

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 14, 2022

Yolanda Padilla Moyer, P.E.
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: Catalonia Subdivision
Engineer's Certification Date: 08/30/22
Engineer's Stamp Date: 9/16/19
Hydrology File: C09D013
CPN: 740585

Dear Ms. Moyer:

PO Box 1293

Based on the Certification received 09/07/2022 and site visit on 9/07/22, this certification is approved in support of ROFG/SIA by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

NM 87103

Renée C. Brissette

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Catalonia at the Trails **Building Permit #:** _____ **Hydrology File #:** C09D013
DRB#: 2018-001198 **EPC#:** 2018-2018-001198 **Work Order#:** _____
Legal Description: LOTS 1 THRU 78 AND TRACTS 1 THRU 11 CATALONIA(BEING A REPLAT OF TRACT 1 AND TRACT 2, THE TRAILS 3A)
City Address: Catalonia Subdivision

Applicant: Bohannon Huston Inc. **Contact:** Josh Lutz
Address: 7500 Jefferson St NE CY2 Albuquerque, NM, 87109
Phone#: 505-798-7945 **Fax#:** _____ **E-mail:** jltutz@bhinc.com
Owner: PV Trails Albuquerque LCC **Contact:** Scott Steffen
Address: 4350 La Jolla Village Dr, Suite 110 San Diego CA 92122
Phone#: 505 243-3949 **Fax#:** _____ **E-mail:** ssteffen@pricedg.com

TYPE OF SUBMITTAL: ☒ PLAT (1 # OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☒ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 08/30/2022 **By:** Josh Lutz, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

August 30, 2022

Ms. Renee Brissette, P.E.
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Final Grading and Drainage Certification for Catalonia Subdivision; DRB Case No. PR-2018-001198; Hydrology File C09D013

Dear Renee,

We are submitting a final grading and drainage certification for Catalonia Subdivision for Financial Guaranty Release. Enclosed for your review is the approved grading and drainage plan dated 02/13/2020. These lots have been graded and the curb and gutter for the corresponding roads as well as the pavement and downstream infrastructure have been constructed. All ponds meet or exceed the design volume.

After reviewing these as-built elevations and visiting the site on 08/29/2022, it is my belief that the above lot has been graded in substantial compliance with the approved grading and drainage plan.

Your review and approval are requested for Financial Guaranty Release. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

