CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director

Mayor Timothy M. Keller

June 22, 2022

Jeremy Shell
RESPEC
5971 Jefferson St. NE Ste. 101
Albuquerque, NM 87113

RE: **Durango Unit 2**
        Conceptual Grading Plan- Approved
        Engineer's Stamp Date: None
        Hydrology File: C09D012

Dear Mr. Shell:

PO Box 1293

Based upon the information provided in your revised submittal received 5/31/2022, the Conceptual Grading & Drainage Plan is approved for action by the DRB on Preliminary/Final Plat and Site Plan for Subdivision.

Albuquerque

NM 87103

If the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

City of Albuquerque

Planning Department
Development & Building Services Division
DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: _____ Building Permit #:_____ Hydrology File #: _____

DRB#: _____ EPC#:_____ Work Order#: _____

Legal Description: _____

City Address: _____

Applicant:_____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:_____ PLAT (___# OF LOTS) ____ RESIDENCE ____ DRB SITE ____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION _____ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:
____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:
____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ By: _____

COA STAFF: _____ ELECTRONIC SUBMITTAL RECEIVED:_____

FEE PAID:_____

May 5, 2022

DURANGO UNIT 2, DRAINAGE MEMO

The purpose of this memo is to provide a drainage plan for the Durango Unit 2 subdivision.

BACKGROUND

Durango Unit 2 contains approximately 3.8 acres in the City of Albuquerque, Bernalillo County, New Mexico. Unit 2 is a phase within the Durango Subdivision located south of Woodmont Avenue at its intersection with Sunlight Peak Street. The proposed use is 22 single family residential lots. The Drainage Report for Durango at The Trails Subdivision completed by Bohannan Huston dated March 2015 should be referenced for background drainage information. There is no designated 100-year floodplain shown on the site.

EXISTING CONDITIONS

Durango Unit 2 is currently undeveloped. However, the storm drain in Weminuche Road has already been constructed with another phase. Reference CPN 800885.

DEVELOPED CONDITIONS

The drainage intention for developed conditions is to fully build out Unit 2 in accordance with the aforementioned Bohannan Huston Drainage Report. Weminuche Road will be constructed to convey runoff generated by Unit 2 and ultimately be collected by inlets that are already in place. The existing temporary ponds are no longer needed and will be filled.

Please contact me if you have any questions, comments, or require additional information upon your review.
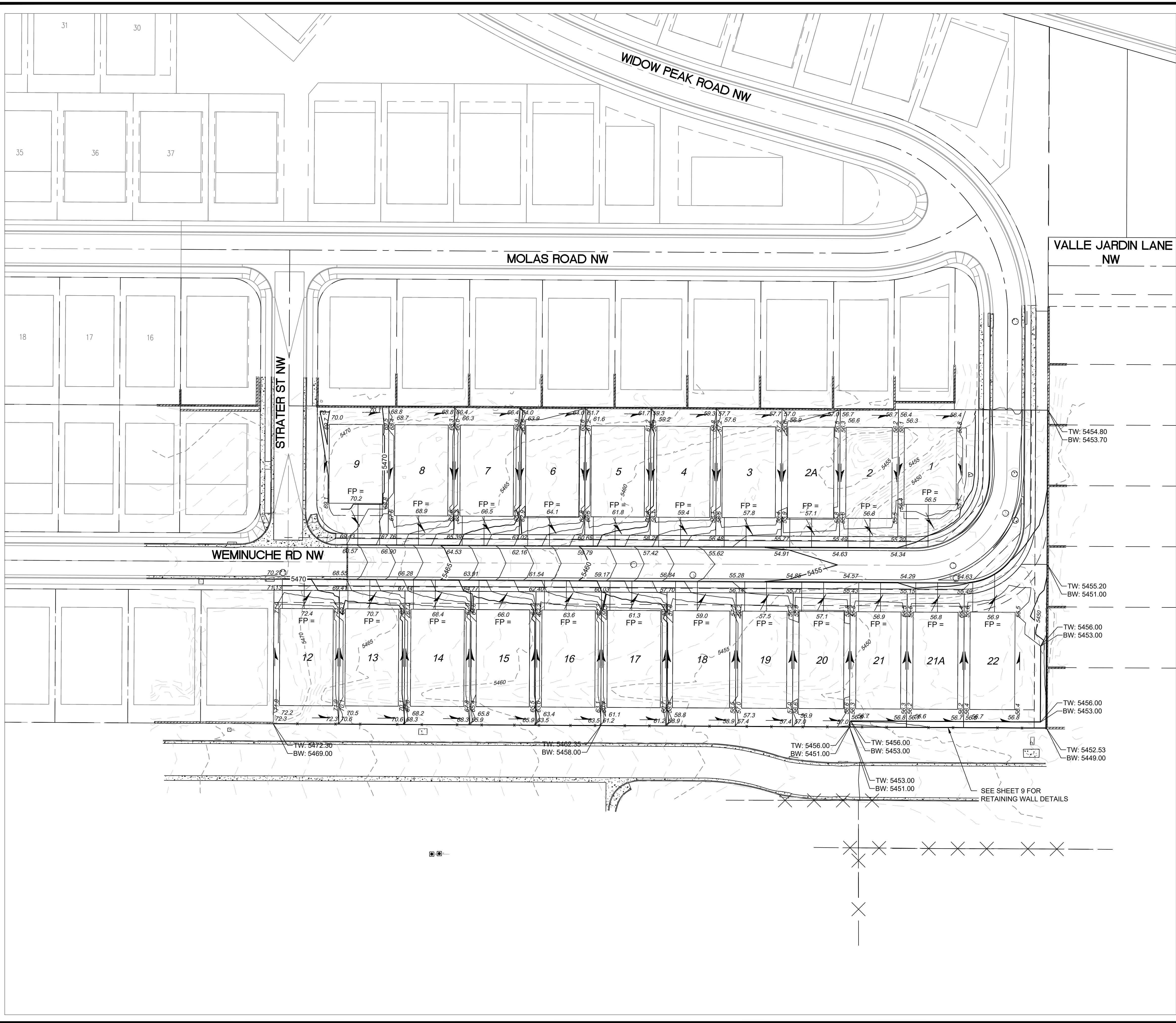
Sincerely,

