

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



January 13, 2016

Richard J. Berry, Mayor

Scott Steffen, PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

RE: Durango at the Trails (File: C09D012), Unit 2
Grading and Drainage plan, Stamp Date 11-30-15 (Sheets 2 and 5)
Interim Grading and Drainage plan, Stamp Date 11-30-15

Dear Mr. Steffen:

Based upon the information provided in your submittal received 7-30-15, the above referenced submittals are approved for Grading Permit *for Unit 2* with the following conditions:

1. As a condition of Work Order acceptance, provide temporary drainage easements over interim ponds.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

New Mexico 87103

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov

Orig: Drainage file
c.pdf Addressee via Email

November 30, 2015

Rita Harmon, P. E.
Planning Department
Hydrology Review Section
City of Albuquerque
P. O. Box 1293
Albuquerque, NM 87103

Re: Durango Units 1 and 2, Grading and Drainage Plan (C09/D012)

Dear Rita:

Enclosed are the revised grading plans for Durango Units 1 and 2 that incorporate the following changes as discussed in our meeting on November 6, 2015:

Unit 1

1. Eliminate the side yard retaining wall between Lots 8 and 9.
2. Revise Lot 31 rear lot line and pad depth.


Unit 2

1. Eliminate the side yard retaining wall between Lots 16 and 17.
2. Revise Lot 1 rear lot line and pad depth.
3. Eliminate the rear yard pond on Lot 22 by adding a 6' maximum height lower retaining wall and 2' maximum height upper garden wall.

In addition, these changes have been shown on the Unit 1 and 2 Interim Grading Plans, which are also enclosed. These changes will be issued as a field revision and as-built on the approved grading plans with the grading and drainage certification as discussed at our meeting.

If you have any questions or require further information, please feel free to contact me at 823-1000.

Sincerely,



Scott J. Steffen, P.E.
Vice President
Community Development and Planning Group

Enclosures

Engineering ▲
Spatial Data ▲
Advanced Technologies ▲



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ ENGINEER'S CERT (ESC)
- ☐ SO-19
- ☐ OTHER (SPECIFY) GRADING PLAN REVISION

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

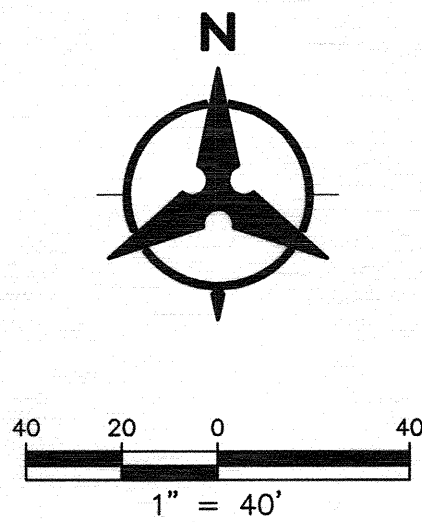
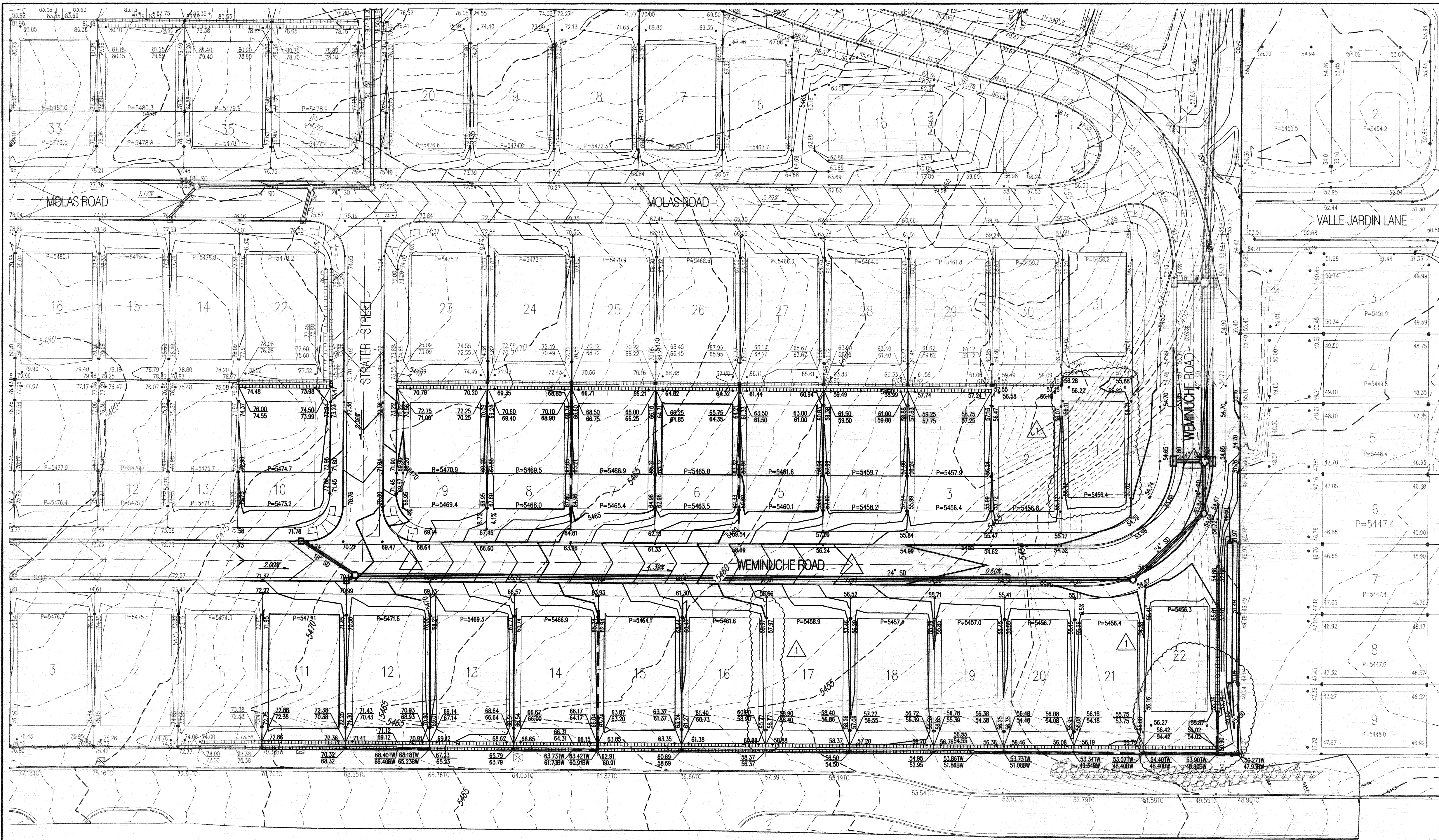
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ GRADING CERTIFICATION
- ☐ SO-19 APPROVAL
- ☐ ESC PERMIT APPROVAL
- ☐ ESC CERT. ACCEPTANCE
- ☐ OTHER (SPECIFY) INFORMATION FOR FILE

