

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

January 10, 2020

Yolanda Padilla Moyer, PE
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: **Durango Subdivision, Units 3 - 5**
Tr H, Durango Unit 1 & Tr A Durango Unit 3A
Drainage Report Stamp Date: 3/5/15
Unit 3 Grading Plan Stamp Date: 8/12/15 (previously approved for Plat, 8/18/15),
including Revision 1 (12/2019)
Unit 3A Grading Plan Stamp Date: 3/7/19
Unit 4 Grading Plan Stamp Date: 8/12/15 (previously approved for Grading & Plat,
8/18/15)
Unit 5 Grading Plan Stamp Date: 3/7/19
Hydrology File: C09D012

PO Box 1293

Albuquerque

Dear Ms. Padilla Moyer,

Based on the submittal received on 1/8/20 the above-referenced Grading Plans are approved for Preliminary Plat, Grading Permit, and Work Order.

NM 87103

www.cabq.gov

1. For Information. On the Preliminary Plat, add the Tract C swale (privately maintained) to the Infrastructure List, provide a private drainage easement for it (and the retaining wall/drainage rundown), and add the [Plat Drainage Easement Note](#). This note replaces the need for a separate drainage covenant. On the Work Order plans, additional details will be needed for the swale: how will it transition to the flowline in Mancos? A channel detail will be needed, showing concrete thickness, reinforcement subgrade compaction, etc...

Prior to Release of Financial Guarantee (For Information):

2. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.
3. Prior to Unit 5 ROFG, The backyard ponds for Lots 4-16, Unit 5 need a [Drainage Covenant \(No Public Easement\)](#) to ensure these ponds don't become a hazard for the homeowners in Unit 3. A recorded document will be needed at ROFG, the exhibits will need to be legible on letter size paper, don't simply use the full size grading plan.
4. Prior to Unit 3/3A ROFG, a temporary drainage easement on the temporary ponds will be needed, unless the upstream road portions have been built.

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in dark ink, appearing to read 'D. Peterson', is positioned above the printed name.

Dana M. Peterson
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

January 8, 2020

7500 Jefferson Street NE
Albuquerque, NM 87109

www.bhinc.com

p. 505.823.1000

**RE: Durango Subdivision, Units 3 and 4
Tr 6, The Trails Unit 3A
Drainage Report Stamp Date: 03/08/19
Grading Plan Stamp Date 08/12/15 &
Hydrology File: C09D011**

To Ernest Armijo, P.E.:

Enclosed is a copy of the revised Grading Plan for the above-mentioned project. It was previously approved on August 12, 2018

For Unit 3 grading plan, lots 1 and 15, previously 11 and 10 respectively, have been added to Unit 3 from Unit 2 as reflected in the approved preliminary plat. The lot numbers have also been updated to reflect the preliminary plat.

Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,



Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development and Planning

YPM/cc

Enclosures

cc: Scott J. Steffen, PLDG

Engineering 

Spatial Data 

Advanced Technologies 



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Owner: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF SUBMITTAL: _____ PLAT (2 # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

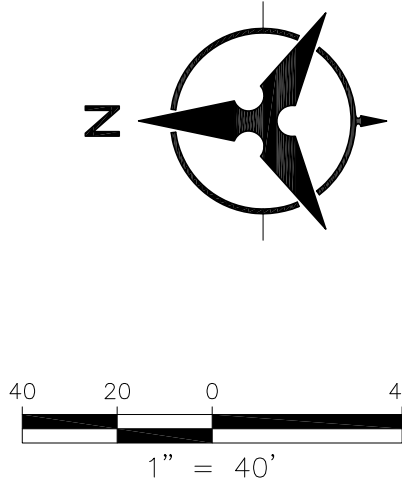
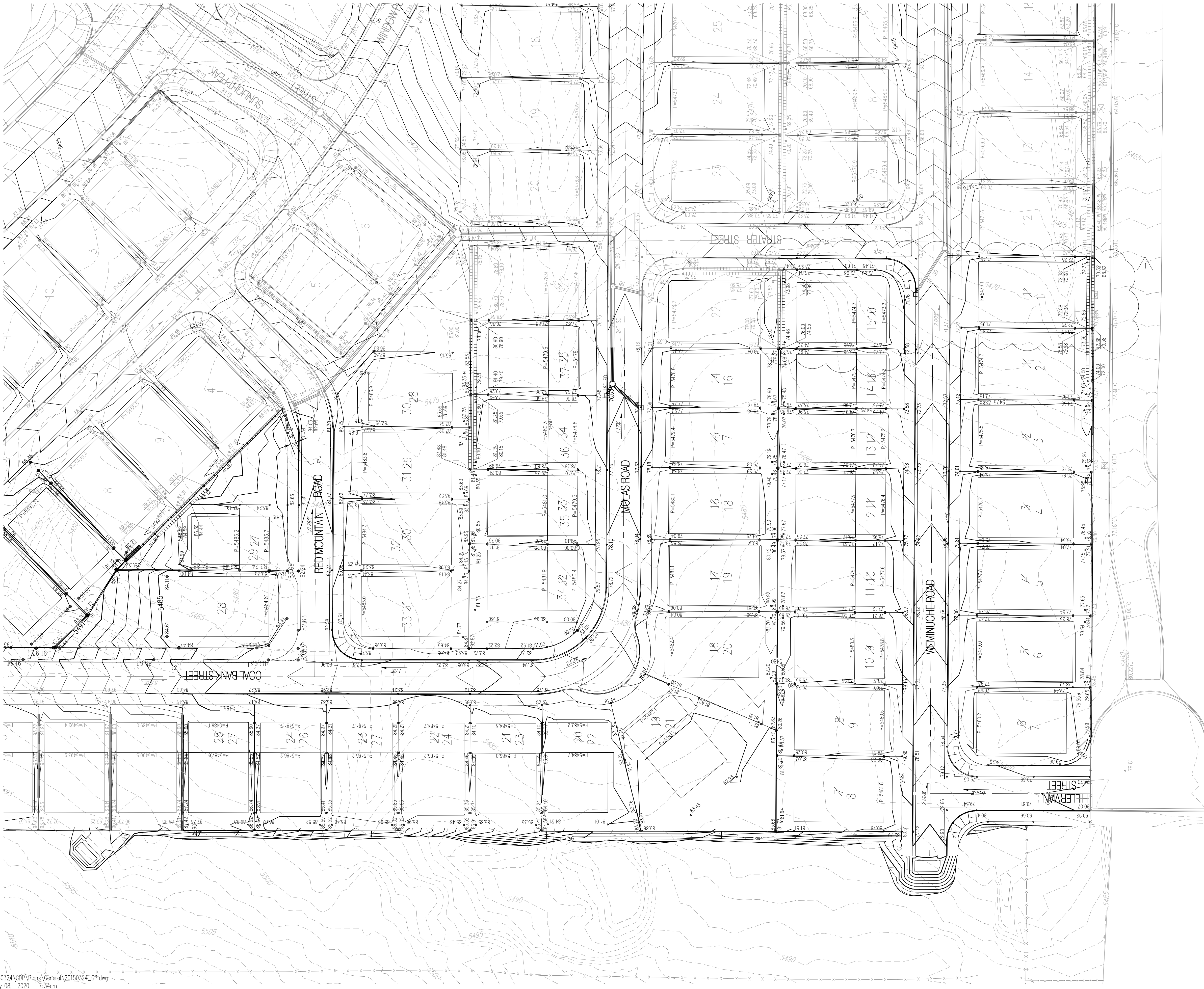
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



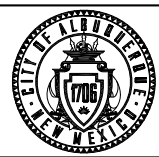
GENERAL NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
8. ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH 4"-6" COBBLE OVER NON-WOVEN GEOTEXTILE FABRIC, CLASS I.

LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- PROPOSED MOUNTABLE CURB & GUTTER
- PROPOSED STANDARD CURB & GUTTER
- EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET

Bohannon & Huston
www.bhinc.com 800.877.5332



CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

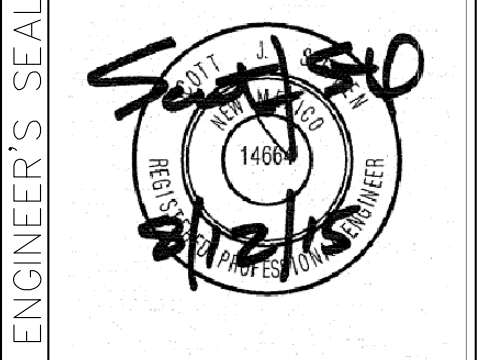
DURANGO
UNIT 3
GRADING AND DRAINAGE PLAN

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	XXXXXX	Zone Map No.	C-09-Z	Sheet 4 Of 5

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WFO BY	DATE
INSPECTORS	DATE
ACCEPTANCE BY	DATE
VERIFICATION BY	DATE
DRAWINGS BY	DATE
MICROFILM INFORMATION	
GROUND-TO-GRID FACTOR = 0.999664360	RECORDED BY
$\Delta\alpha = -00'16''58.96''$	DATE
NAVD 1988 ELEVATION = 5524.950	NO.

BENCH MARKS	
ACS MONUMENT STAMPED "UNION"	DATE
GEOGRAPHIC POSITION (NAD 83)	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE
N = 1,523,503.475 E = 1,493,655.030	DATE
GROUND-TO-GRID FACTOR = 0.999664360	DATE
$\Delta\alpha = -00'16''58.96''$	DATE
NAVD 1988 ELEVATION = 5524.950	DATE

SURVEY INFORMATION	
FIELD NOTES	DATE
NO.	BY



ENGINEER'S SEAL	
12/19	GRADING REVISIONS ADDED LOTS 1 & 15, UPDATED LOT #5
No.	Date
REVISIONS	By
DESIGN	JL
Designed By: SJS	DATE: 03/2015
Drawn By: DTH	DATE: 03/2015
Checked By: SJS	DATE: 03/2015

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

March 18, 2019

Yolanda Padilla Moyer, PE
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: **Durango Subdivision, Units 3 - 5**
Tr H, Durango Unit 1 & Tr A Durango Unit 3A
Drainage Report Stamp Date: 3/5/15
Unit 3 Grading Plan Stamp Date: 8/12/15 (previously approved for Plat, 8/18/15)
Unit 3A Grading Plan Stamp Date: 3/7/19
Unit 4 Grading Plan Stamp Date: 8/12/15 (previously approved for Grading & Plat, 8/18/15)
Unit 5 Grading Plan Stamp Date: 3/7/19
Hydrology File: C09D012

PO Box 1293

Dear Ms. Padilla Moyer,

Albuquerque

Based on the submittal received on 3/12/19 the above-referenced Grading Plans are approved for Preliminary Plat, Grading Permit, and Work Order.