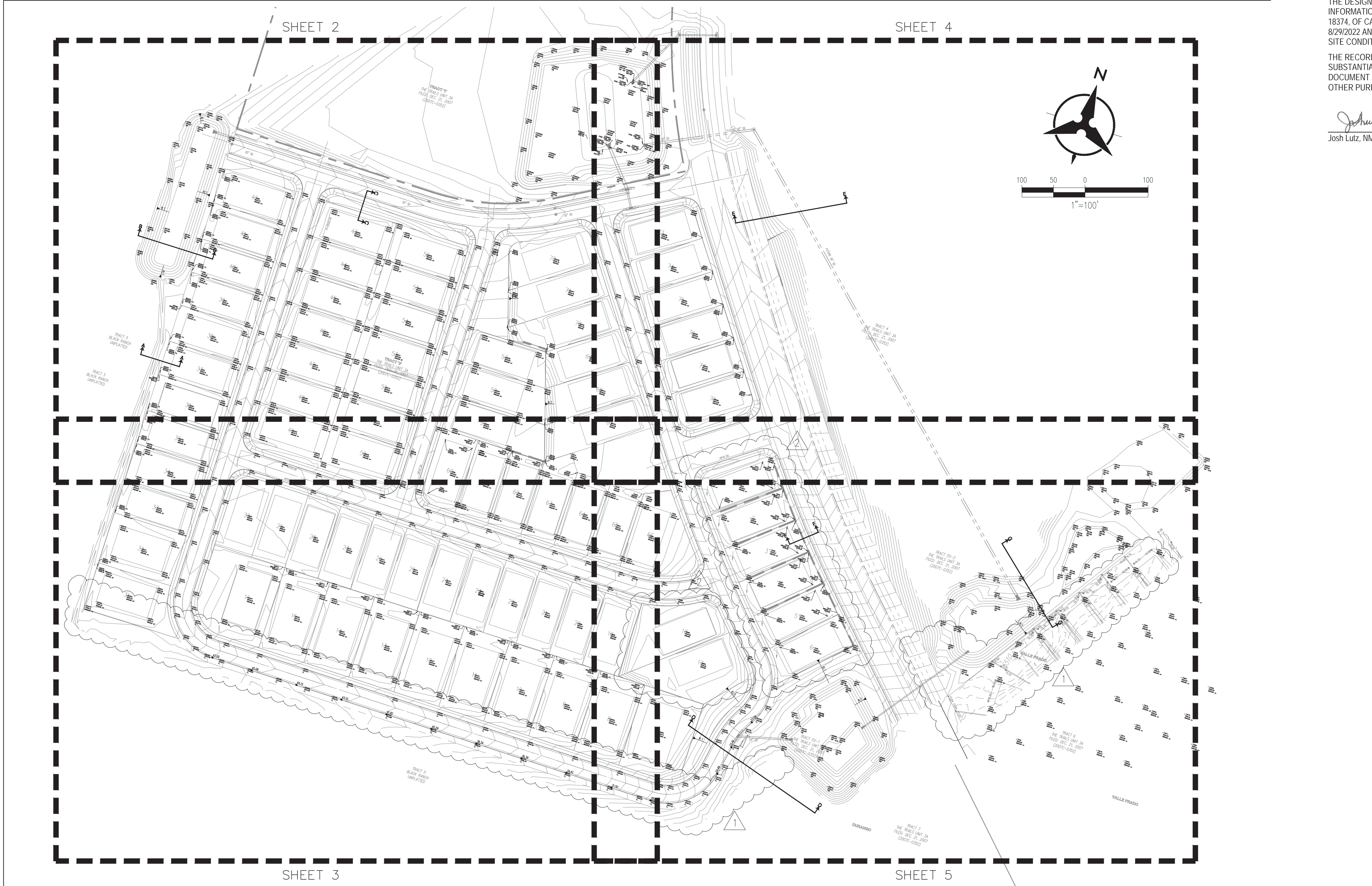
Sincerely,



Josh Lutz, P.E.
Project Engineer
Community Development & Planning

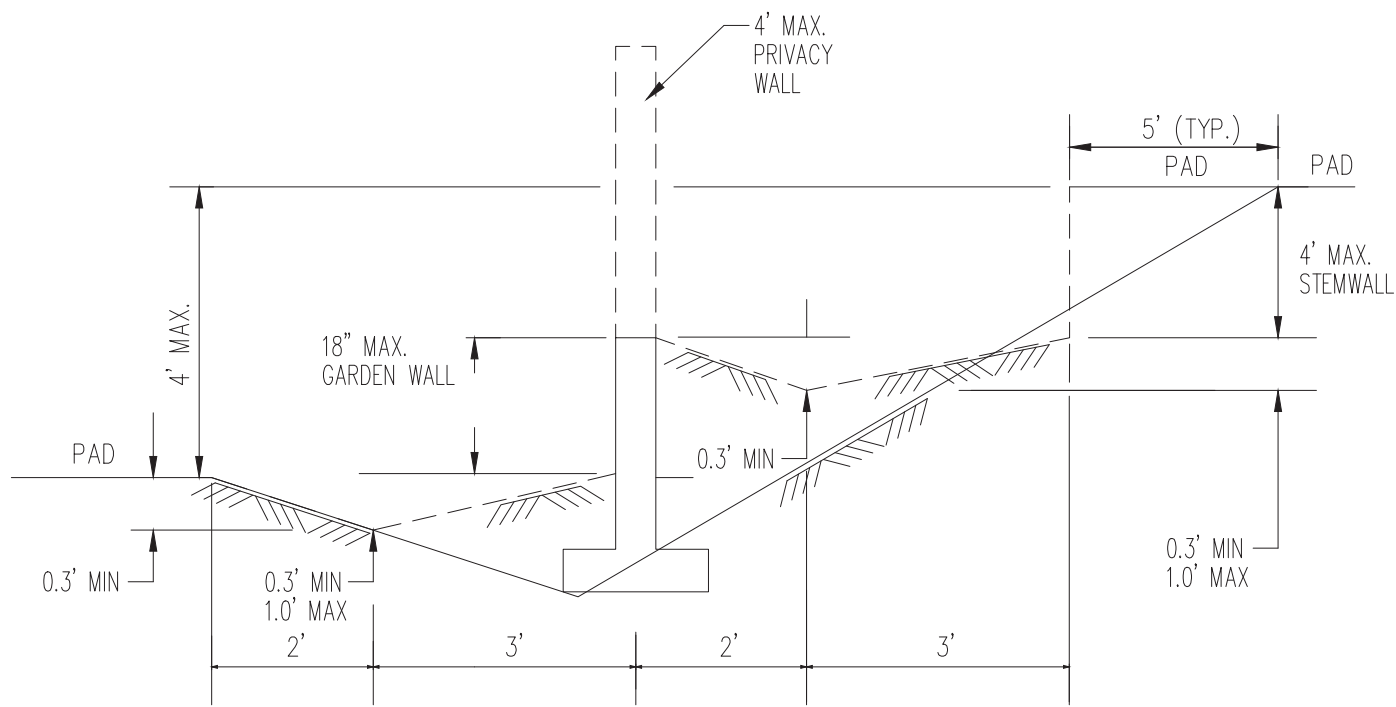
Enclosure

cc: Scott Steffen, PLDG



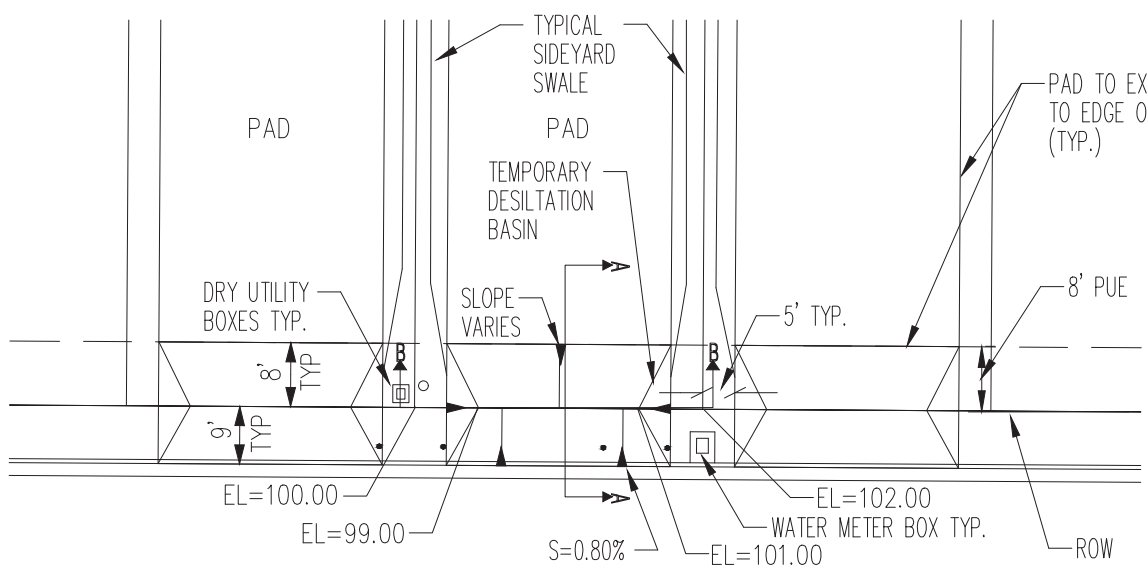
NOTE

ALL SLOPES ON HOA TRACTS TO BE STABILIZED BY NATIVE SEED AND MULCH PER STD SPEC 1012 WITH GRAVEL MULCH OR BETTER.



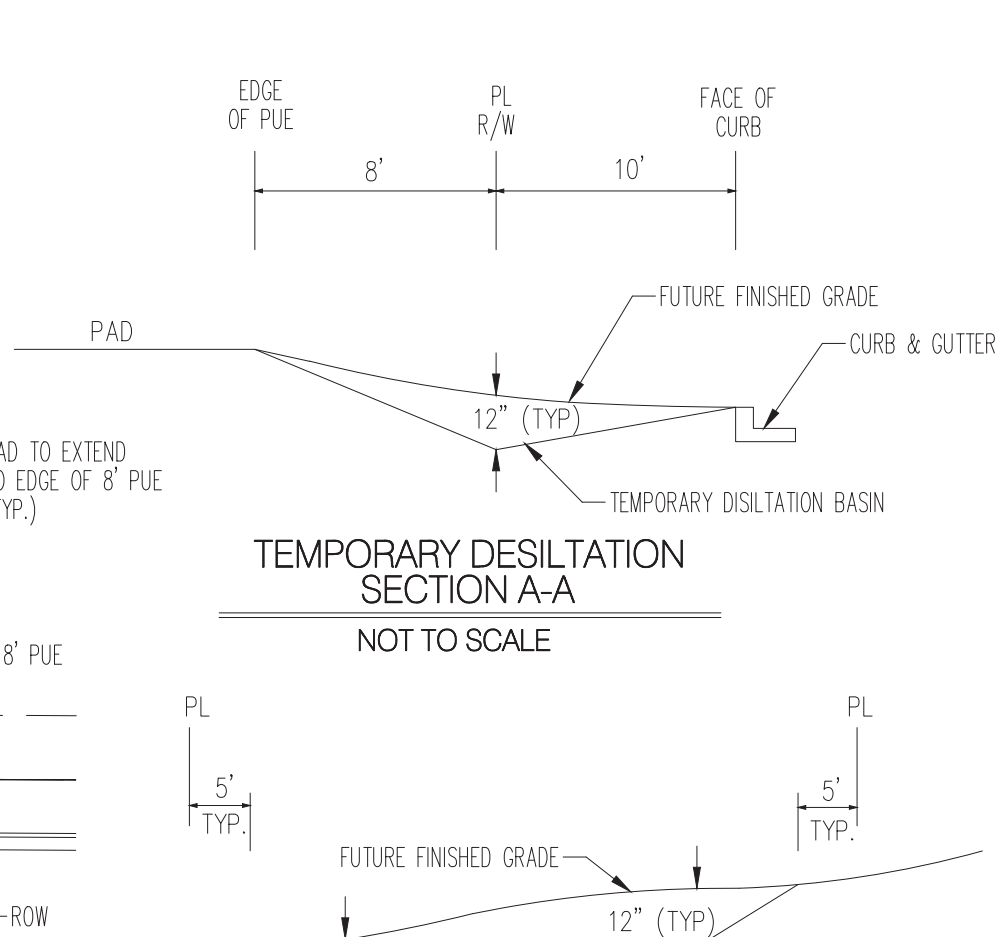
TYPICAL SIDE LOT LINE SECTION
NOT TO SCALE

NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.

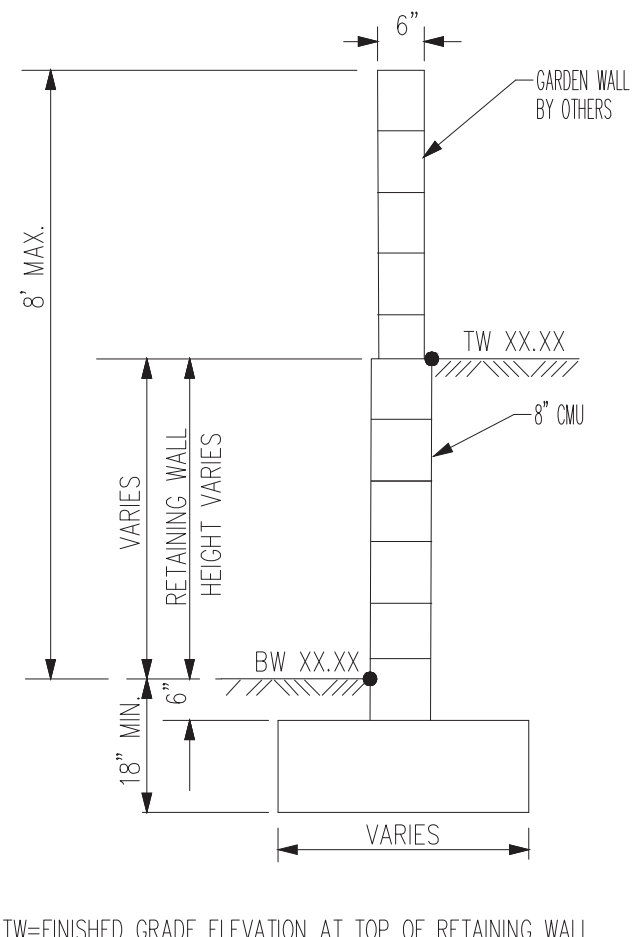


TEMPORARY DESILTATION BASIN
NOT TO SCALE

** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION. SEE GRADING PLANS FOR EXACT ELEVATIONS



TEMPORARY DESILTATION
SECTION B-B
NOT TO SCALE



TYPICAL RETAINING WALL NOMENCLATURE
NOT TO SCALE

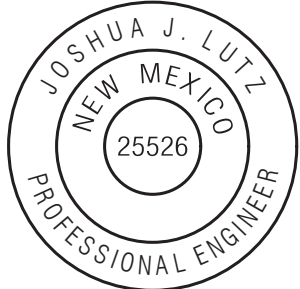
(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.) HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

GRADING AND DRAINAGE CERTIFICATION

I, JOSHUA J. LUTZ, NMPE 25526, OF THE FIRM BOHANNAN HUSTON INC., HEREBY CERTIFY THAT CATALONIA SUBDIVISION HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 02/13/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 8/29/2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDEED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Joshua J. Lutz
Josh Lutz, NMPE 25526
DATE 08/30/2022



D IN ACCORDANCE WITH THE RUE PUBLIC WORKS

WHICH APPLY TO THE DISCHARGE.

TIONS OF ALL POTENTIAL LL NOTIFY THE VT OF DELAY.

SERVICE FOR LOCATION OF

S ENCOUNTERED DURING

COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.

6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.

7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.

9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).

10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.

11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.

12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.

13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.

14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.

2. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION. PRIOR TO CONSTRUCTION, THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT PREPARED BY XBEVINYARD DATED JULY 22, 2013. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).

4. TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (765-1264) FOR LOCATION OF EXISTING UTILITIES.

5. PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.

6. EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.

7. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.

8. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.

9. A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERETO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.

10. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATIONS.

11. ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY CUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.

LEGEND

- PROPOSED SPOT ELEVATION: 5235.25
- EXISTING SPOT ELEVATION: EX 5235.25
- PROPOSED CONTOUR: 5225
- EXISTING STORM DRAIN LINE: ---
- PROPOSED STORM DRAIN INLET: [Symbol]
- PROPOSED STORM DRAIN LINE: [Symbol]
- PROPOSED STORM DRAIN MANHOLE: [Symbol]
- PROPOSED WATER BLOCK: [Symbol]
- RETAINING WALL - CONSTRUCTED PRIOR TO GRADING/PAD CERTIFICATION: [Symbol]
- PAD: 10 P=5300.00
- TURNED BLOCK: TB
- STREET SLOPE: XX