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

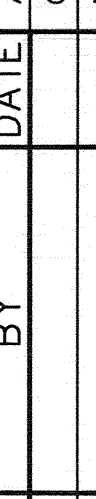


GENERAL NOTES

- 1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
- 2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATION AS NOTED IN THE SOILS REPORT.
- 3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES & REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- 4. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE LOTS INTO PUBLIC RIGHT-OF-WAY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AS PER DETAIL, SHEET 3B, AND METTING THE SOIL TO KEEP IT FROM BLOWING.
- 5. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED.
- 6. BOULDERS GREATER THAN 3 FEET IN DIAMETER EXCAVATED DURING GRADING ACTIVITIES SHALL BE STOCKPILED AND DISPOSED OF AT THE DISCRETION OF THE OWNER.
- 7. ALL WALLS SHOWN ARE TO BE PLACED ALONG PROPERTY LINE. WALLS ARE SHOWN OFFSET FOR VISUAL PURPOSE ONLY.
- 8. ALL SLOPES GREATER THAN 3:1 SHALL BE STABILIZED WITH 4"-6" COBBLE OVER NON-WOVEN GEOTEXTILE FABRIC, CLASS I.

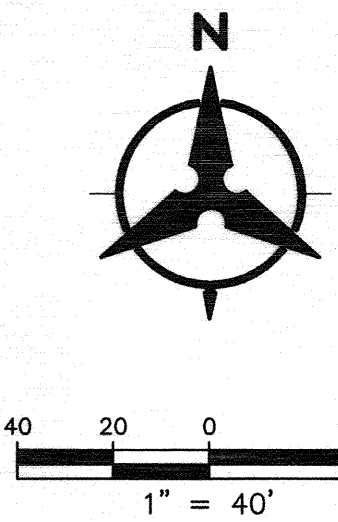
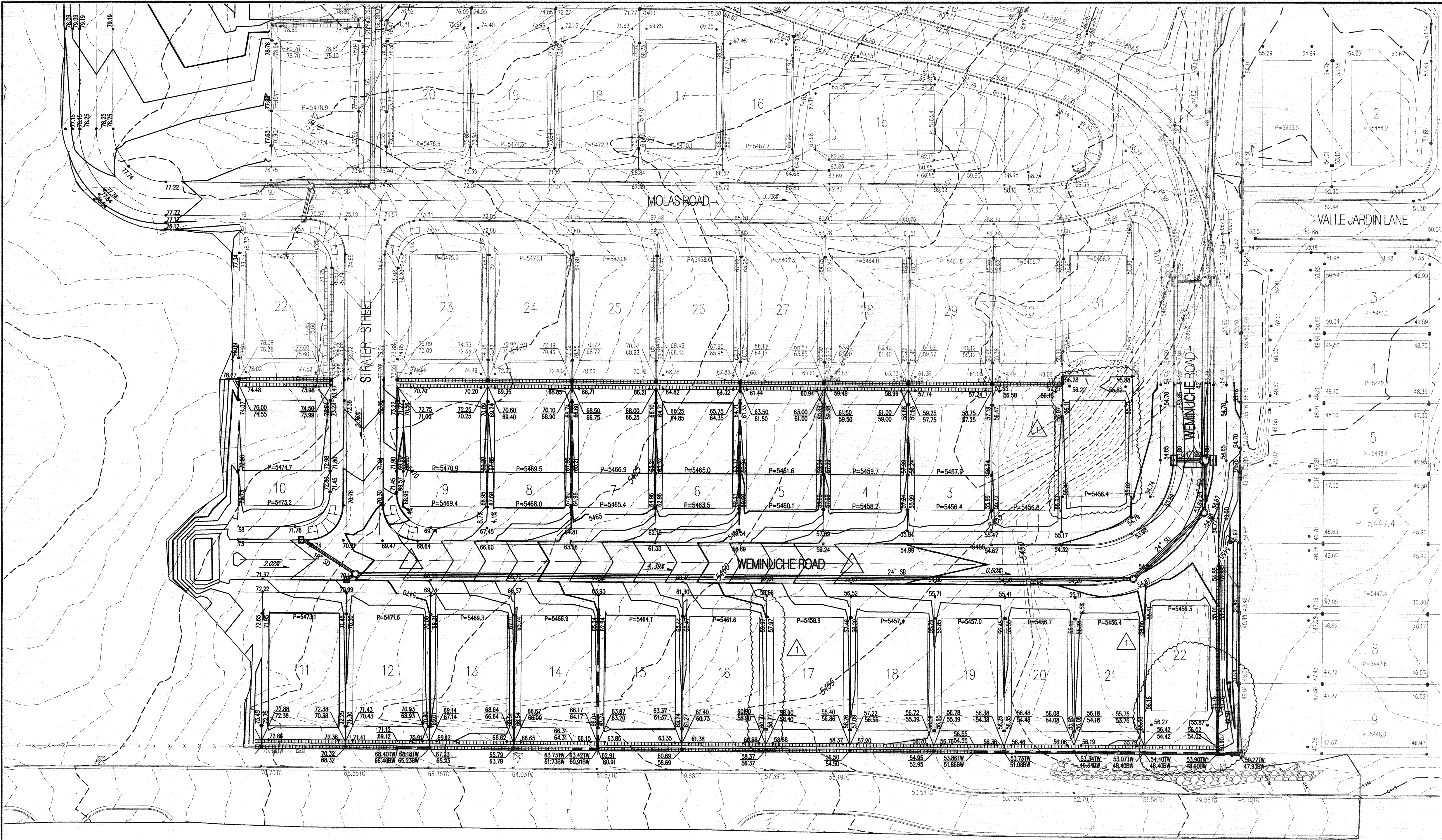
LEGEND

- 91.62 PROPOSED SPOT ELEVATION
- × 92.46 EXISTING SPOT ELEVATION (GRND & TC)
- EXISTING CURB & GUTTER
- == PROPOSED MOUNTABLE CURB & GUTTER
- == PROPOSED STANDARD CURB & GUTTER
- 5470 EXISTING CONTOUR W/ INDEX ELEVATION