Jeremy Shell
Engineer, RESPEC, Community Design Solutions
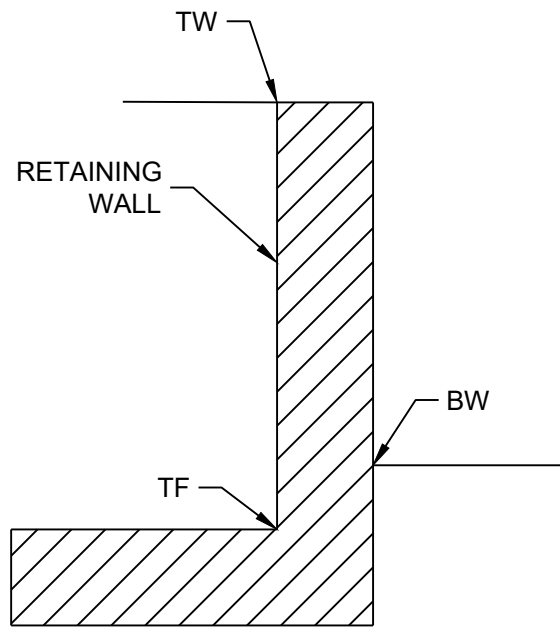505.253.9811
jeremy.shell@respec.com
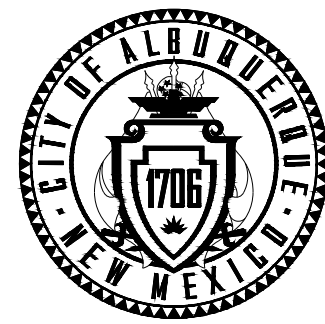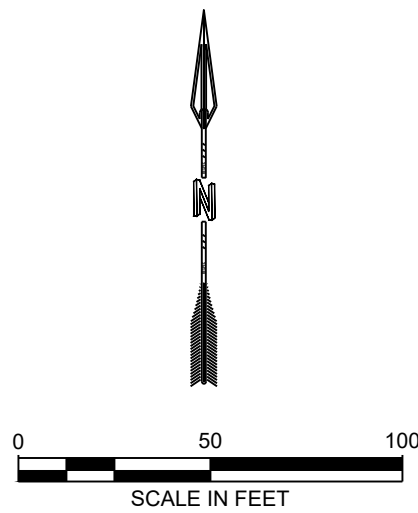
JEREMY W. SHELL
NEW MEXICO
26341
PROFESSIONAL ENGINEER

GRADING NOTES

1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.

2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.

3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.

4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.

5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.

6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.

7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS..

LEGEND

GRADING LIMITS	
MAJOR CONTOUR	4985
MINOR CONTOUR	
EXISTING MAJOR CONTOUR	4985
EXISTING MINOR CONTOUR	
SLOPE ARROW	-1.5% -51.2%
RETAINING WALL	

RETAINING WALL

TW

BW

TF

WALL SPOT LEGEND

WIDOW PEAK ROAD NW

VALLE JARDIN LANE NW

MOLAS ROAD NW

STRATER ST NW

WEMINUCHE RD NW

TW: 5454.80 / BW: 5453.70

TW: 5455.20 / BW: 5451.00

TW: 5456.00 / BW: 5453.00

TW: 5456.00 / BW: 5453.00

TW: 5452.53 / BW: 5449.00

TW: 5472.30 / BW: 5469.00

TW: 5462.35 / BW: 5458.00

TW: 5456.00 / BW: 5451.00

TW: 5456.00 / BW: 5453.00

TW: 5453.00 / BW: 5451.00

SEE SHEET 9 FOR RETAINING WALL DETAILS

Lots (upper row): 9, 8, 7, 6, 5, 4, 3, 2A, 2, 1

Lots (lower row): 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 21A, 22

SCALE IN FEET
0   50   100

CONSULTANTS

BENCH MARKS

SEAL

60% REVIEW

PRELIMINARY
NOT FOR CONSTRUCTION
3.2022

NO.	DATE	DESCRIPTION	BY

CONTRACTOR:

AS-BUILT INFORMATION
WORK STAKED BY: DATE:
INSPECTOR'S ACCEPTANCE BY: DATE:
FIELD VERIFICATION BY: DATE:
DRAWINGS CORRECTED BY: DATE:

DESIGNED BY: BE
DRAWN BY: BE
CHECKED BY: JS
DATE: 3.08.2022

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
ENGINEERING DIVISION

DURANGO UNIT 2

GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE   CITY ENGINEER APPROVAL

ZONE MAP NO. C-09-Z

CITY PROJECT NO. PROJECT #

SHEET NO. 3