NM 87103

1. For Information. On the Preliminary Plat, add the Tract C swale (privately maintained) to the Infrastructure List, provide a private drainage easement for it (and the retaining wall/drainage rundown), and add the [Plat Drainage Easement Note](#). This note replaces the need for a separate drainage covenant. On the Work Order plans, additional details will be needed for the swale: how will it transition to the flowline in Mancos? A channel detail will be needed, showing concrete thickness, reinforcement subgrade compaction, etc...

www.cabq.gov

Prior to Release of Financial Guarantee (For Information):

2. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Subdivision* is required.
3. Prior to Unit 5 ROFG, The backyard ponds for Lots 4-16, Unit 5 need a [Drainage Covenant \(No Public Easement\)](#) to ensure these ponds don't become a hazard for the homeowners in Unit 3. A recorded document will be needed at ROFG, the exhibits will need to be legible on letter size paper, don't simply use the full size grading plan.
4. Prior to Unit 3/3A ROFG, a temporary drainage easement on the temporary ponds will be needed, unless the upstream road portions have been built.

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Sincerely,

A handwritten signature in black ink, appearing to read 'D. Peterson', is positioned above the printed name.

Dana M. Peterson
Senior Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Durango Units 3-5 **Building Permit #:** _____ **Hydrology File #:** C09D012
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract H, Durango Unit 1 & Tract A of Durango Unit 3A
City Address: _____

Applicant: Bohannon Huston Inc. **Contact:** Yolanda Moyer
Address: 7500 Jefferson St NE CY2 Albuquerque, NM, 87109
Phone#: 505-798-7945 **Fax#:** _____ **E-mail:** ypadilla@bhinc.com
Owner: PV Trails Albuquerque LCC **Contact:** Scott Steffen
Address: 4350 La Jolla Village Dr, Suite 110 San Diego CA 92122
Phone#: 505 243-3949 **Fax#:** _____ **E-mail:** ssteffen@pricedg.com

TYPE OF SUBMITTAL: ☒ PLAT (19 # OF LOTS) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes ☐ No

DEPARTMENT: ☐ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☒ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☒ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☒ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 03-08-19 **By:** Yolanda Padilla Moyer, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

March 7, 2019

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

Mr. Dana Peterson, P.E.
Senior Engineer
City of Albuquerque
Planning Department
600 2nd Street NW
Albuquerque, NM 87103

RE: Durango Subdivision, Units 3 - 5
Tr H, Durango Unit 1 & Tr A Durango Unit 3A
Drainage Report Stamp Date: 3/5/15
Unit 3 Grading Plan Stamp Date: 8/12/15 (previously approved for Plat, 8/18/15)
Unit 3A Grading Plan Stamp Date: 2/15/19
Unit 4 Grading Plan Stamp Date: 8/12/15 (previously approved for Grading & Plat, 8/18/15)
Unit 5 Grading Plan Stamp Date: 2/15/19
Hydrology File: C09D012

Dear Mr. Peterson,

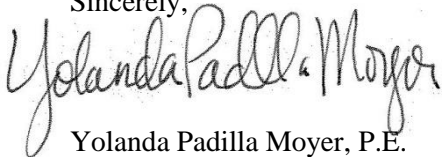
Enclosed are responses to the comments provided on February 27th, 2019. Responses are listed in red below.

1. Show the storm drain network on the Grading Plan (vicinity of Unit 3A, layer may be missing or turned off); delineate which portions have been constructed (any portion of the storm drain that hasn't been constructed and accepted will need to be added to the infrastructure list). **Storm drain network has been added to updated drawings.**
2. How will flows be directed from the west side of Coal Bank St to Red Mountain Rd (Unit 3A)? It appears that a valley gutter is needed here. (layer may be missing or turned off) **Layer has been turned to shown valley gutter**
3. Along all external boundaries, provide sections of the proposed retaining walls and show the property line, existing and proposed grades on the section views. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use. Ensure that the retaining walls (including footers) do not encroach on neighboring property or public ROW. Sections are missing behind lots 1-2 (backing up to Woodmont) and behind lots 18-19 (backing up to SLO land). If a revocable permit is pursued it should be discussed prior to Preliminary Plat, so it can be included as an infrastructure list item. **Sections have been added, and they illustrate that retaining wall footings will not encroach right-of-way.**

4. Tract C needs to be eliminated and made part of Lot18, with a public drainage easement placed over the drainage swale. The drainage swale needs to be concrete (Std Dwg 2260) and listed on the Infrastructure List, as it will be publicly maintained. This swale needs to be sized for the area draining to it, including sediment bulking and sediment transport capacity. Flow from the Open Space needs to be conveyed through the swale to Mancos; it cannot be diverted south the SLO tract and towards the APS school. How will flows be conveyed to Mancos across the sidewalk? Transportation has indicated that a dip section will be acceptable here. **Site plan will be amended to show Tract C. Concrete swale has been added and swale analysis provide. A basin map has been provided for supplemental information which illustrates the flowrate which the concrete valley gutter is sized for. A Bulking factor of 20% was used. Infrastructure plans will detail swale connection to roadway.**
5. Prior to Unit 5 ROFG, The backyard ponds for Lots 4-16, Unit 5 need a [Drainage Covenant \(No Public Easement\)](#) to ensure these ponds don't become a hazard for the homeowners in Unit 3. A recorded document will be needed at ROFG, provide a draft when resubmitting. **Noted**
6. This project requires an ESC Plan, submitted to the Storm Water Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420). **ESC plan will be submitted separately.**
7. For Information: Prior to Unit 3/3A ROFG, a temporary drainage easement on the temporary ponds will be needed, unless the upstream road portions have been built. **Noted**

Revised Grading Plans are enclosed. Please feel free to contact me at 823-1000 with questions or comments.

Sincerely,



Yolanda Padilla Moyer, P.E.
Senior Project Manager
Community Development and Planning

YPM/cc
Enclosures

cc: Scott J. Steffen, PLDG

Channel Report

Hydraflow Express Extension for Autodesk® AutoCAD® Civil 3D® by Autodesk, Inc.