- FLOW ARROW
- PROPOSED RETAINING WALL
- PROPOSED GARDEN WALL
- PROPOSED SLOPE
- PROPOSED STORM DRAIN
- ⊙ PROPOSED STORM DRAIN MANHOLE
- ⊙ PROPOSED STORM DRAIN INLET

ENGINEER'S SEAL			SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION		
			FIELD NOTES						
			NO.	BY	DATE				
			SJS						
			SJS						
			REMARKS		By				
			No.	Date					
			REVISIONS						
			DESIGN						
			Designed By: SJS		DATE: 03/2015				
			Drawn By: DTH		DATE: 03/2015				
			Checked By: SJS		DATE: 03/2015				

Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT			
DURANGO UNIT 2 GRADING AND DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
XXXXXX	C-09-Z	2	5



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- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET

AS-BUILT INFORMATION				BENCH MARKS				SURVEY INFORMATION				ENGINEER'S SEAL			
CONTRACTOR	DATE	ACCS MONUMENT	STAMPED "UNION"	NO.	BY	DATE	NO.	NO.	BY	DATE	NO.	NO.	BY	DATE	NO.
INSPECTOR'S	DATE	GEOREFERENCE POSITION (NAD 83)													
FIELD	DATE	N.M. STATE PLANE COORDINATES (CENTRAL ZONE)													
REVISION	DATE	N = 1,523,503.475 E = 1,493,655.030													
CORRECTED BY	DATE	GROUND-TO-GRID FACTOR = 0.9999664360													
MICROFILM INFORMATION	DATE	Ad = -00'16"58.96"													
RECORDED BY	DATE	NAD 1988 ELEVATION = 5524.950													
NO.															

