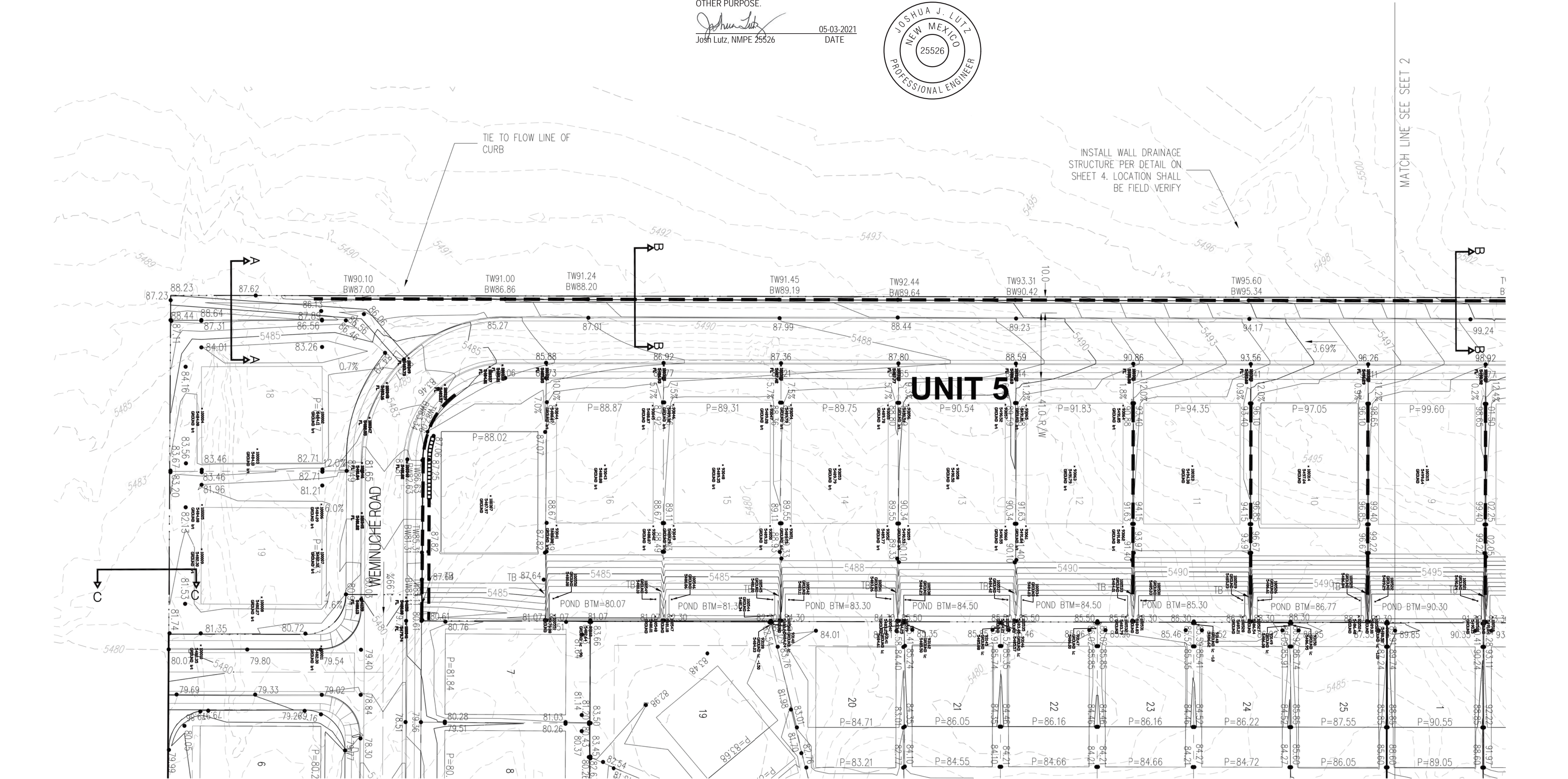
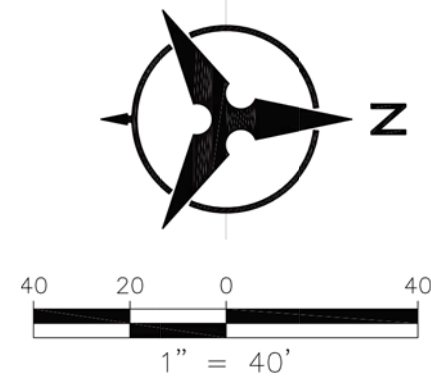
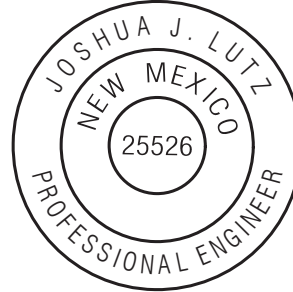
GRADING AND DRAINAGE CERTIFICATION