Friday, Mar 8 2019

<Name>

Triangular

Side Slopes (z:1) = 3.00, 3.00
Total Depth (ft) = 1.00

Invert Elev (ft) = 1.00
Slope (%) = 0.80
N-Value = 0.013

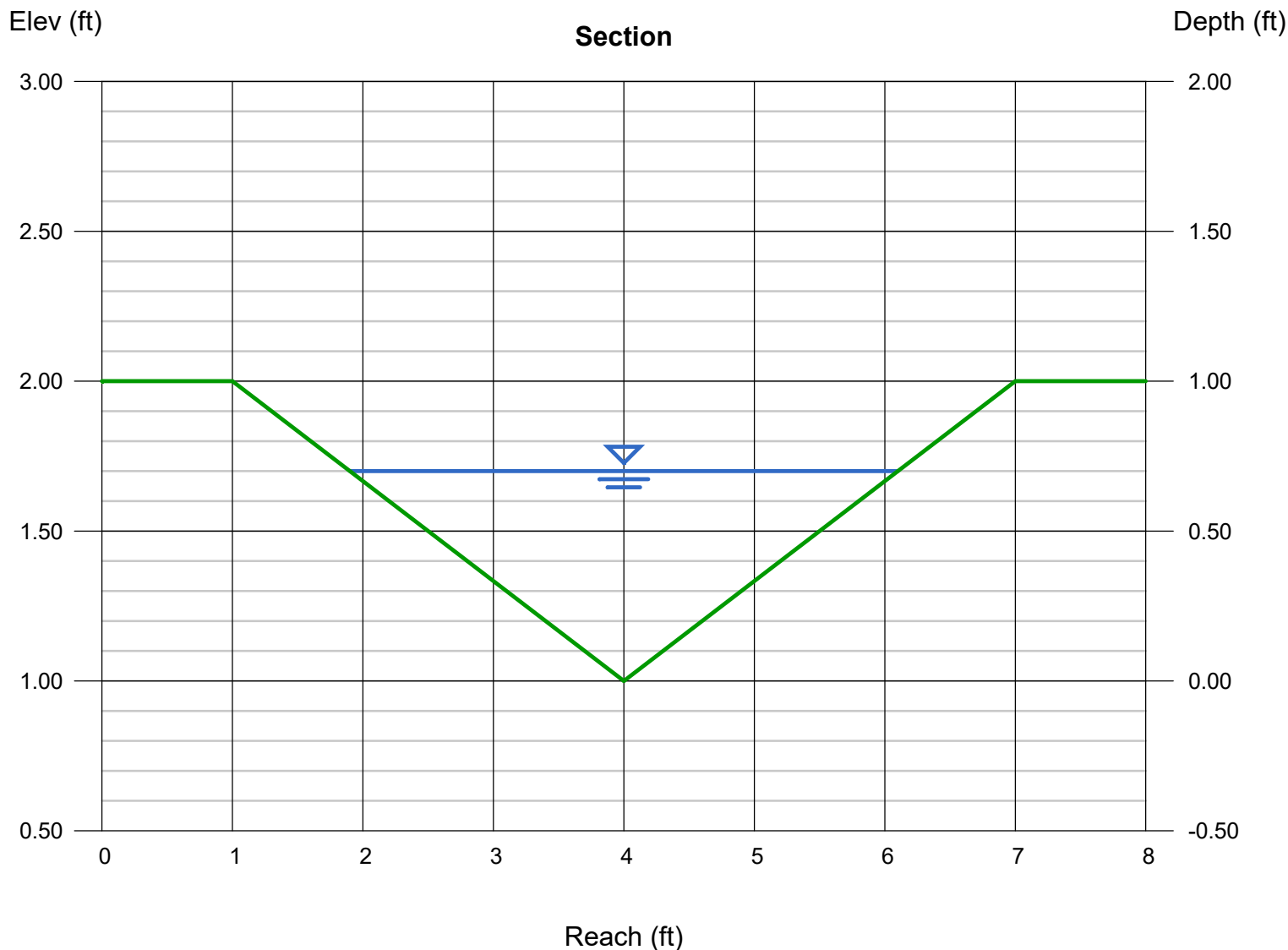
Calculations

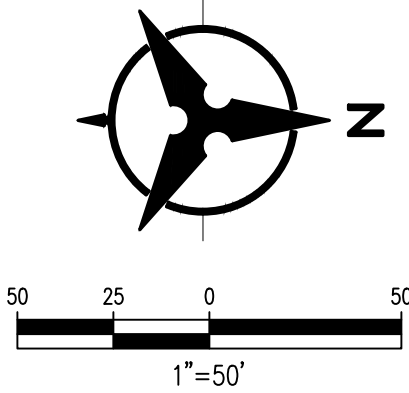
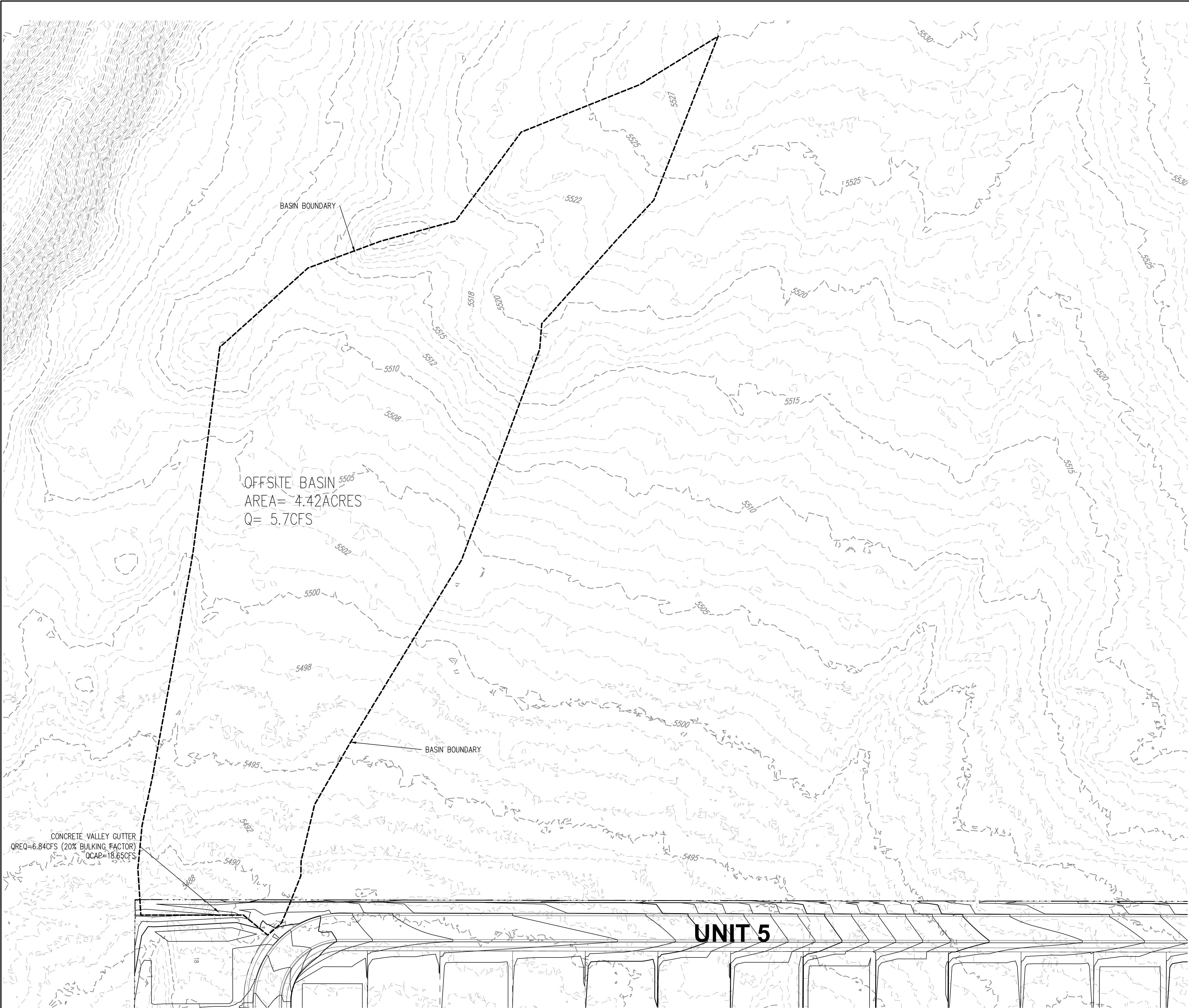
Compute by: Q vs Depth
No. Increments = 10

Highlighted

Depth (ft) = 0.70
Q (cfs) = 7.204
Area (sqft) = 1.47
Velocity (ft/s) = 4.90
Wetted Perim (ft) = 4.43
Crit Depth, Yc (ft) = 0.82
Top Width (ft) = 4.20
EGL (ft) = 1.07

Q REQUIRED AFTER 20%
BULKING FACTOR = 6.84
CFS



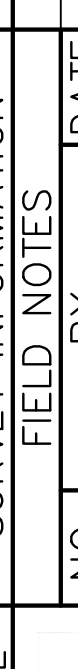


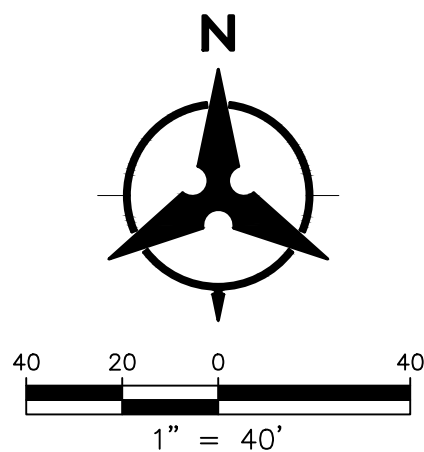
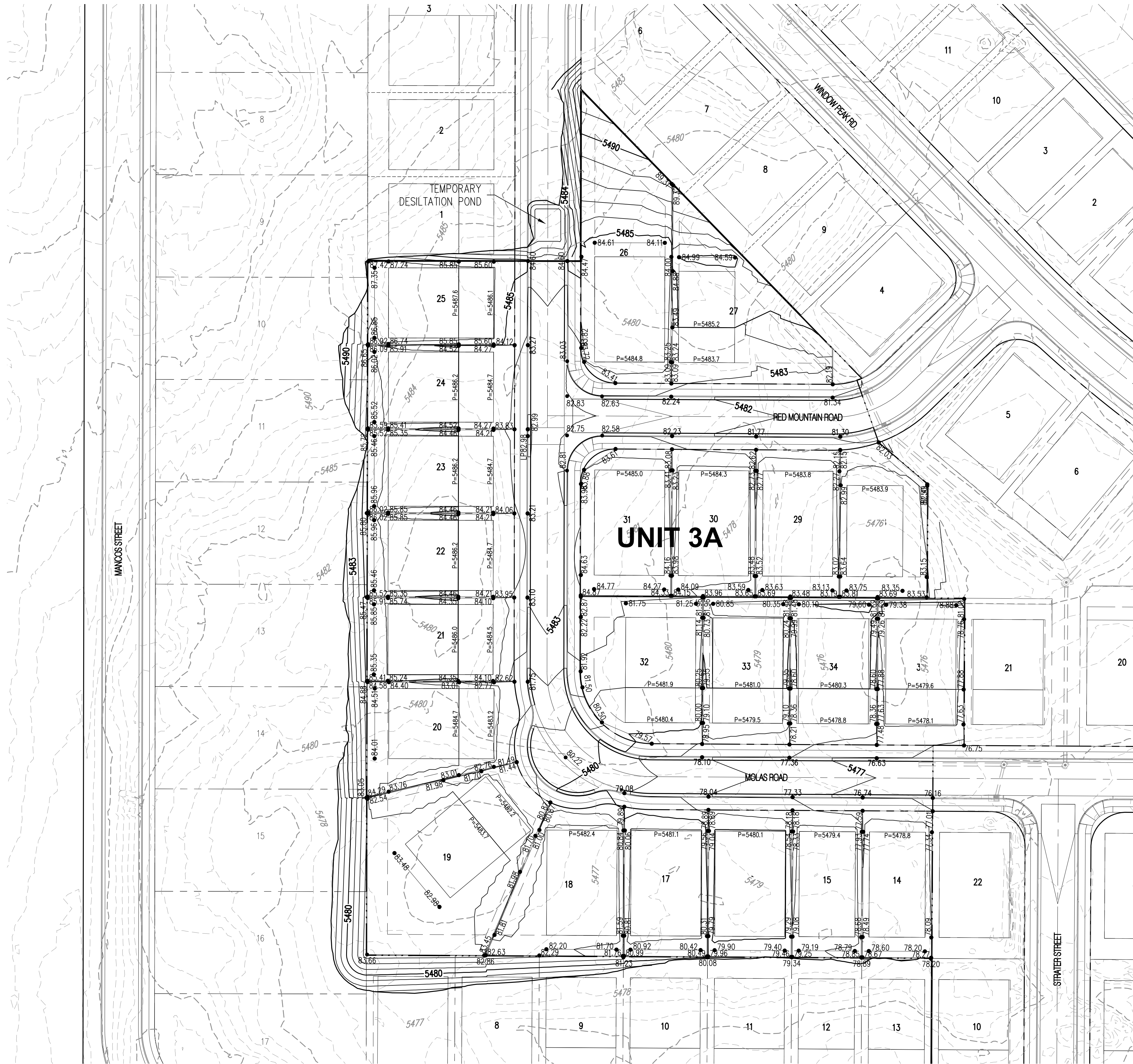
LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- PAD
- TURNED BLOCK
- STREET SLOPE
- PHASE BOUNDARY

Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT			
DURANGO UNIT 5 EXHIBIT			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-09-Z	1	1

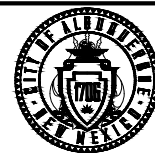
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION		
		FIELD NOTES						
		NO.	BY	DATE				
REVISIONS		By		ACS MONUMENT STAMPED "UNION"		CONTRACTOR		
No.	Date			GEOGRAPHIC POSITION (NAD 83)		WORKED BY		
				N.M. STATE PLANE COORDINATES (CENTRAL ZONE)		INSPECTOR'S		
				N = 1,523,503.475 E = 1,493,655.030		ACCEPTANCE BY		
				GROUND-TO-GRID FACTOR = 0.9996664360		VERIFICATION BY		
				$\Delta\alpha = -00^{\circ}16'58.96"$		DRAWINGS		
				NAVD 1988 ELEVATION = 5524.950		CHECKED BY		
						RECORDED BY		
						DATE		
						NO.		
Designed By: JL		DATE: 01/2019						
Drawn By: AR		DATE: 01/2019						
Checked By: JPM		DATE: 01/2019						



LEGEND

- PROPOSED SPOT ELEVATION • 5235.25
- EXISTING SPOT ELEVATION • EX 5235.25
- PROPOSED CONTOUR --- 5225 ---
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE ===
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK ~~~~~
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE XX'
- PHASE BOUNDARY - . - . - .

Bohannon & Huston
www.bhinc.com 800.877.5332



**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

**DURANGO
UNIT 3A
GRADING AND DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Just Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.		Zone Map No.	Sheet	Of
		C-09-Z	1	2

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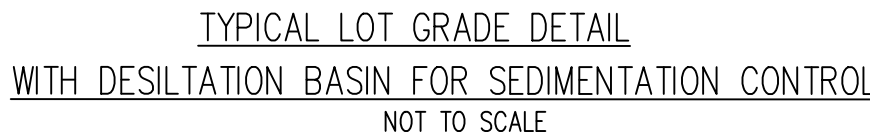
ALL SLOPES ON HOA TRACTS TO BE STABILIZED
BY NATIVE SEED AND MULCH PER STD SPEC 1012
WITH GRAVEL MULCH OR BETTER.



NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)
HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

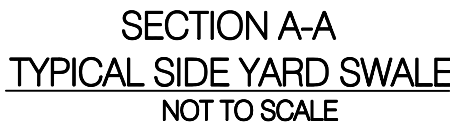


TO SET SPOT 2 - ADD 0.17' TO SPOT 1
TO SET SPOT 3 - MULTIPLY D1 BY 1.0% AND ADD TO SPOT 2
TO SET SPOT 4 - MULTIPLY D2 BY 1.0% AND ADD TO SPOT 3
TO SET SPOT 5 - ADD 0.2' TO SPOT 4

BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
SEE GRADING PLANS FOR EXACT ELEVATIONS.
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEO TECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

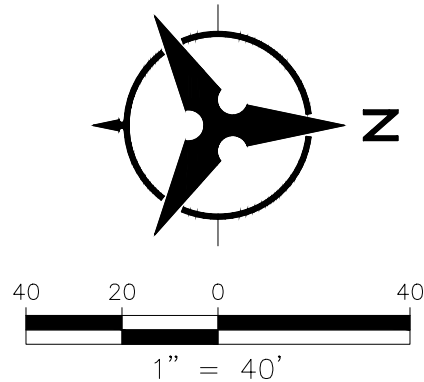
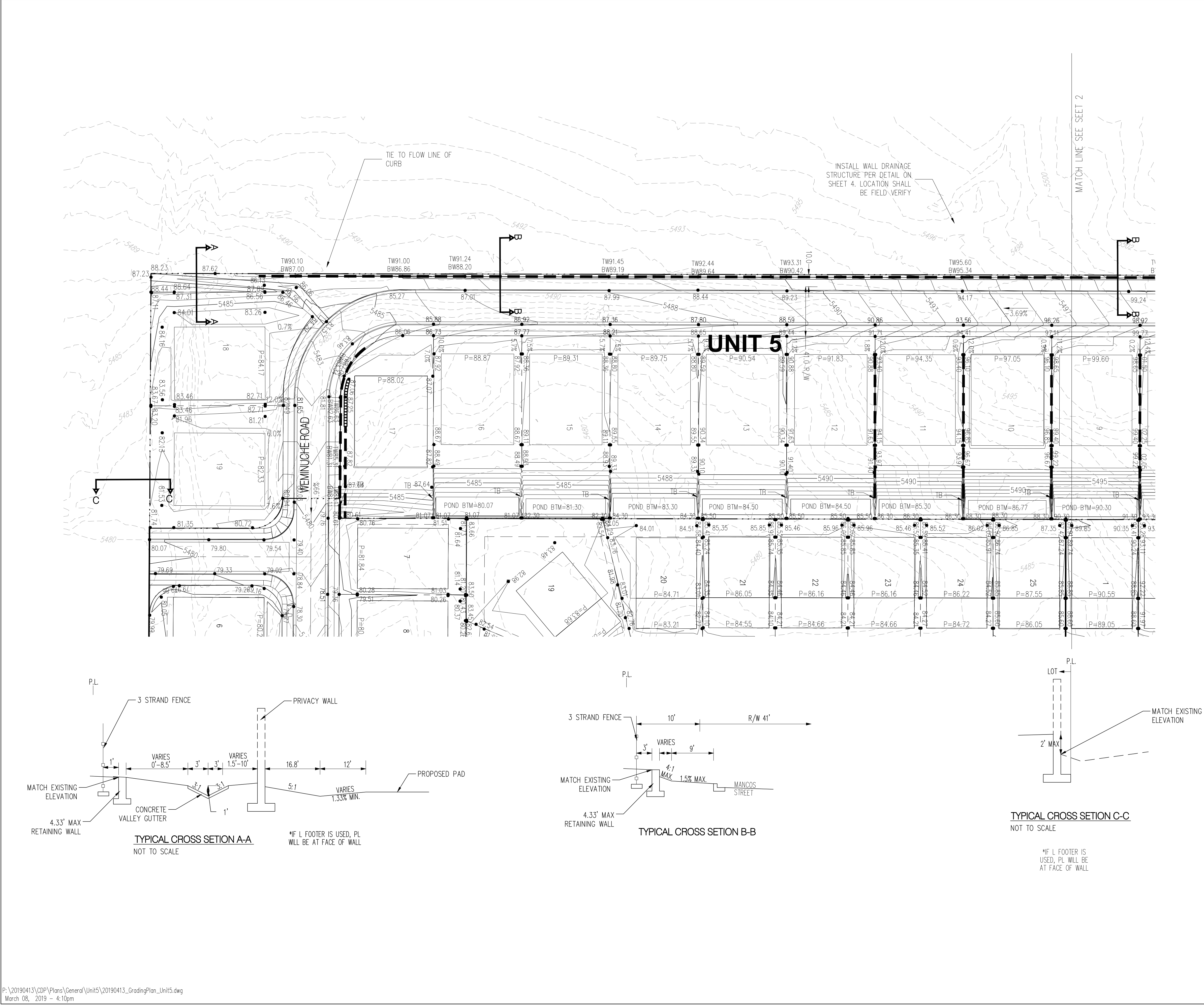
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.
5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
6. EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES MEETING THE SOIL TO PROTECT IT FROM WIND EROSION.
9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
10. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.1'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATIONS.
11. LOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
12. RETAINING WALLS ARE REQUIRED BETWEEN LOTS THAT HAVE PAD ELEVATIONS THAT ARE GREATER THAN 2" DIFFERENCE.



NOTE:

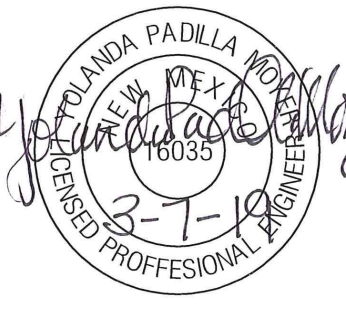
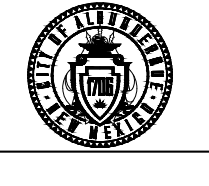
1. CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
2. FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
3. HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

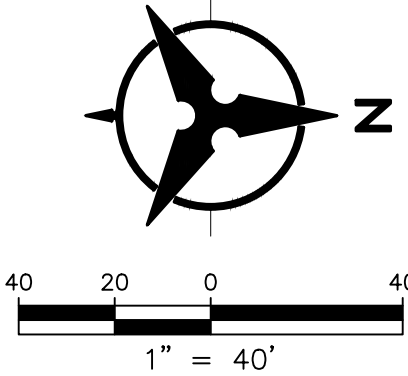
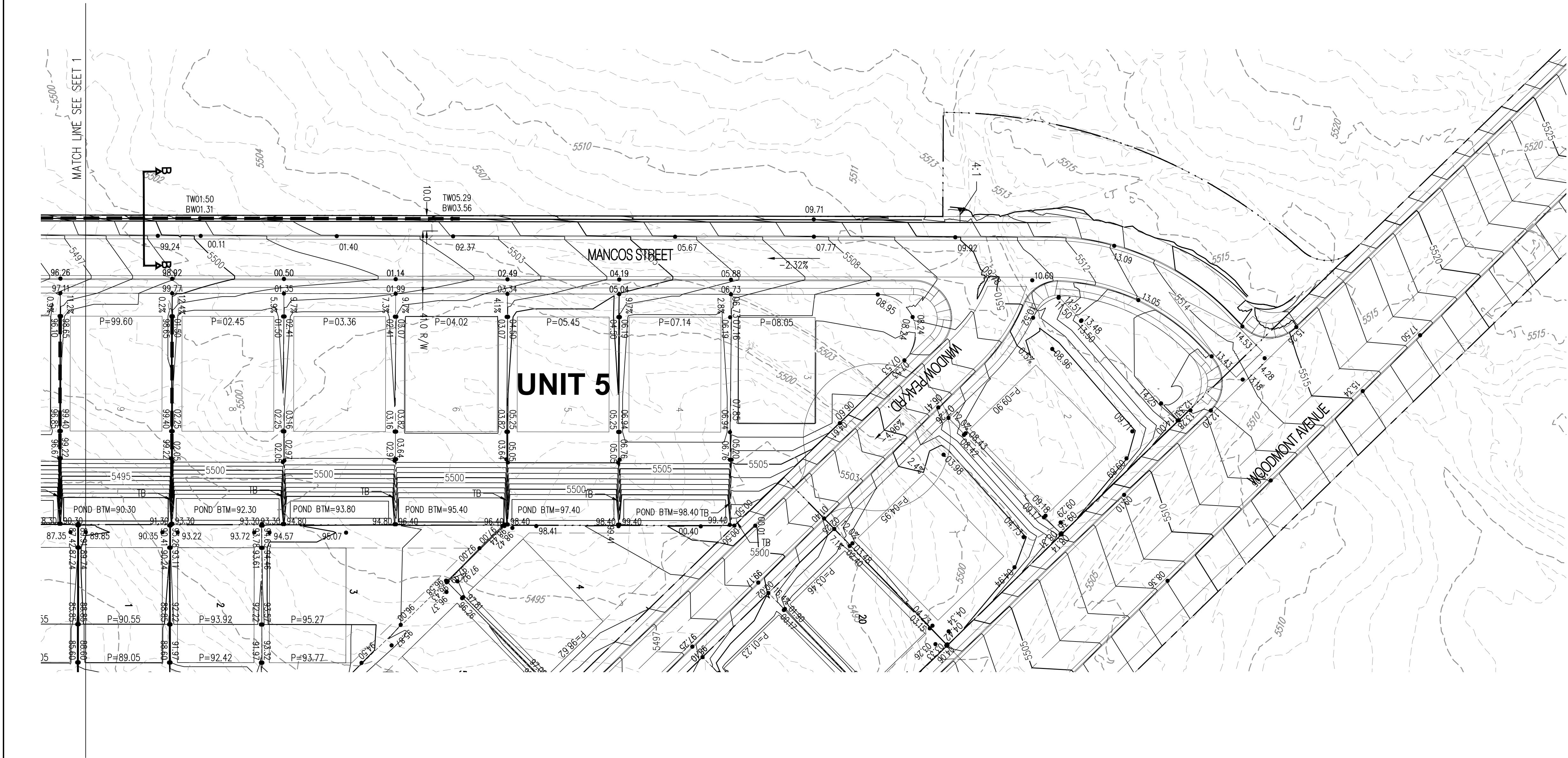
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LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED WATER BLOCK
- RETAINING WALL
- PAD
- TURNED BLOCK
- STREET SLOPE
- PHASE BOUNDARY

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN		CITY OF ALBUQUERQUE	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	DATE			No.	Date	By	DATE		
WORK BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE								01/2019		
INSPECTOR'S	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE								01/2019		
ACCEPTANCE BY	DATE	N = 1,523,503.475 E = 1,493,655.030	DATE								01/2019		
VERIFICATION BY	DATE	GROUND-TO-GRID FACTOR = 0.999664360	DATE			DESIGNED BY: JLM DRAWN BY: AR CHECKED BY: JPM		SHEET 1 OF 4		C-09-Z		CITY OF ALBUQUERQUE	
DRAWING NO.	DATE	NAVD 1988 ELEVATION = 5524.950	DATE										
MICROFILM INFORMATION	DATE												
	DATE												



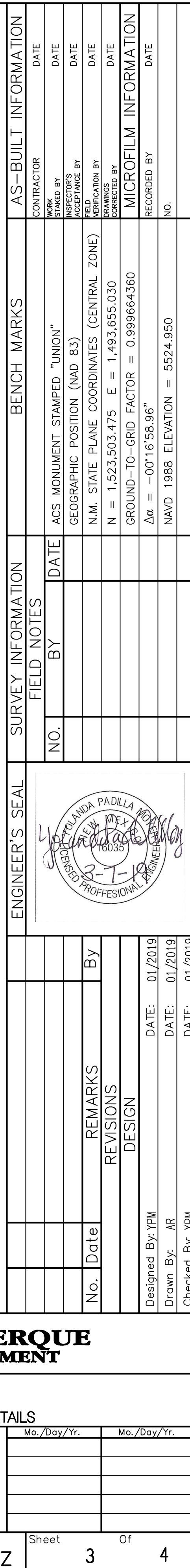
LEGEND

- PROPOSED SPOT ELEVATION
- EXISTING SPOT ELEVATION
- PROPOSED CONTOUR
- EXISTING STORM DRAIN LINE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT			
DURANGO			
UNIT 5			
GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-09-Z	2	4

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	BY			No.	Date	By	Date
WORK BY	DATE	GEOGRAPHIC POSITION (NAD 83)	DATE								
SUPERVISOR'S ACCEPTANCE BY	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE								
VERIFICATION BY	DATE	N = 1,523,503.475 E = 1,493,655.030	DATE								
DRAWINGS BY	DATE	GROUND-TO-GRID FACTOR = 0.999664360	DATE								
MICROFILM INFORMATION		Δx = -00'16"58.96"	DATE								
		NAVD 1988 ELEVATION = 5524.950	DATE								
			NO.								