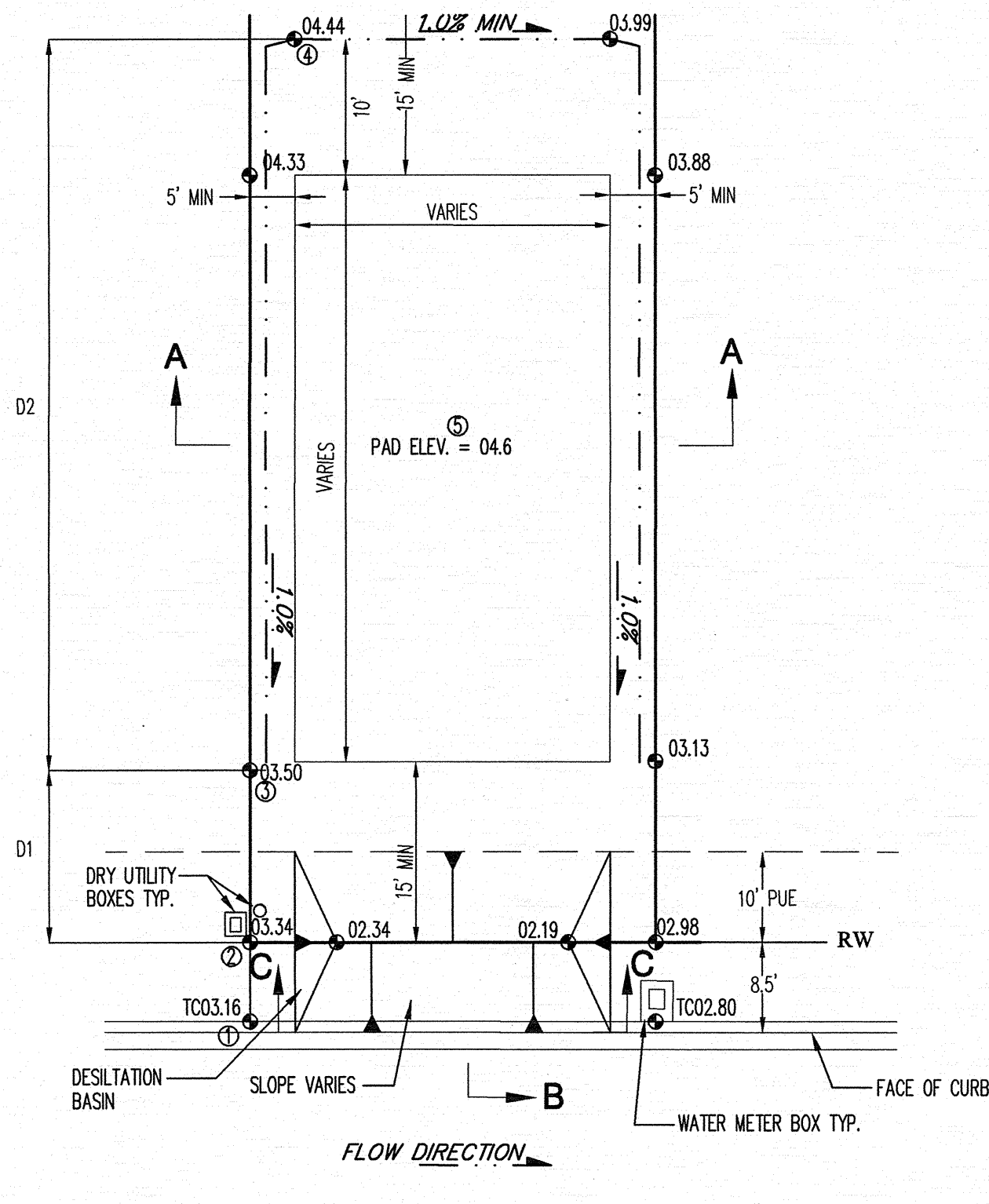


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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

DURANGO
UNIT 2
INTERIM GRADING AND DRAINAGE PLAN

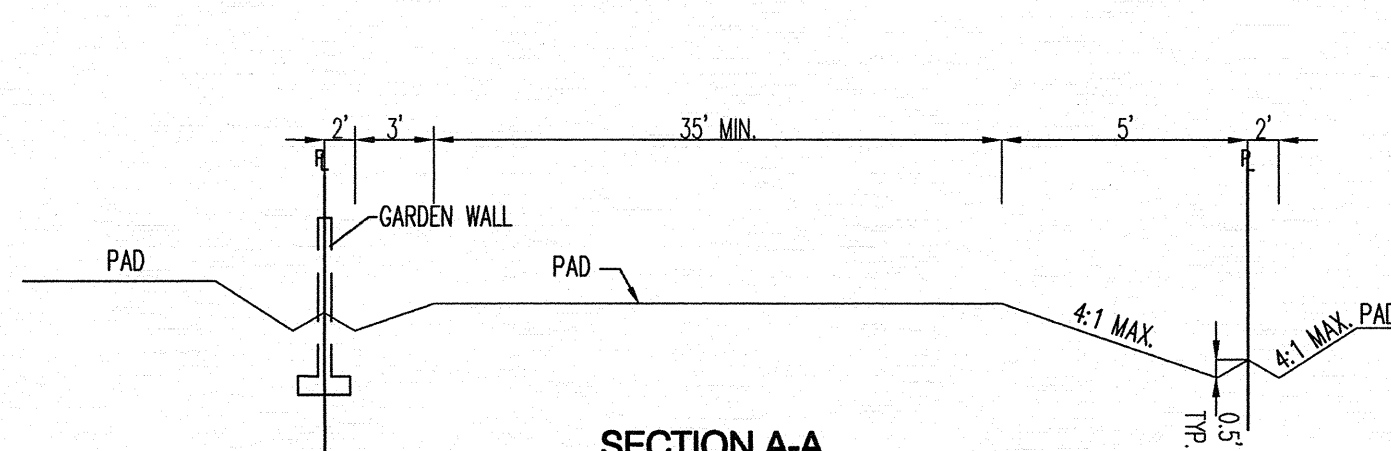
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
XXXXXX	C-09-Z	2	5	