Bohannon & Huston
www.bhinc.com 800.877.5332

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

CATALONIA
OVERALL GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR	
CITY PROJECT NO.	ZONE MAP NO. C-08	SHEET 1	OF	

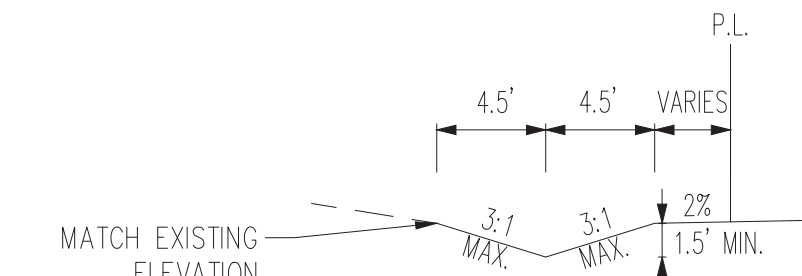
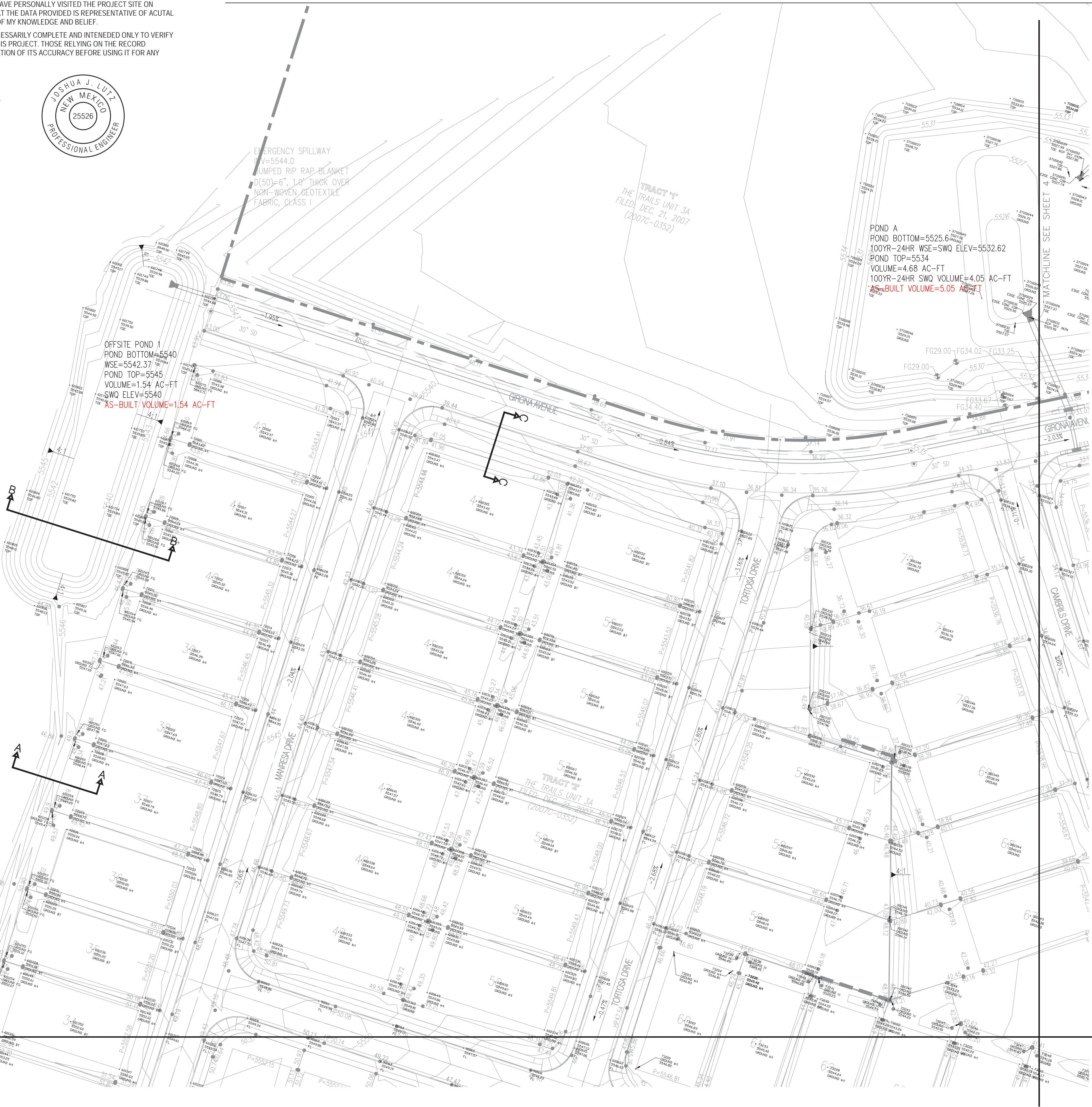
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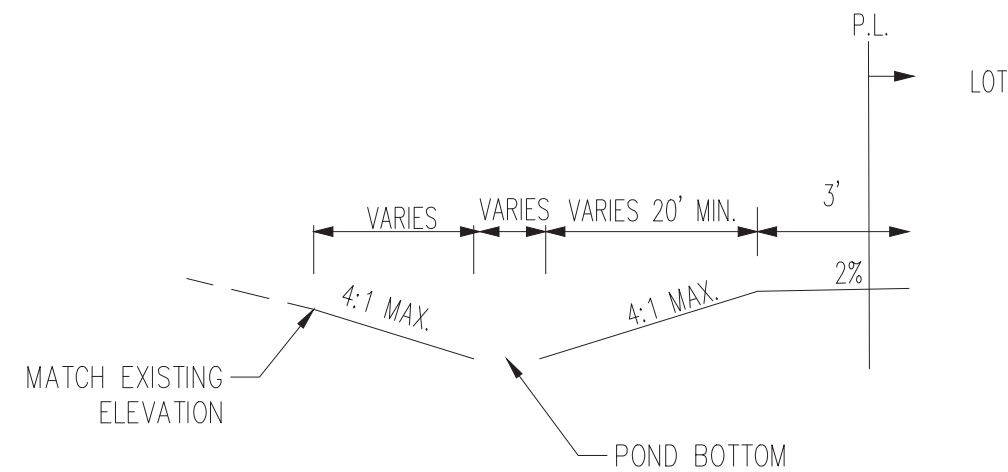
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Josh Lutz, NMPE 25526