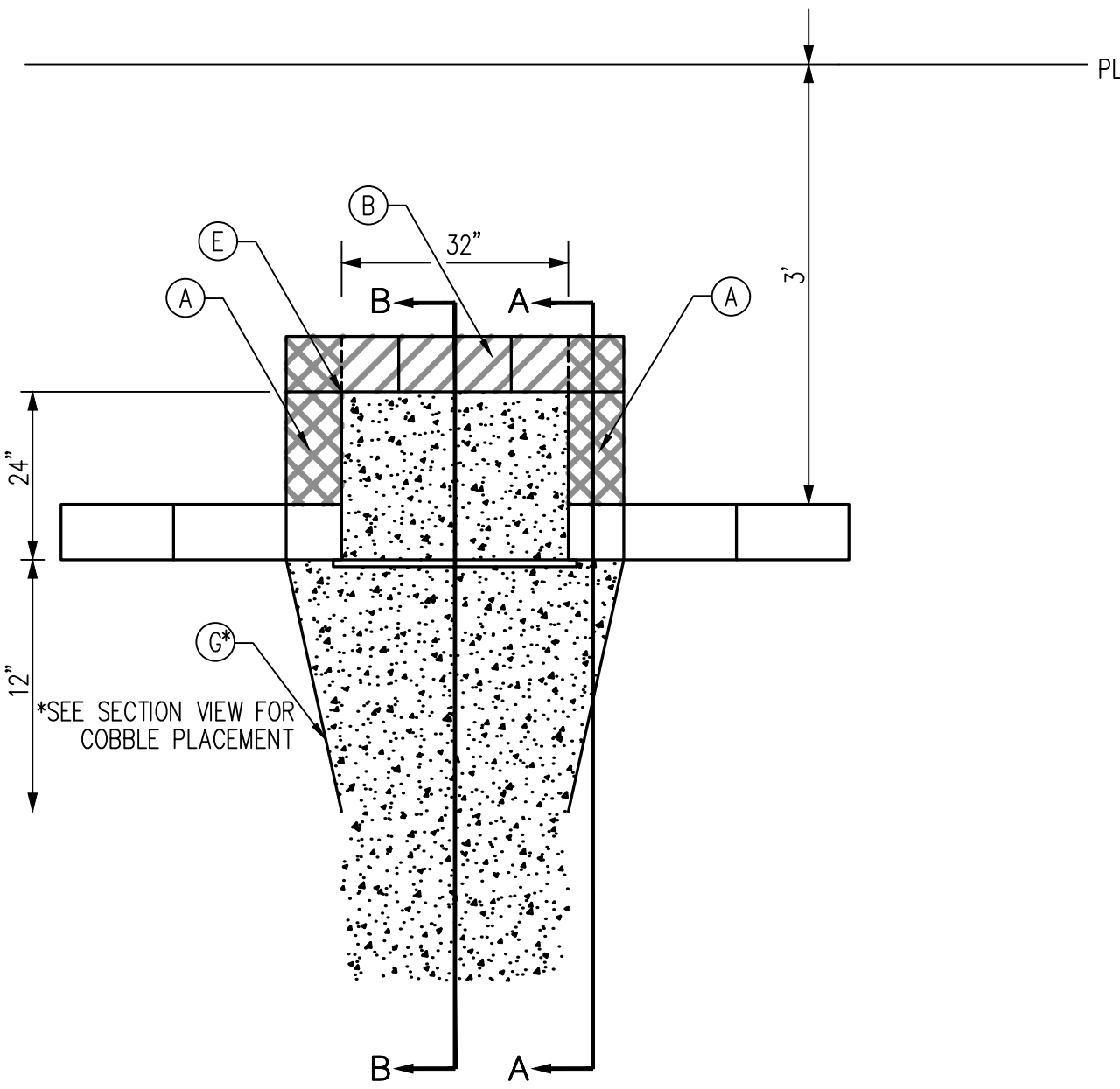


KEYED NOTES

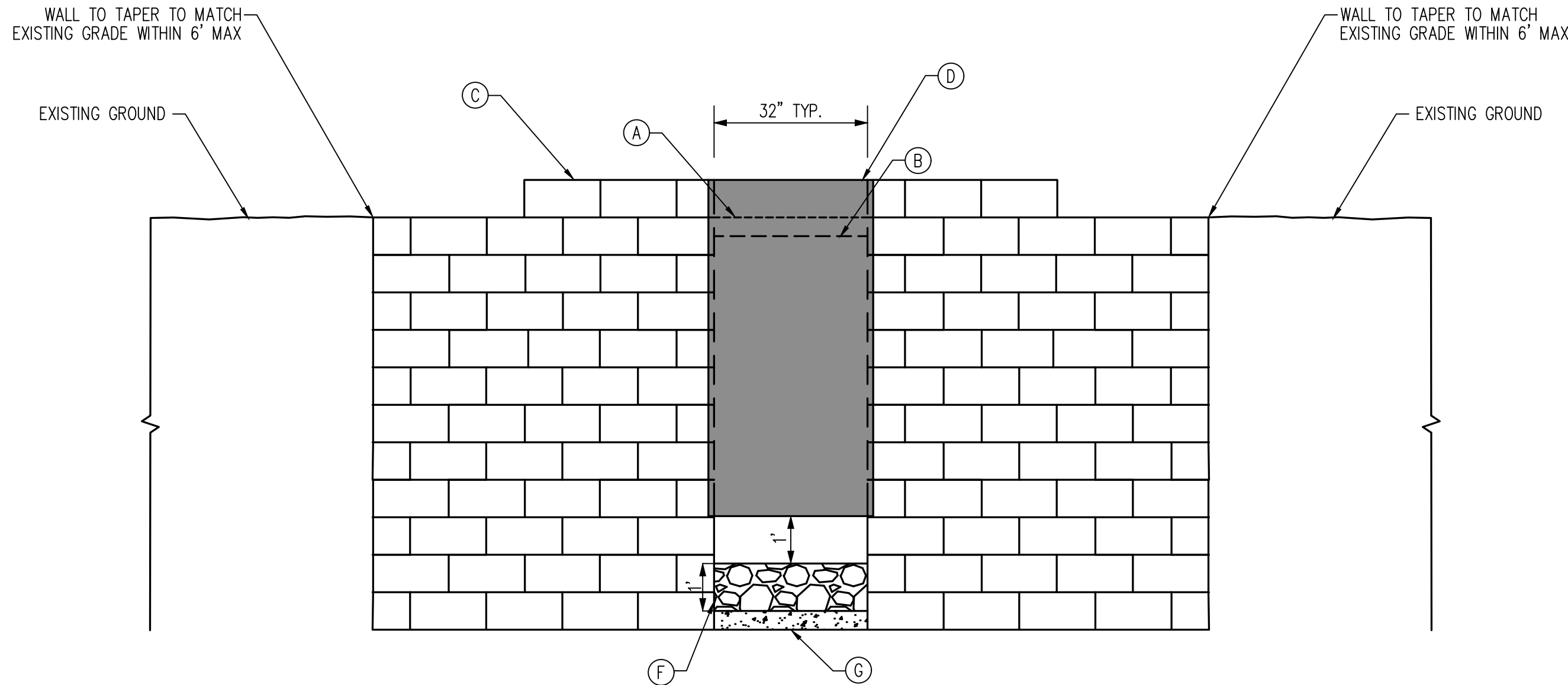
- (A) SIDE WALLS OF HORSESHOE NOTCH SHALL MATCH EXISTING GRADE AND SHALL BE ONE COURSE (8") LOWER THAN FACE OF WALL HEIGHT.
- (B) BACK WALL OF HORSESHOE NOTCH SHALL BE 1.5 COURSES (APPROX. 12") LOWER THAN FACE OF WALL HEIGHT.
- (C) FACE OF WALL ONE COURSE (8") HIGHER THAN EXISTING GROUND AT NOTCH.
- (D) METAL PLATE TO BE ATTACHED TO FACE OF WALL. TOP OF METAL PLATE TO MATCH TOP OF FACE OF WALL. TO BE INSTALLED BY OTHER.
- (E) PREVENTATIVE GRATING TO BE ANCHORED TO CORNERS OF WALL (3/4" STEEL BARS PLACED 4" O.C.)
- (F) 6" COBBLE (2 LIFTS, 12" TOTAL)
- (G) 3" CONCRETE SLAB, 4000 PSI
- (H) 6"x6" TRIANGULAR CONCRETE WEDGE