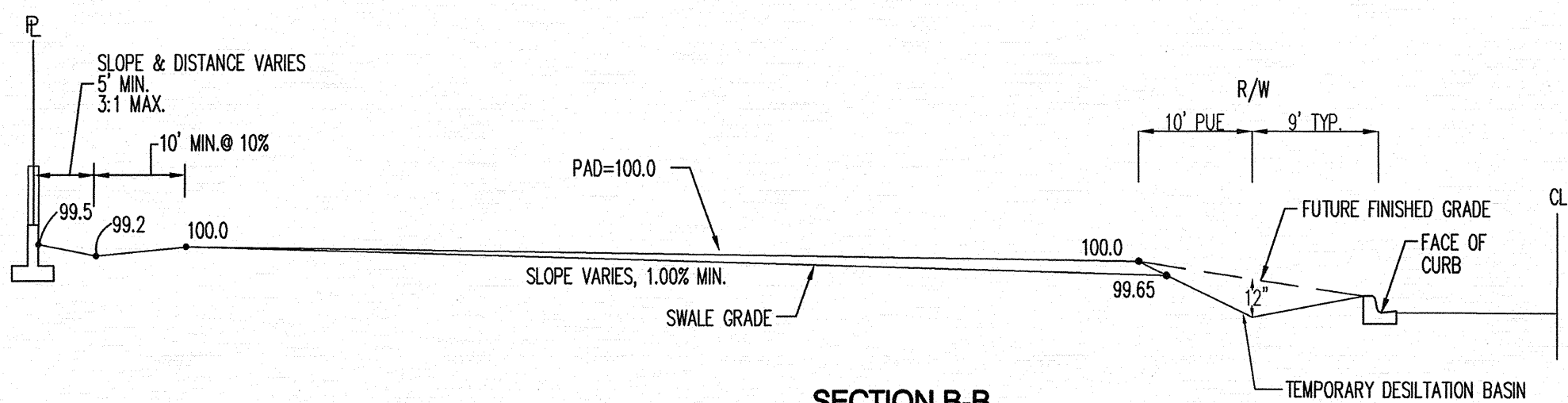
**TYPICAL LOT GRADE DETAIL
WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL**
NOT TO SCALE

TO SET SPOT ② - ADD 0.17' TO SPOT ①
TO SET SPOT ③ - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②
TO SET SPOT ④ - MULTIPLY D2 BY 1.0% AND ADD TO SPOT ③
TO SET SPOT ⑤ - ADD 0.2' TO SPOT ④

BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
SEE GRADING PLANS FOR EXACT ELEVATIONS.
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.



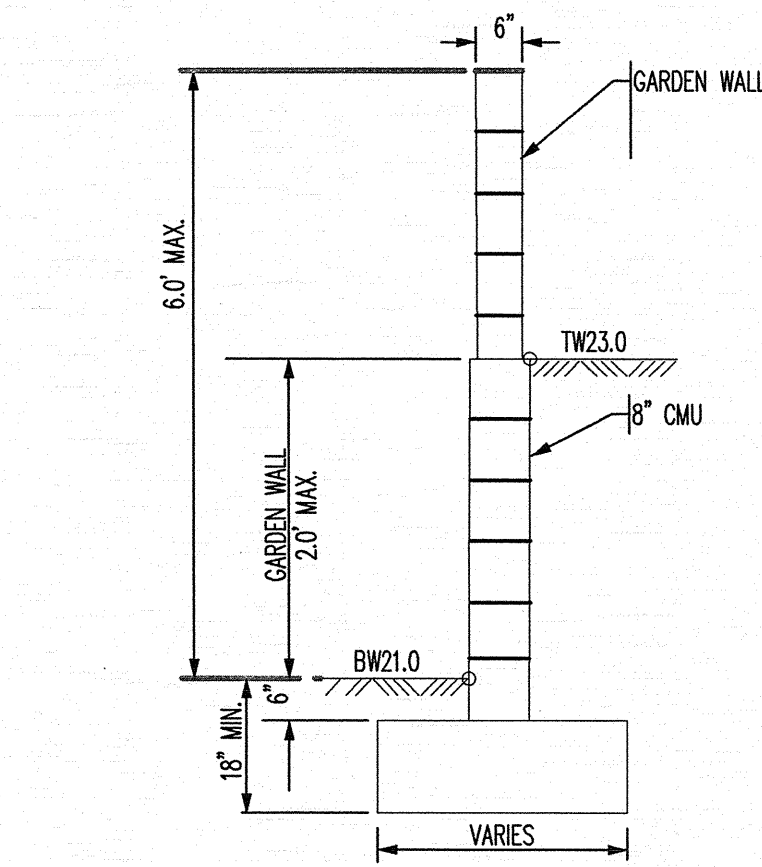
**SECTION A-A
TYPICAL SIDE YARD SWALE**
NOT TO SCALE