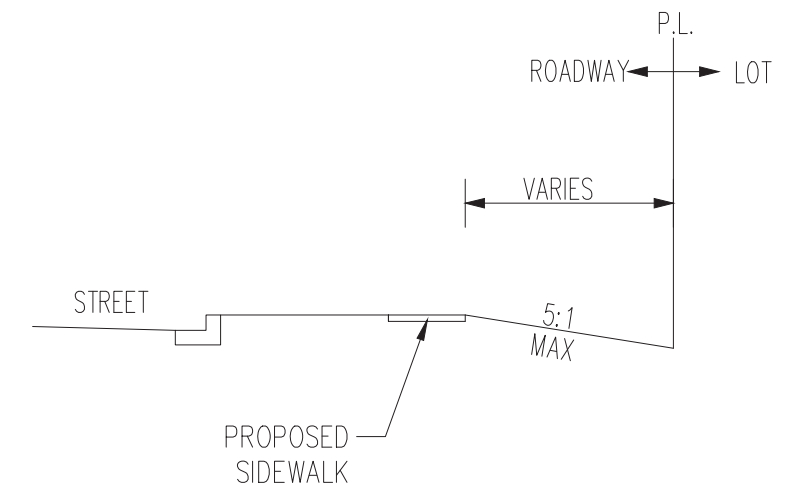
08/30/2022
DATE



TYPICAL CROSS SECTION A-A
NOT TO SCALE



TYPICAL CROSS SECTION B-B
NOT TO SCALE



TYPICAL CROSS SECTION C-C
NOT TO SCALE

LEGEND

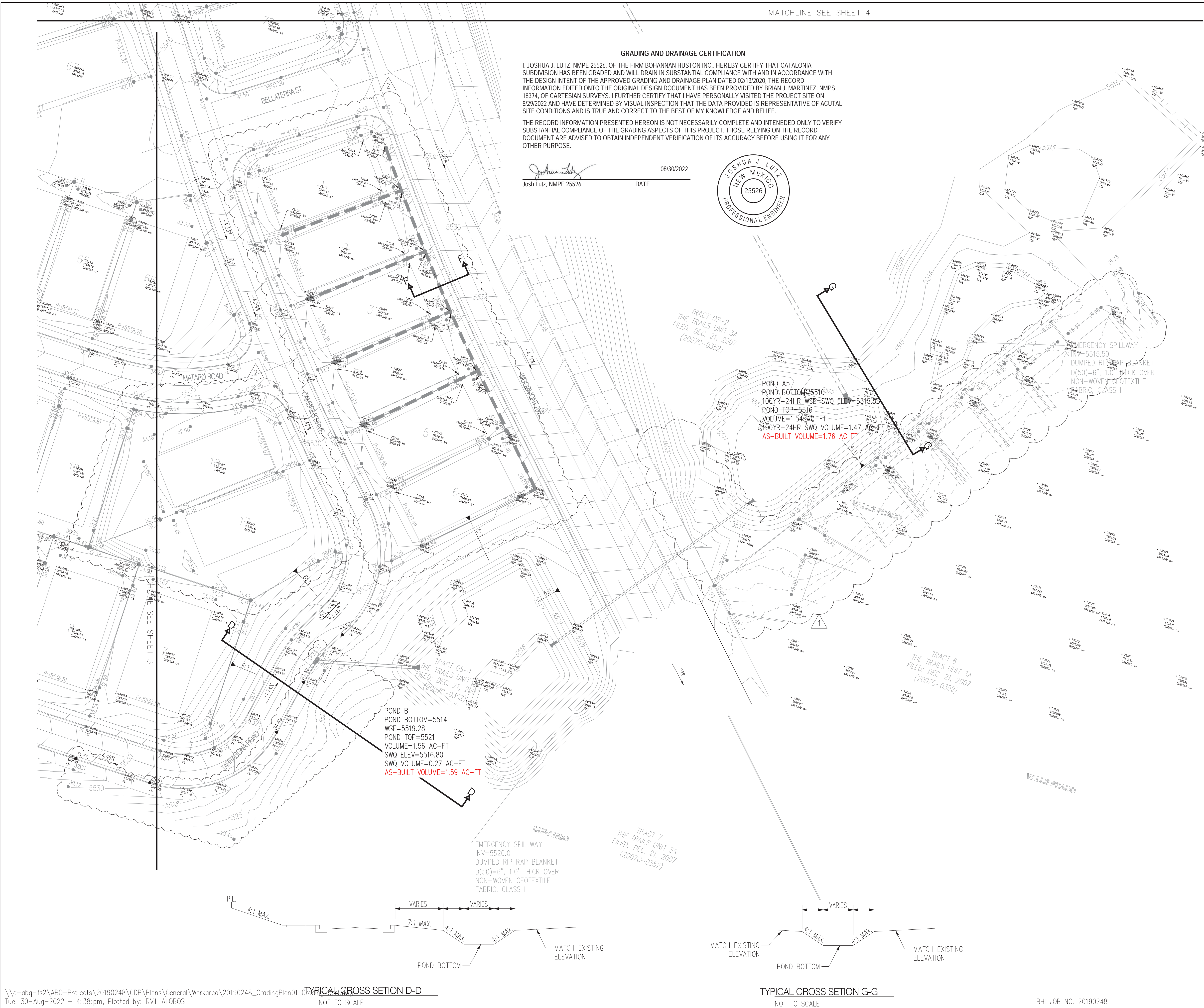
- PROPOSED SPOT ELEVATION: 5235.25
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- EXISTING STORM DRAIN LINE: ---
- PROPOSED STORM DRAIN INLET: [Symbol]
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- RETAINING WALL, CONSTRUCTED PRIOR TO GRADING/PAD CERTIFICATION: [Symbol]
- PAD: 10 P=5300.00
- TURNED BLOCK: TB
- STREET SLOPE: XY

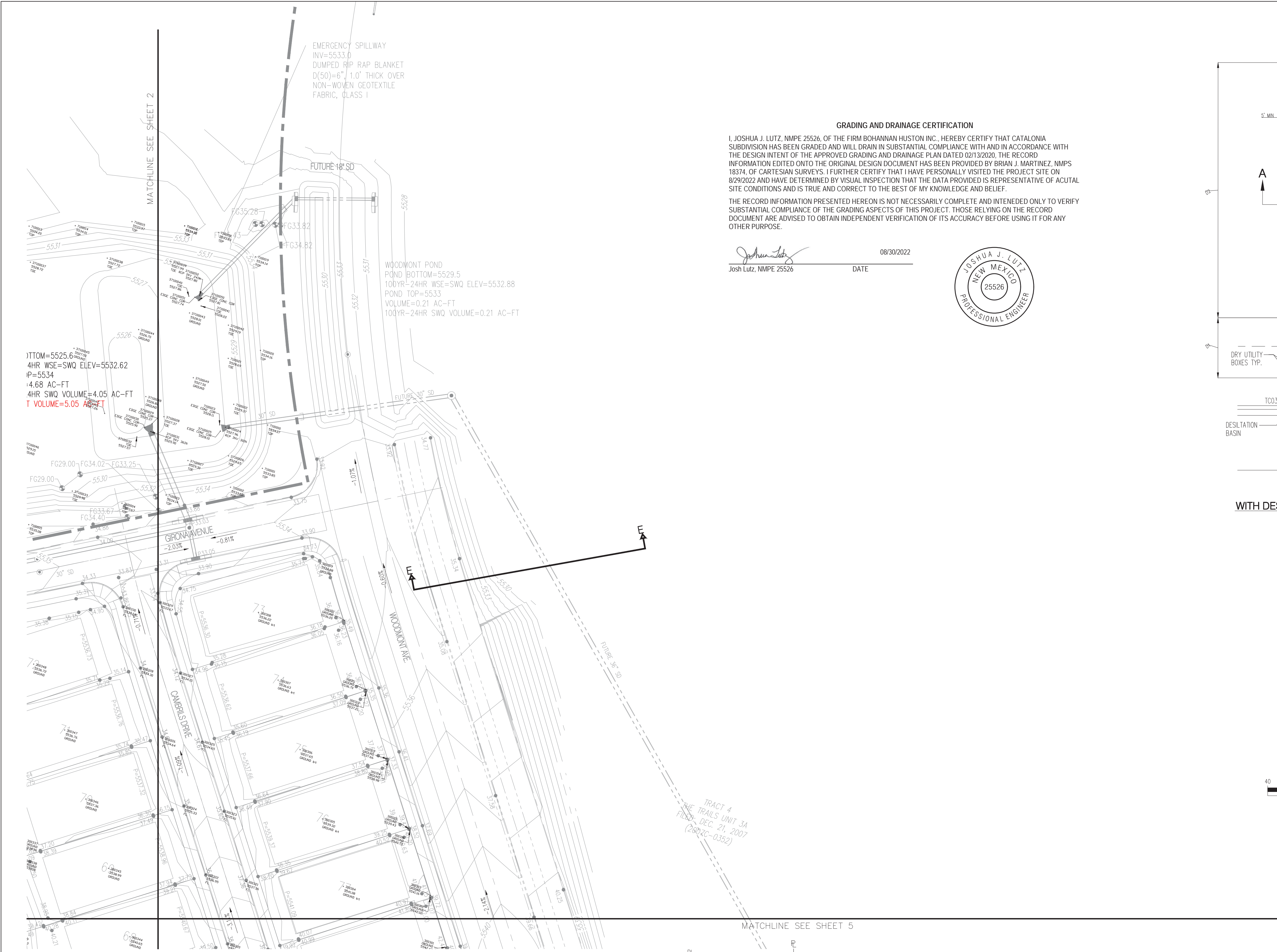
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CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