GENERAL NOTES

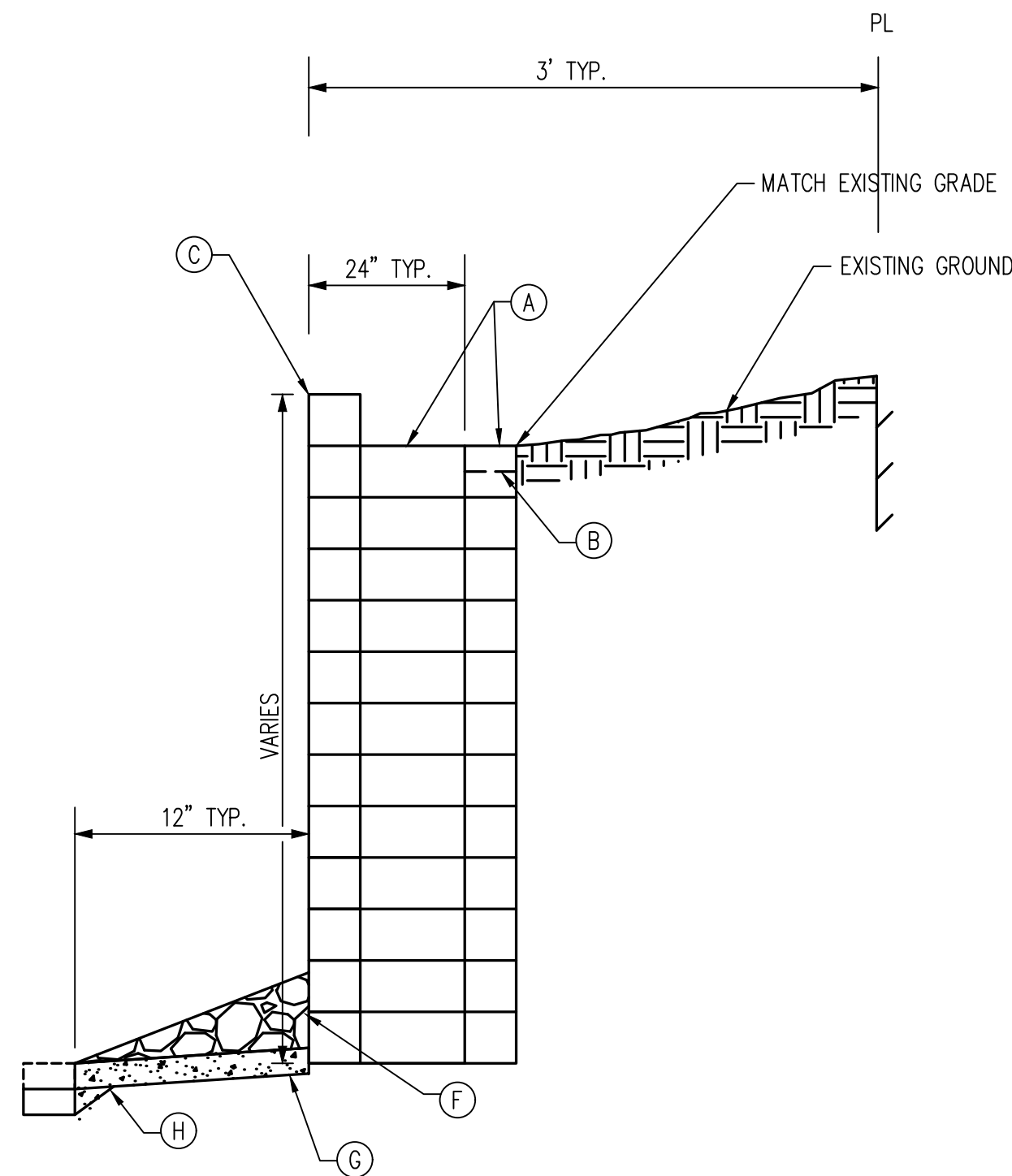
1. CONTRACTOR SHALL COORDINATE WITH ENGINEER AND OWNER PRIOR TO CONSTRUCTION.
2. NO DISTURBANCE IS ALLOWED ON THE MONUMENT, IF DAMAGE OCCURS TO NEIGHBOR'S PROPERTY THEN WRITTEN ACCEPTANCE OF THE REPAIRS WILL BE REQUIRED PRIOR TO ACCEPTANCE OF ENGINEER'S CERTIFICATION. CONTRACTOR MUST IMMEDIATELY STABILIZE THE SLOPE TO PREVENT EROSION FROM ENCROACHING INTO THE NEIGHBOR'S PROPERTY PER DETAILS THIS SHEET.



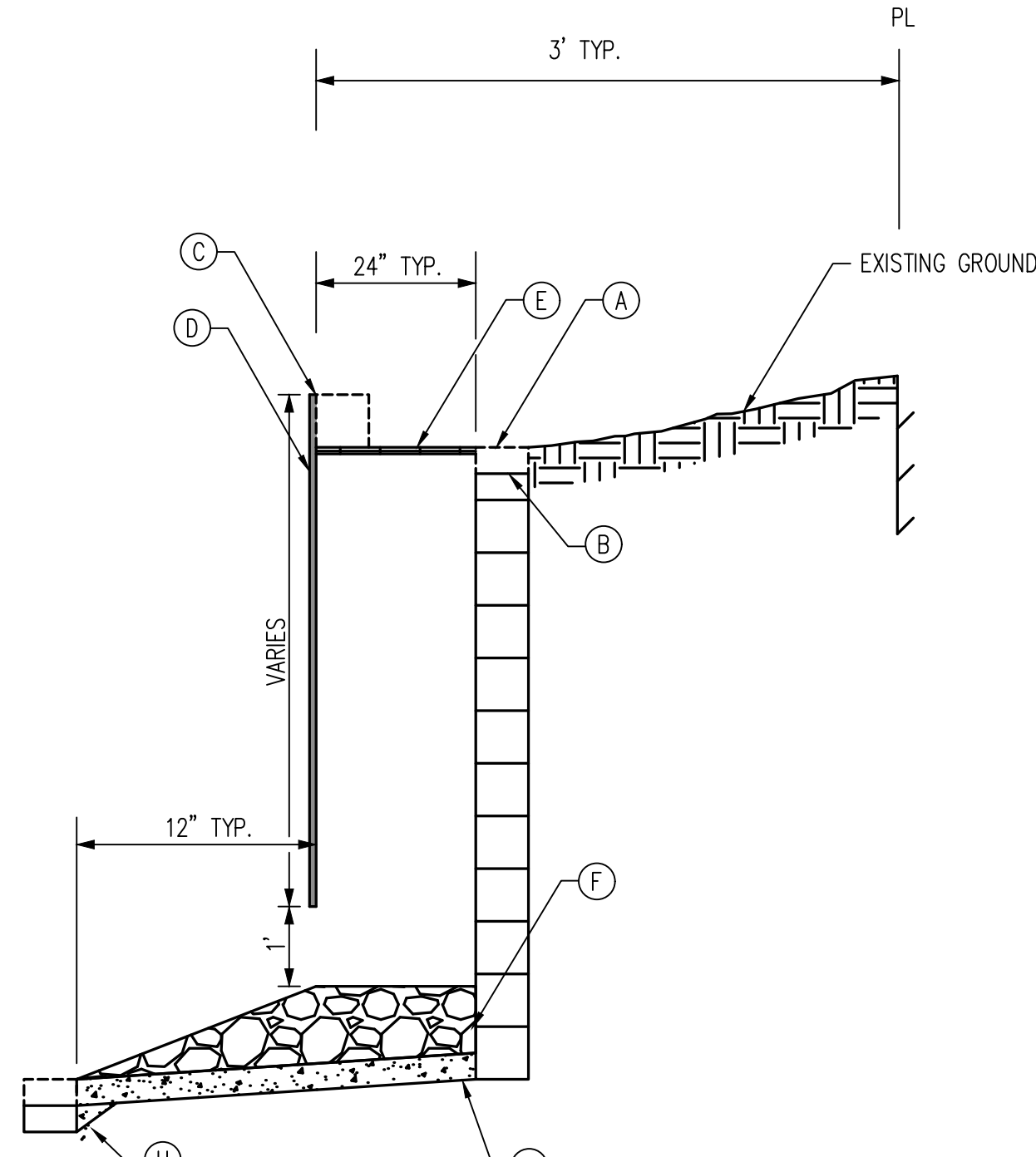
WEST DRAINAGE WALL PLAN DETAIL
NOT TO SCALE



WEST DRAINAGE WALL FRONT SECTION
NOT TO SCALE



WEST DRAINAGE WALL SECTION A-A
NOT TO SCALE



WEST DRAINAGE WALL SECTION B-B
NOT TO SCALE

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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

DURANGO

WALL DRAINAGE STRUCTURE DETAIL

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-09-Z	4	4

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN		DATE:	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"	DATE	NO.	BY			No.	Date	By	DATE:	DATE:	DATE:
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INSPECTOR'S	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE										
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VERIFICATION BY	DATE	GROUND-TO-GRID FACTOR = 0.999664360	DATE										
REVISIONS	DATE	Δx = -00'16"58.96"	DATE										
RECORDED BY	DATE	NAVD 1988 ELEVATION = 5524.950	DATE										
NO.													

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 18, 2015

Richard J. Berry, Mayor

Scott Steffen, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

RE: **Durango at the Trails (File: C09D012), Unit 3**
Grading and Drainage plan, Stamp Date 8-12-15 (Sheet 4)

Dear Mr. Steffen:

Based upon the information provided in your submittal received 8-13-15, the above referenced submittal is approved for DRB action on the Preliminary Plat and Site Plan for Subdivision *for Unit 3*. Prior to approval for Grading Permit the following comment must be addressed.

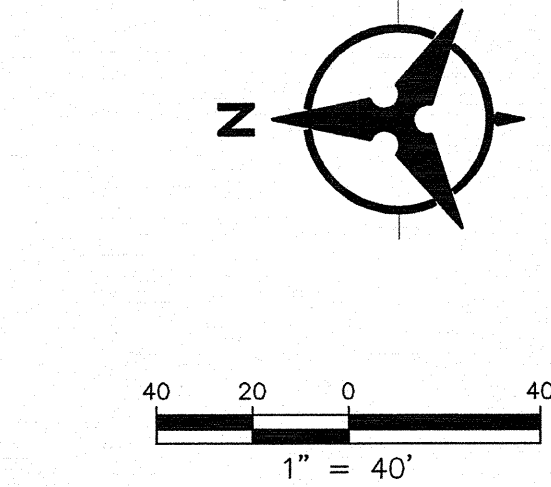
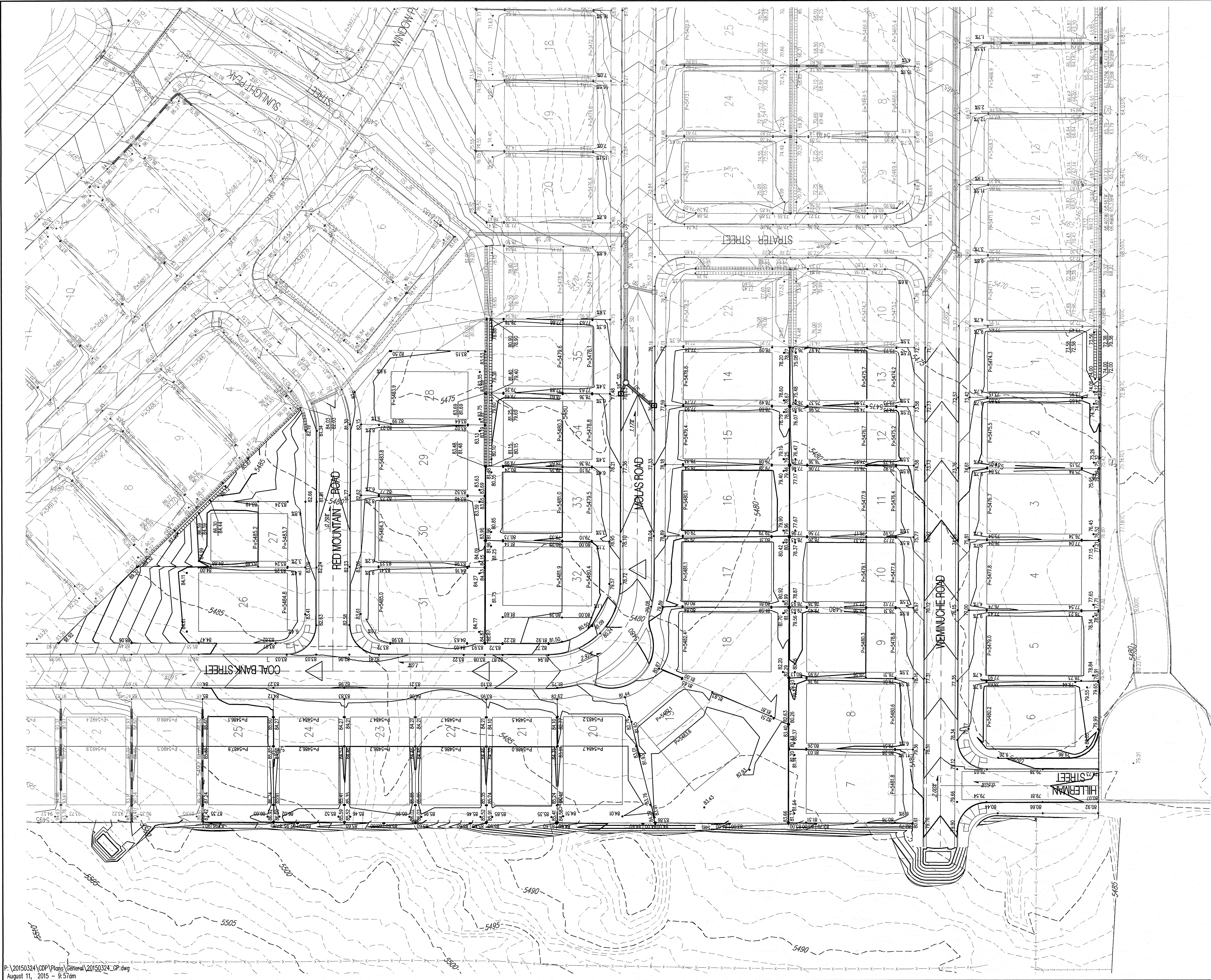
1. An Interim Grading Plan is required showing a temporary pond on Coal Bank Street where Unit 4 ties in. Temporary Drainage Easements will be required before Work Order Acceptance.
2. Items that need to be addressed on the Work Order:
 - a. It appears a valley gutter is needed to direct flows from west side of Coal Bank St. down Red Mountain Road.
 - b. Offsite runoff seems to be directed by a swale to run behind the lots down to Weminuche Road. The sediment pond should pick up those flows.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