**SECTION B-B
NOT TO SCALE**

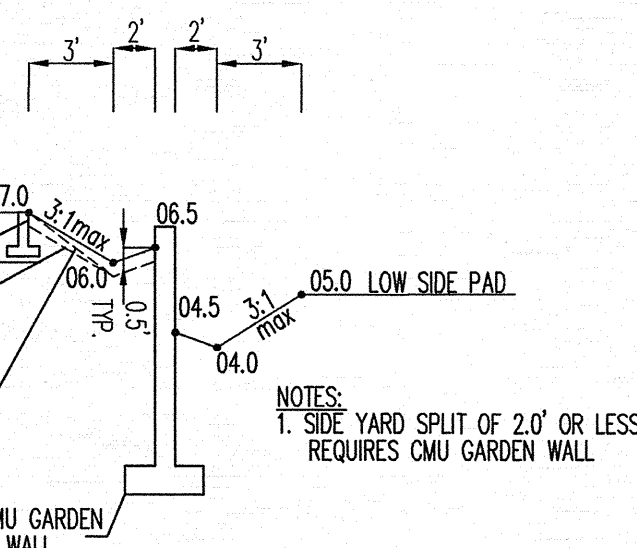
NOTE:

- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
- FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
- HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

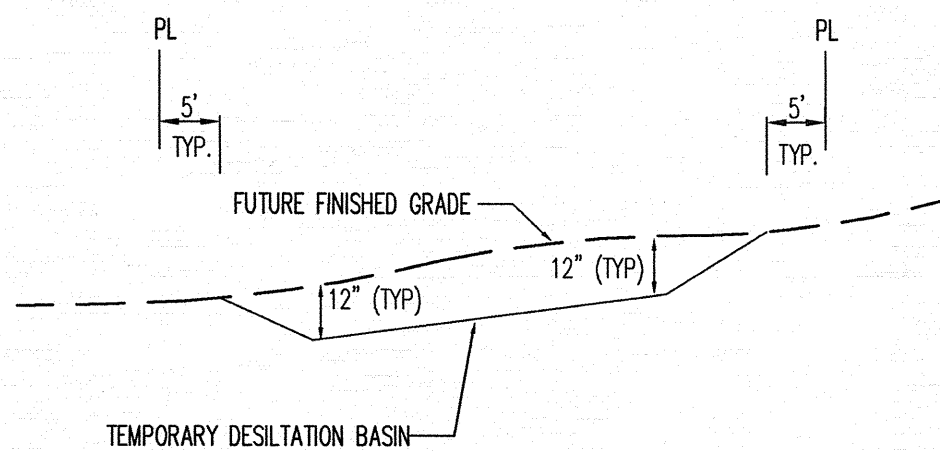


TYPICAL GARDEN WALL NOMENCLATURE
NOT TO SCALE

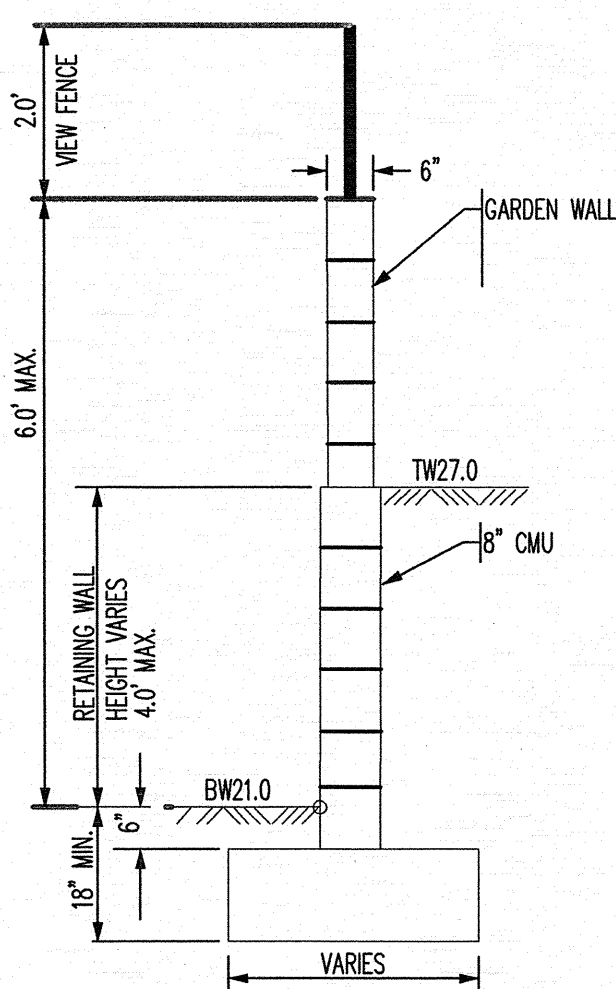
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