CATALONIA
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO. C-08	SHEET 2	OF



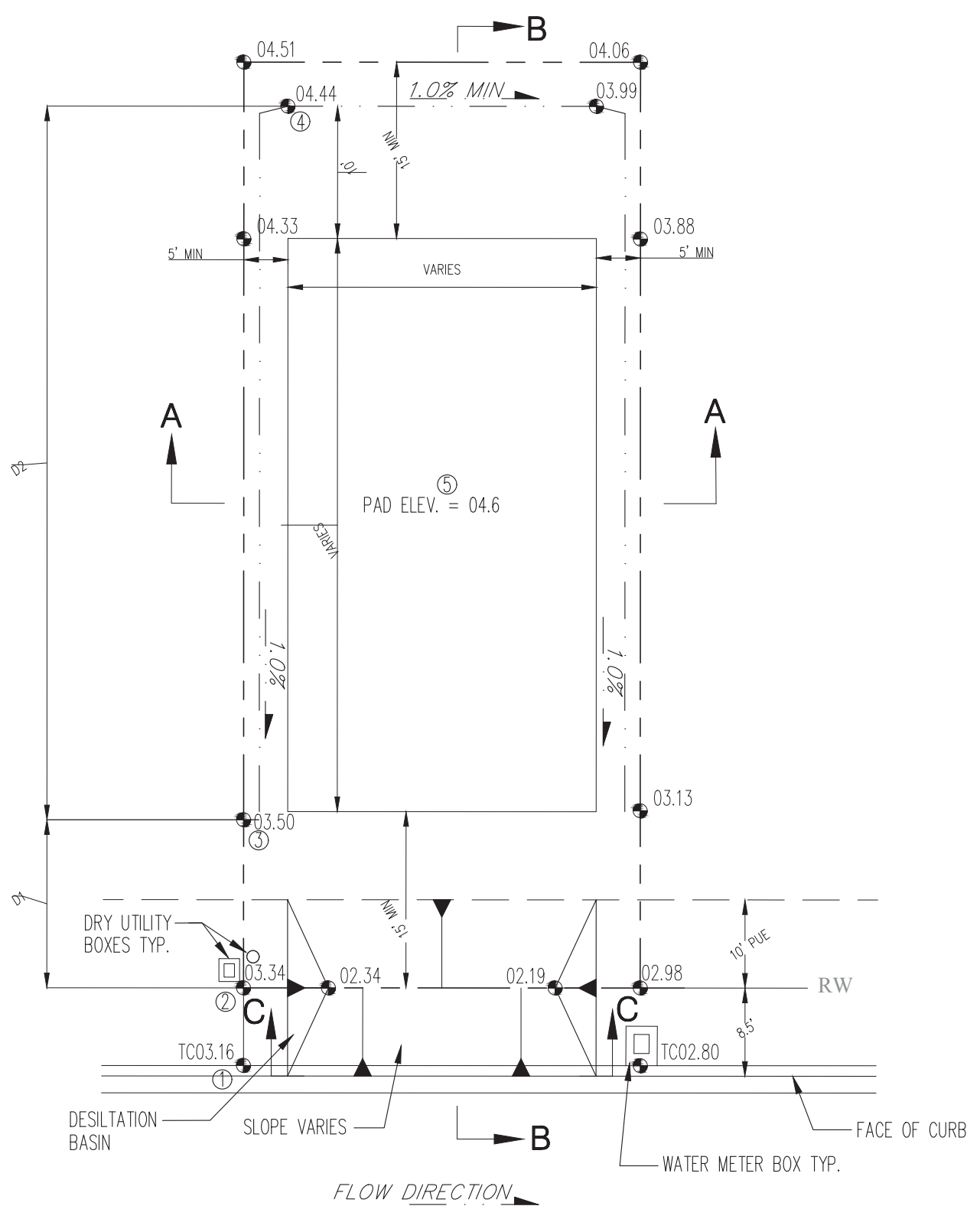
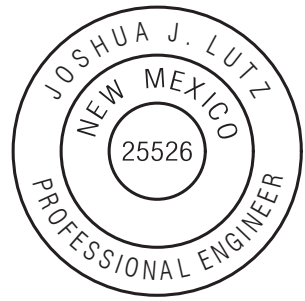


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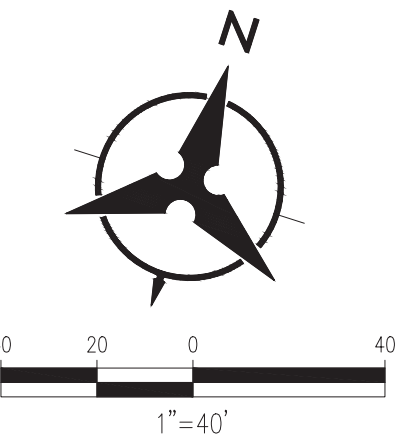
Josh Lutz, NMPE 25526 08/30/2022
DATE