I, JOSHUA J. LUTZ, NMPE 25526, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOTS 1-19 at DURANGO UNIT 5 SUBDIVISION, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 03/07/2019. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 05/03/2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.


THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Joshua J. Lutz
Josh Lutz, NMPE 25526

05-03-2021
DATE



- LEGEND**
- PROPOSED SPOT ELEVATION: 5235.25
 - EXISTING SPOT ELEVATION: EX 5235.25
 - PROPOSED CONTOUR: 5025
 - EXISTING STORM DRAIN LINE: ---
 - PROPOSED STORM DRAIN INLET: [Symbol]
 - PROPOSED STORM DRAIN LINE: [Symbol]
 - PROPOSED STORM DRAIN MANHOLE: [Symbol]
 - PROPOSED WATER BLOCK: [Symbol]
 - RETAINING WALL: [Symbol]
 - PAD: [Symbol]
 - TURNED BLOCK: [Symbol]
 - STREET SLOPE: [Symbol]
 - PHASE BOUNDARY: [Symbol]

ENGINEER'S SEAL				SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION		
				FIELD NOTES		ACS MONUMENT STAMPED "UNION"		CONTRACTOR DRAWN BY DATE		
				NO.	BY					DATE
										DATE
										DATE
						N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		INSPECTOR'S ACCEPTANCE BY DATE		
						N = 1,523,503.475 E = 1,493,655.030		FIELD VERIFICATION BY DATE		
						GROUND-TO-GRID FACTOR = 0.999664360		MICROFILM INFORMATION		
						$\Delta\alpha = -00^{\circ}16'58.96''$		RECORDED BY DATE		
						NAVD 1988 ELEVATION = 5524.950		NO.		