- GENERAL NOTES**
1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 36, AND WETTING THE SOIL TO KEEP IT FROM BLOWING.
 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
 8. ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH 4"-6" COBBLE OVER NON-WOVEN GEOTEXTILE FABRIC, CLASS I.

LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRID & TC)
- EXISTING CURB & GUTTER
- === PROPOSED MOUNTABLE CURB & GUTTER
- == PROPOSED STANDARD CURB & GUTTER
- - - 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET

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		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
DURANGO UNIT 3 GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No.	XXXXXX	Zone Map No.	C-09-Z
		Sheet	4 Of 5

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



August 18, 2015

Richard J. Berry, Mayor

Scott Steffen, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

RE: **Durango at the Trails (File: C09D012), Unit 4**
Grading and Drainage plan, Stamp Date 8-12-15 (Sheet ~~1~~³)

Dear Mr. Steffen:

Based upon the information provided in your submittal received 8-13-15, the above referenced submittal is approved for DRB action on the Preliminary Plat and Site Plan for Subdivision *for Unit 4.*

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

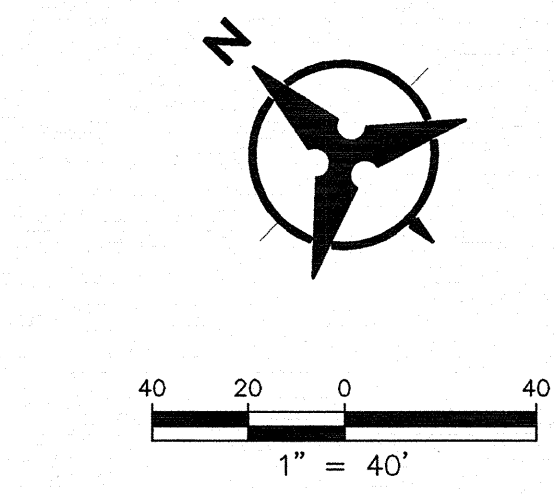
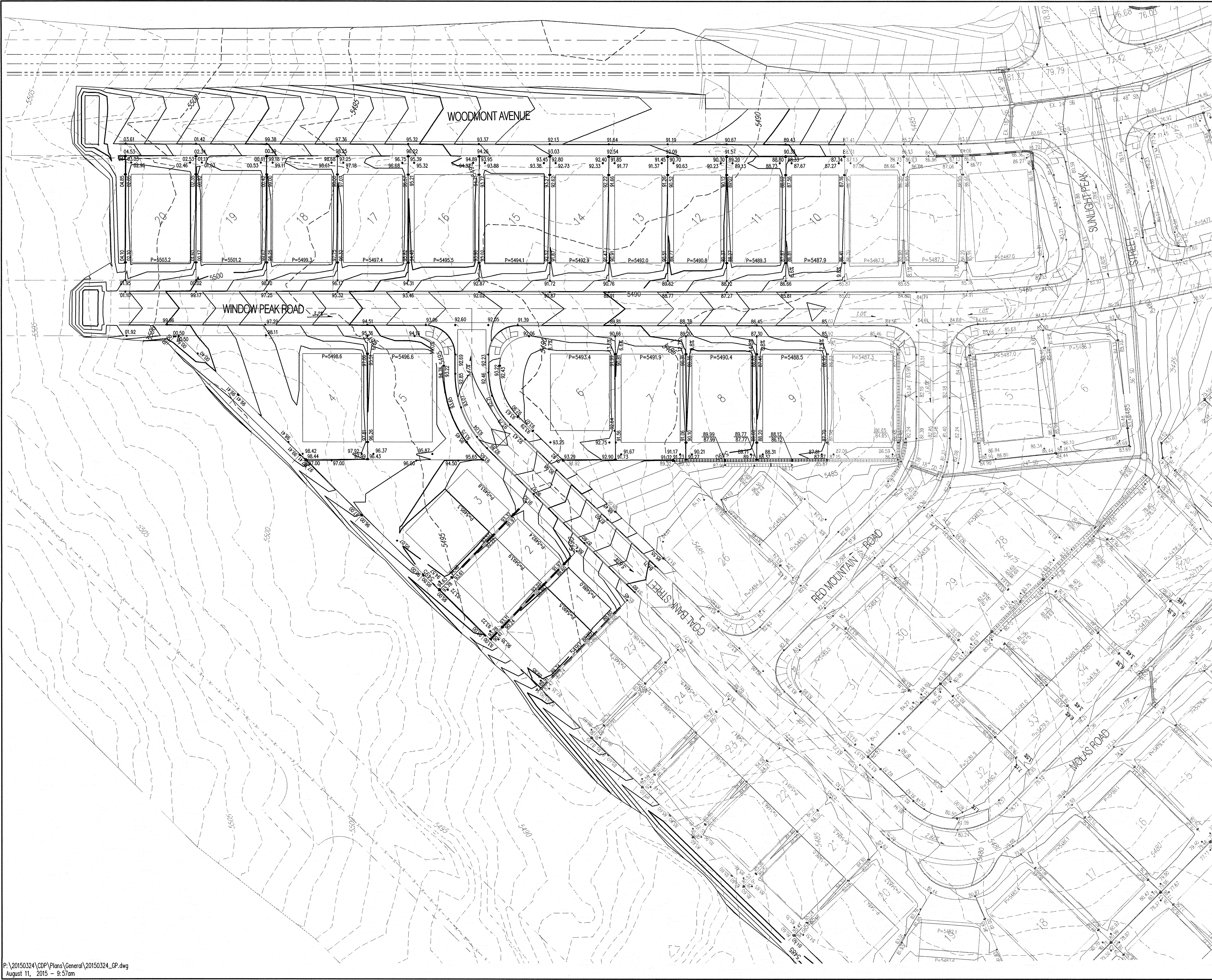
Sincerely,

New Mexico 87103

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov


Orig: Drainage file
c.pdf Addressee via Email



- GENERAL NOTES**
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		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT	
DURANGO UNIT 4 GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	
		Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	XXXXXX	Zone Map No.	C-09-Z
		Sheet	3 Of 5

ENGINEER'S SEAL			SURVEY INFORMATION			BENCH MARKS			AS-BUILT INFORMATION		

PRIVATE FACILITY
DRAINAGE COVENANT

This Drainage Covenant ("Covenant"), between PV Trails Albuquerque, LLC
 ("Owner"), whose address is 4350 La Jolla Village Drive, Suite 110 San Diego CA 92122,
 and whose telephone number is (858) 625-0100 and the City of Albuquerque, New Mexico,
 a municipal corporation whose address is P.O. Box 1293, Albuquerque, New Mexico 87103, is
 made in Albuquerque, Bernalillo County, New Mexico and is entered into as of the date Owner
 signs this Covenant.

1. **Recital.** The Owner is the current owner of the following described real property
 located at [give legal description, and street address]

Lot 4, Durango Unit 5

XXXX Mancos Street NW

recorded on _____, pages ____ through ____, as Document No. _____
 in the records of the Bernalillo County Clerk, State of New Mexico (the "Property").

Pursuant to City ordinances, regulations and other applicable laws, the Owner is required to
 construct and maintain certain drainage facilities on the Property, and the parties wish to enter into
 this Covenant to establish the obligations and responsibilities of the parties.

2. **Description and Construction of Drainage Facility.** The Owner shall construct the
 following "Drainage Facility" within the Property at the at the Owner's sole expense in accordance
 with the standards, plans and specifications approved by the City:

backyard drainage pond

The Drainage Facility is more particularly described in **Exhibit A** attached hereto and
 made a part hereof.

3. **Maintenance of Drainage Facility.** The Owner shall maintain the Drainage Facility at
 Owner's sole cost in accordance with the approved Drainage Report and plans.

4. **Benefit to Property.** The Owner acknowledges and understands that the Drainage
 Facility required herein to be constructed on the Owner's property is for the private benefit and
 protection of the Owner's property and that failure to maintain such facility could result in damage
 or loss to the Property.

5. **Inspection of Drainage Facility.** The City shall have no duty or obligation
 whatsoever to perform any inspection, maintenance or repair of the Drainage Facility, it being the
 duty of the Owner, its heirs, successors and assigns to construct and maintain the facility in
 accordance with approved plans and specifications.

6. **Liability of City.** The Owner understands and agrees that the City shall not be liable

to the Owner, its heirs, successors or assigns, or to any third parties for any damages resulting from the Owner's failure to construct, maintain or repair the Drainage Facility.

7. Indemnification. The Owner owns and controls the Drainage Facility and shall not permit the Drainage Facility to constitute a hazard to the health or safety of the general public. The Owner agrees to indemnify, defend and hold harmless the City, its officials, agents and employees, from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Owner, its agents, representatives, contractors or subcontractors or arising from the failure of the Owner, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer or Owner herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Covenant, this Covenant to indemnify will not extend to liability, claims, damages, losses or expenses, including attorneys' fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the respective indemnitee, or the agents or employees of the respective indemnitee; or (2) the giving of or the failure to give direction or instructions by the respective indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property.