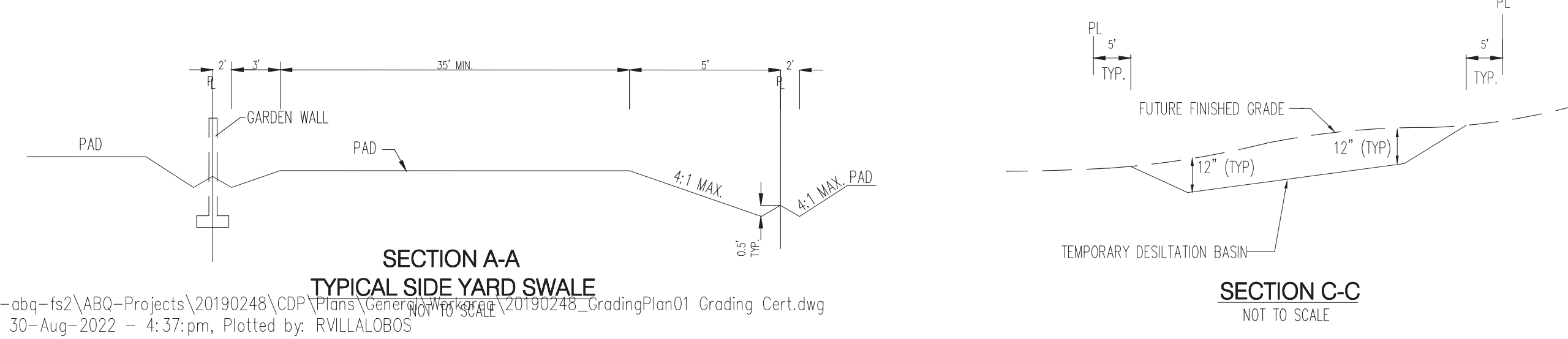
TYPICAL LOT GRADE DETAIL
WITH DESILTATION BASIN FOR SEDIMENTATION CONTROL
NOT TO SCALE

TO SET SPOT ② - ADD 0.17' TO SPOT ①
TO SET SPOT ③ - MULTIPLY D1 BY 1.0% AND ADD TO SPOT ②
TO SET SPOT ④ - MULTIPLY D2 BY 1.0% AND ADD TO SPOT ③
TO SET SPOT ⑤ - ADD 0.2' TO SPOT ④

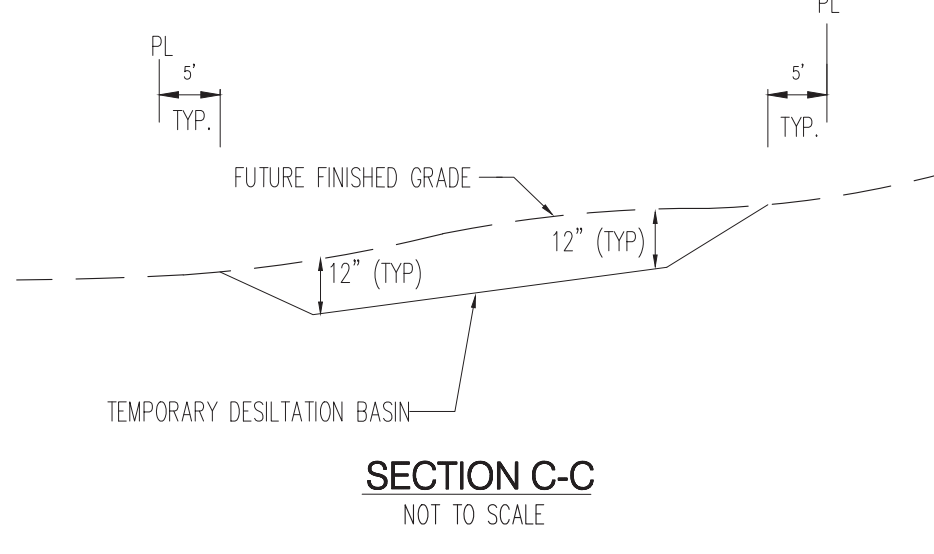
BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION.
SEE GRADING PLANS FOR EXACT ELEVATIONS.
CONTRACTOR SHALL CONSTRUCT TEMPORARY DESILTATION BASIN AT EACH LOT.



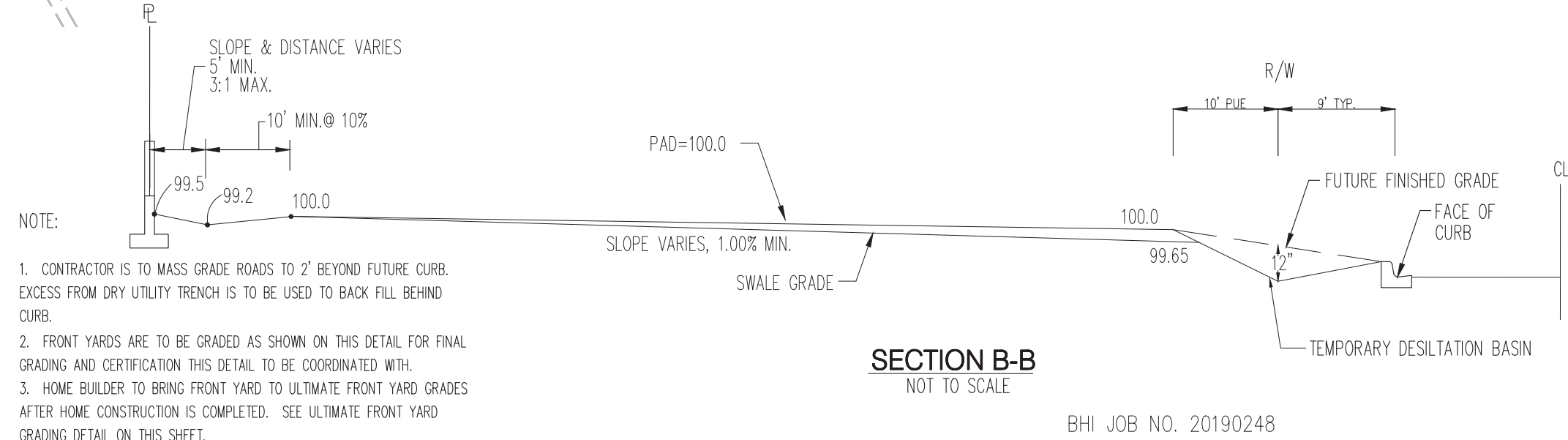
- LEGEND**
- PROPOSED SPOT ELEVATION: 5235.25
 - EXISTING SPOT ELEVATION: EX 5235.25
 - PROPOSED CONTOUR: 5025
 - EXISTING STORM DRAIN LINE: ---
 - PROPOSED STORM DRAIN INLET: [Symbol]
 - PROPOSED STORM DRAIN LINE: [Symbol]
 - PROPOSED STORM DRAIN MANHOLE: [Symbol]
 - PROPOSED WATER BLOCK: [Symbol]
 - RETAINING WALL, CONSTRUCTED PRIOR TO GRADING/PAD CERTIFICATION: [Symbol]
 - PAD: [Symbol]
 - TURNED BLOCK: [Symbol]
 - STREET SLOPE: [Symbol]



SECTION A-A
TYPICAL SIDE YARD SWALE



SECTION C-C
NOT TO SCALE



SECTION B-B
NOT TO SCALE

NOTE:

- CONTRACTOR IS TO MASS GRADE ROADS TO 2' BEYOND FUTURE CURB. EXCESS FROM DRY UTILITY TRENCH IS TO BE USED TO BACK FILL BEHIND CURB.
- FRONT YARDS ARE TO BE GRADED AS SHOWN ON THIS DETAIL FOR FINAL GRADING AND CERTIFICATION THIS DETAIL TO BE COORDINATED WITH.
- HOME BUILDER TO BRING FRONT YARD TO ULTIMATE FRONT YARD GRADES AFTER HOME CONSTRUCTION IS COMPLETED. SEE ULTIMATE FRONT YARD GRADING DETAIL ON THIS SHEET.