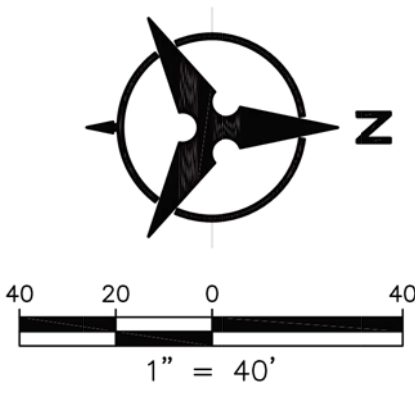
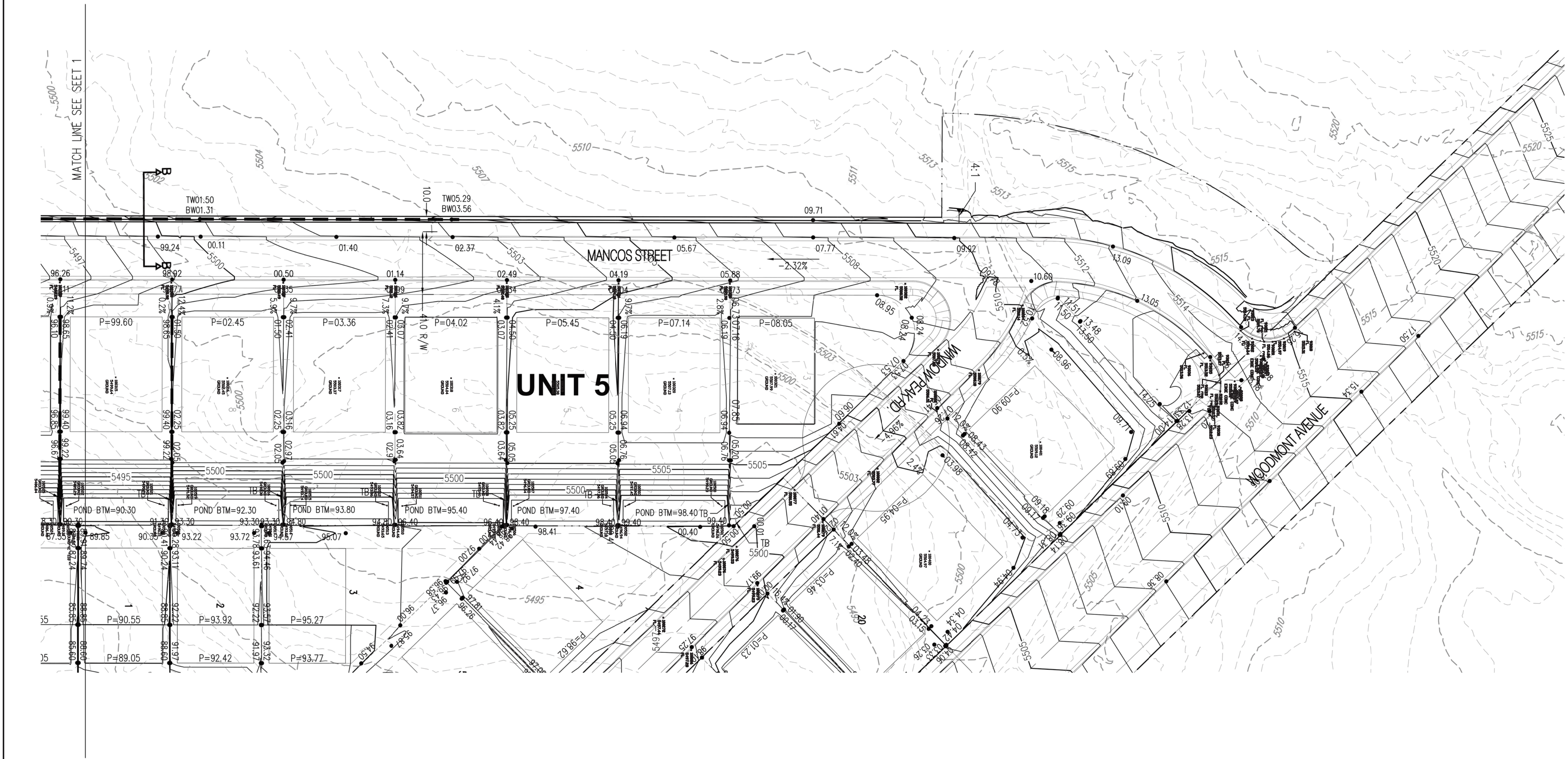
Bohannan Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

DURANGO
UNIT 5
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-09-Z	1	4

FOR INFORMATION ONLY SHEET 4A



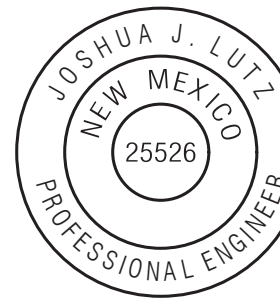
- LEGEND**
- PROPOSED SPOT ELEVATION: 5235.25
 - EXISTING SPOT ELEVATION: EX 5235.25
 - PROPOSED CONTOUR: 5025
 - EXISTING STORM DRAIN LINE: ---
 - PROPOSED STORM DRAIN INLET: [Symbol]
 - PROPOSED STORM DRAIN LINE: [Symbol]
 - PROPOSED STORM DRAIN MANHOLE: [Symbol]
 - PROPOSED WATER BLOCK: [Symbol]
 - RETAINING WALL: [Symbol]
 - PAD: [Symbol]
 - TURNED BLOCK: [Symbol]
 - STREET SLOPE: XX'
 - PHASE BOUNDARY: [Symbol]

GRADING AND DRAINAGE CERTIFICATION

I, JOSHUA J. LUTZ, NMPE 25526, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOTS Partial Lots 1-19 at DURANGO UNIT 5 SUBDIVISION, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 03/07/2019, THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 05/03/2021 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Joshua J. Lutz
Josh Lutz, NMPE 25526
05-03-2021
DATE



Bohannon & Huston
www.bhinc.com 800.877.5332

		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
DURANGO UNIT 5 GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-09-Z	2	4