8. Assessment. Nothing in this Covenant shall be construed to relieve the Owner, its heirs, assigns and successors from an assessment against the Owner's property for improvements to the property under a duly authorized and approved Special Assessment District. The parties specifically agree that the value of the Drainage Facility will not reduce the amount assessed by the City.

9. Binding on Owner's Property. The covenants and obligations of the Owner set forth herein shall be binding on the Owner, its heirs, assigns and successors and on the Owner's property and constitute covenants running with the Owner's property until released by the City. This Covenant can only be released by the City's Chief Administrative Officer with concurrence of the City Engineer.

10. Entire Covenant. This Covenant contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

11. Changes to Covenant. Changes to this Covenant are not binding unless made in writing, signed by both parties.

12. Effective Date of Covenant. This Covenant shall be effective as of the date of signature of the Owner.

OWNER:

By [signature]: _____

Name [print]: _____

Title: _____

Dated: _____

CITY OF ALBUQUERQUE:

By: _____

Shahab Biazar, P.E., City engineer

Dated: _____

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this _____ day of _____,
20____, by _____ (name of person signing permit),
_____ (title of person signing permit) of
_____ (Owner).

(SEAL)

Notary Public
My Commission Expires: _____

CITY'S ACKNOWLEDGMENT

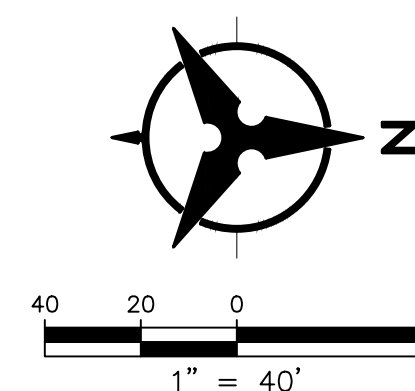
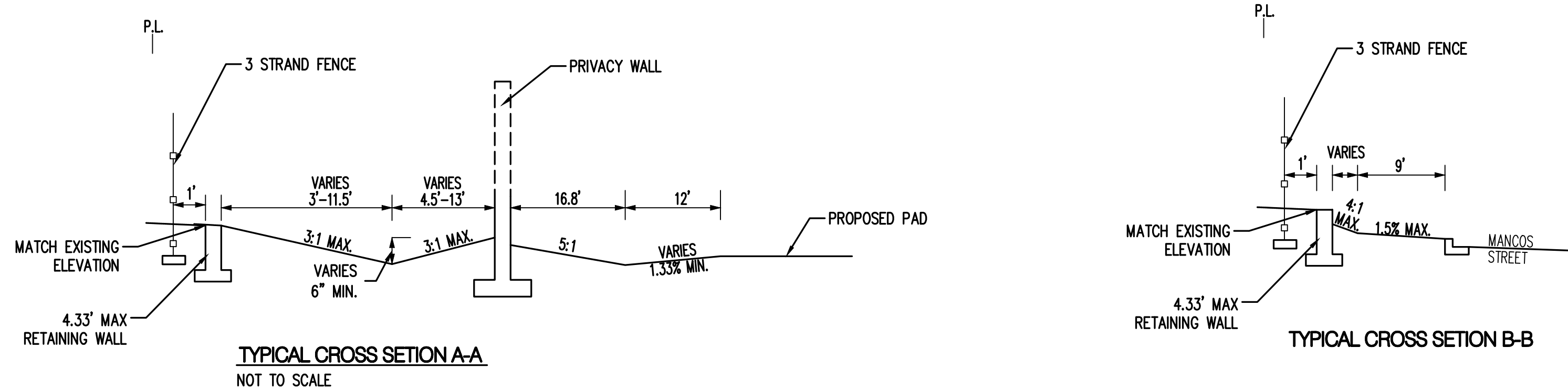
STATE OF NEW MEXICO)
)ss
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on this _____ day of _____
_____, 20____, by Shahab Biazar, P.E., City Engineer, of the City of Albuquerque,
a municipal corporation, on behalf of said corporation.





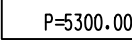
(SEAL)

Notary Public
My Commission Expires: _____

(EXHIBIT A ATTACHED)




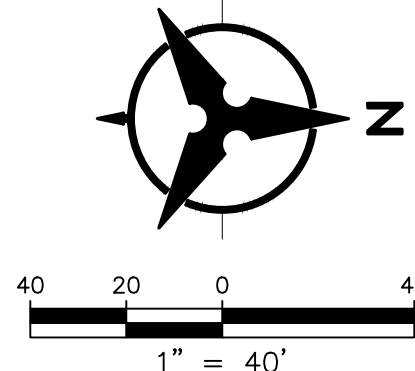
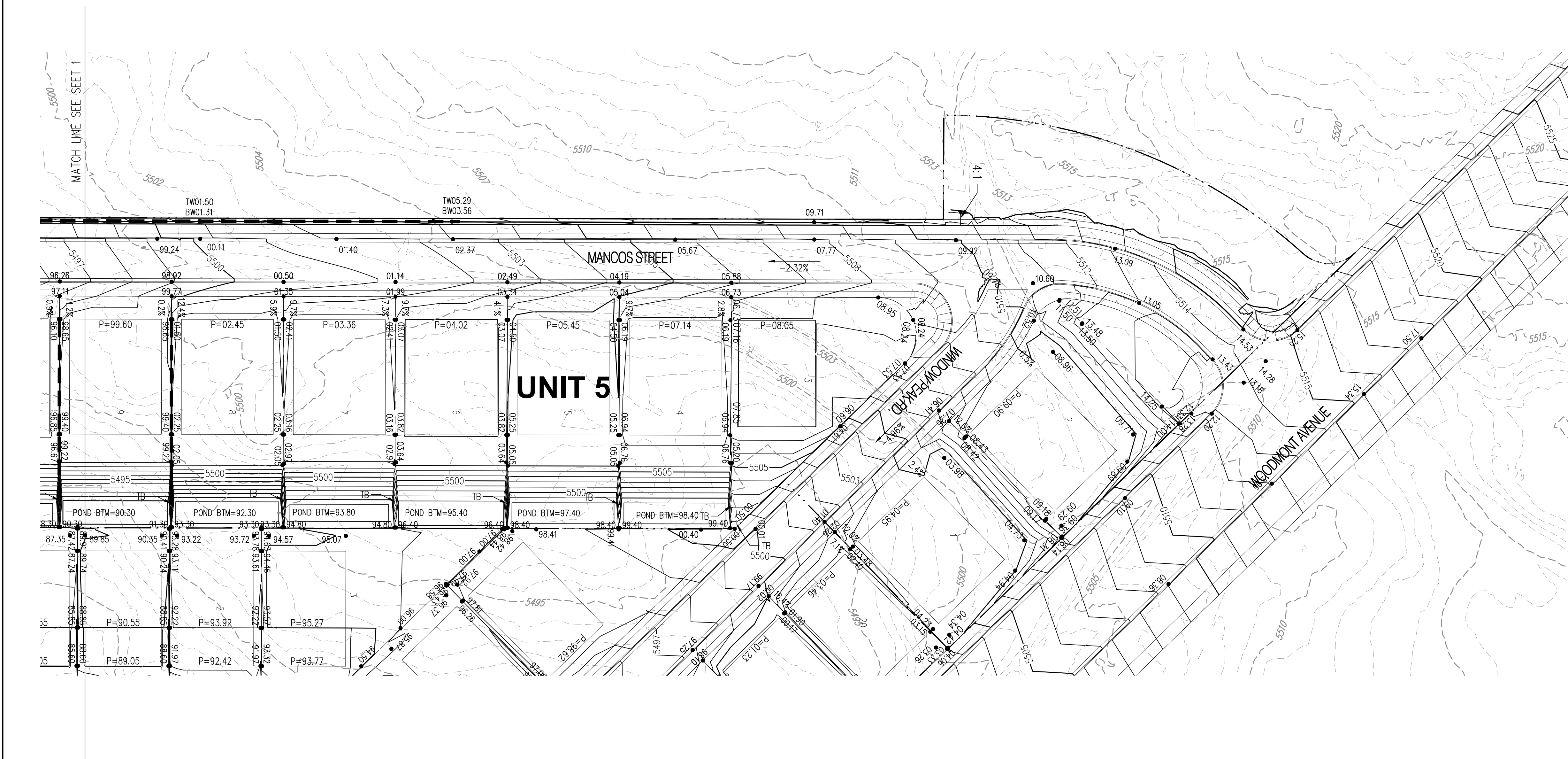
LEGEND

PROPOSED SPOT ELEVATION	● 5235.25
EXISTING SPOT ELEVATION	● EX 5235.25
PROPOSED CONTOUR	_____ 5025
EXISTING STORM DRAIN LINE	== = = = =
PROPOSED STORM DRAIN INLET	
PROPOSED STORM DRAIN LINE	=====
PROPOSED STORM DRAIN MANHOLE	
PROPOSED WATER BLOCK	
RETAINING WALL	
PAD	
TURNED BLOCK	TB
STREET SLOPE	XX
PHASE BOUNDARY	-----

[illegible]

Bohannon  **Huston**
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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT													
DURANGO UNIT 5 GRADING AND DRAINAGE PLAN													
Design Review Committee	City Engineer Approval												
<div style="display: flex; justify-content: space-between; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg); border: 1px solid black; padding: 5px;">Last Design Update</div> <table border="1" style="width: 80%; border-collapse: collapse;"> <thead> <tr> <th style="width: 50%;">Mo./Day/Yr.</th> <th style="width: 50%;">Mo./Day/Yr.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table> </div>		Mo./Day/Yr.	Mo./Day/Yr.										
Mo./Day/Yr.	Mo./Day/Yr.												
City Project No.	Zone Map No.												
C-09-Z	1												
Sheet	Of												
1	4												



LEGEND

- PROPOSED SPOT ELEVATION
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- PAD
- TURNED BLOCK
- STREET SLOPE
- PHASE BOUNDARY

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ACS MONUMENT STAMPED "UNION"		FIELD NOTES			
WORKED BY	DATE	GEOGRAPHIC POSITION (NAD 83)		NO.	BY		
SUPERVISOR	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)				REVISIONS	
ACCEPTANCE BY	DATE	N = 1,523,503.475 E = 1,493,655.030					
VERIFICATION BY	DATE	GROUND-TO-GRID FACTOR = 0.999664360				DESIGN	
DRAWINGS BY	DATE	Δm = -00'16"58.96"					
RECORDED BY	DATE	NAVD 1988 ELEVATION = 5524.950				No. Date	
NO.						By	
						DATE: 01/2019	
						Drawn By: AR	
						DATE: 01/2019	
						Checked By: YPM	
						DATE: 01/2019	

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		CITY OF ALBUQUERQUE	
		PUBLIC WORKS DEPARTMENT	
DURANGO			
UNIT 5			
GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	C-09-Z	2	4