SIDE YARD GARDEN WALL DETAIL
NOT TO SCALE

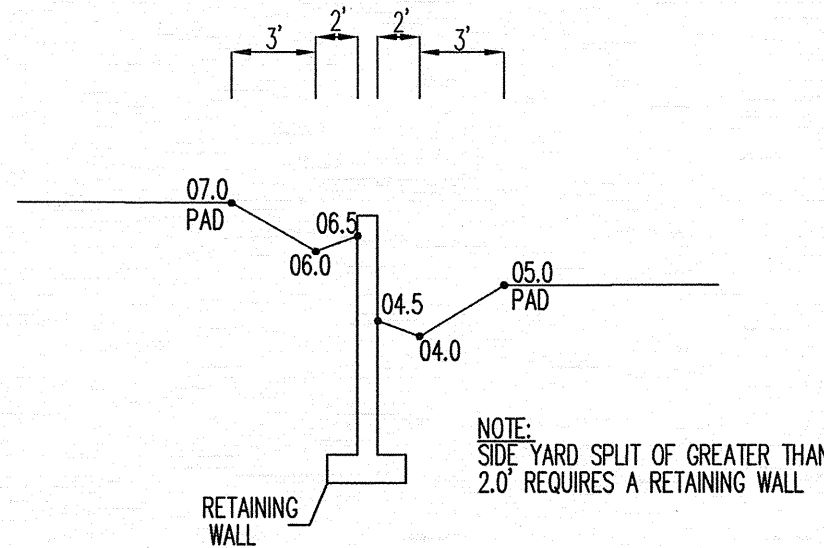


**SECTION C-C
NOT TO SCALE**

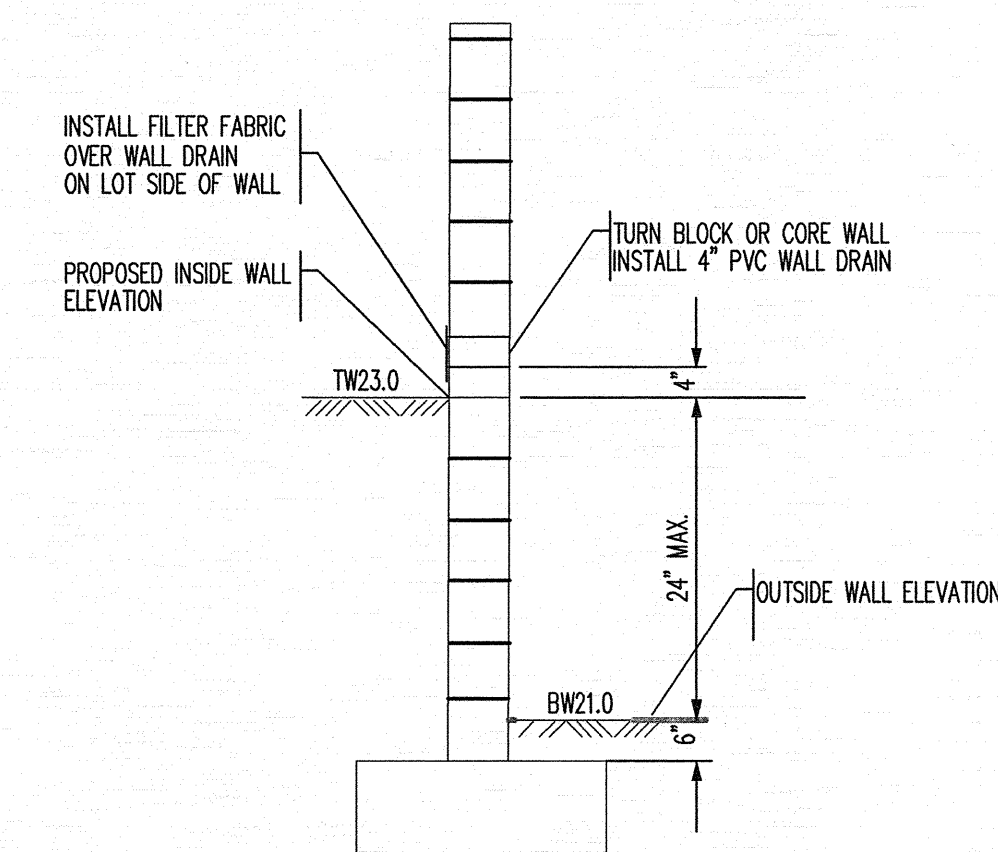


TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

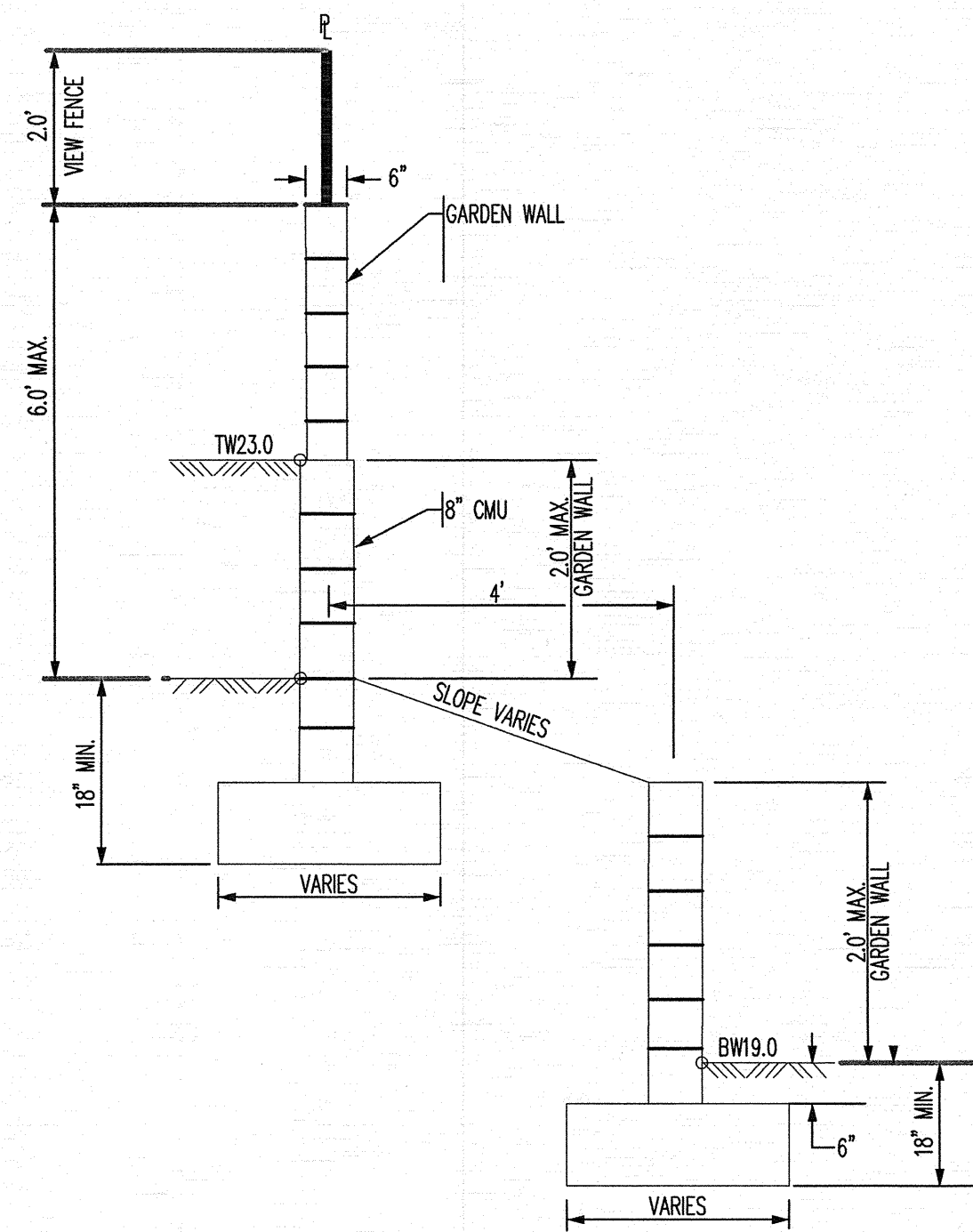
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)



SIDE YARD RETAINING WALL DETAIL
NOT TO SCALE



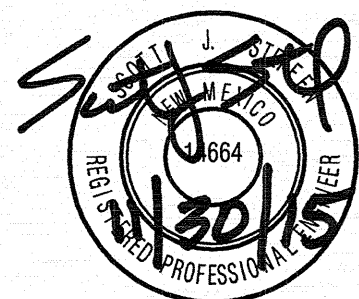
WALL DRAIN DETAIL
NOT TO SCALE



TYPICAL TIERED WALL NOMENCLATURE
NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	DATE	DATE	NO.	BY	DATE	DATE
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INSPECTOR'S POSITION (NAD 83)	DATE	DATE	DATE	NO.	BY	DATE	DATE
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	DATE	DATE	DATE	NO.	BY	DATE	DATE
N = 1,523,503.475 E = 1,493,655.030	DATE	DATE	DATE	NO.	BY	DATE	DATE
GROUND-TO-GRID FACTOR = 0.999664360	DATE	DATE	DATE	NO.	BY	DATE	DATE
Δm = -001'6"58.96"	DATE	DATE	DATE	NO.	BY	DATE	DATE
NAVD 1988 ELEVATION = 5524.950	DATE	DATE	DATE	NO.	BY	DATE	DATE



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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT		DURANGO	
GRADING AND DRAINAGE DETAILS		Last Design Update	
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XXXXXX	C-09-Z	5	5