BHI JOB NO. 20190248

\\a-obq-fs2\ABQ-Projects\20190248\CDP\Plans\Grading\20190248_GradingPlan01 Grading Cert.dwg
Tue, 30-Aug-2022 - 4:37:pm, Plotted by: RVILLALOBOS

Bohannon & Huston
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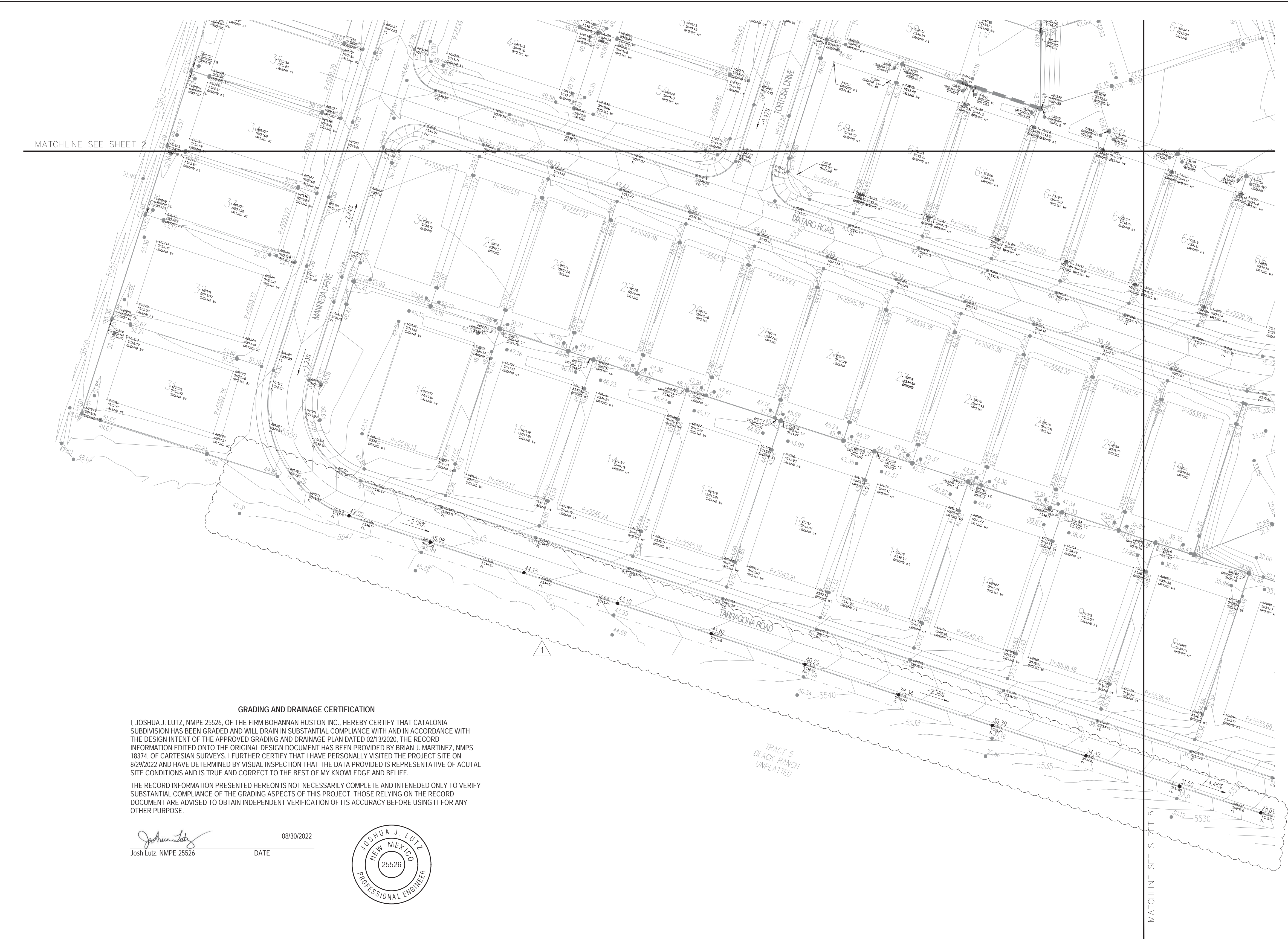
CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT

CATALONIA
GRADING PLAN

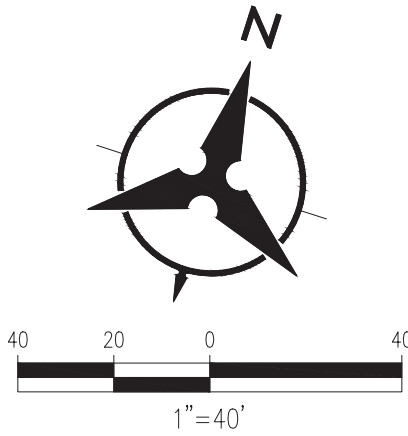
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR	MO./DAY/YR

CITY PROJECT NO. ZONE MAP NO. C-08 SHEET 4 OF

DESIGNED BY YPM DATE 04/19
DRAWN BY AR DATE 04/19
CHECKED BY YPM DATE 04/19



- LEGEND**
- PROPOSED SPOT ELEVATION ● 5235.25
 - EXISTING SPOT ELEVATION ● EX 5235.25
 - PROPOSED CONTOUR — 5025
 - EXISTING STORM DRAIN LINE - - - - -
 - PROPOSED STORM DRAIN INLET □
 - PROPOSED STORM DRAIN LINE ———
 - PROPOSED STORM DRAIN MANHOLE ○
 - PROPOSED WATER BLOCK ———
 - RETAINING WALL, CONSTRUCTED PRIOR TO GRADING/PAD CERTIFICATION ———
 - PAD 10 P=5300.00
 - TURNED BLOCK TB
 - STREET SLOPE XX



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CITY OF ALBUQUERQUE
DEPARTMENT OF
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CATALONIA
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.
PROJECT NO.		ZONE MAP NO. C-08	SHEET 3	OF

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	BY	DATE	ACS MONUMENT STAMPED "UNION"	CONTRACTOR	DATE
			GEOGRAPHIC POSITION (NAD 83)	INSPECTED BY	DATE
			N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	INSPECTOR'S ACCEPTANCE BY	DATE
			N = 1,523,503.475 E = 1,493,655.030	VERIFICATION BY	DATE
			GROUND-TO-GRID FACTOR = 0.999664360	DRAWINGS CHECKED BY	DATE
			2d = -0016'58.96"	MICRO-FILM INFORMATION	
			NAVD 1988 ELEVATION = 5524.950	RECORDED BY	DATE
				NO.	DATE