

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 9, 2024

Donnie Duneman, PE
Huitt-Zollars, Inc.
333 Rio Rancho Drive NE
Rio Rancho, NM 87124

**RE: Universe View Apartments
Revised Conceptual Grading & Drainage Plan
Engineer's Stamp Date: 10/24/23
Hydrology File: C09D016B**

Dear Mr. Duneman:

Based upon the information provided in your submittal received 12/20/2023, the Revised Conceptual Grading & Drainage Plan is preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

PRIOR TO BUILDING PERMIT:

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Universe View Subdivision

Project Title: Apartments **Building Permit #** TBD **Hydrology File #** C09D016

DRB# PR-2020-004596 **EPC#** _____

Legal Description: Lot 2, Block A, Unit 17, Universe View Subdivision (UPC: 101006305745520820) **City Address OR Parcel** SE corner of Universe Blvd. NW and Rosa Parks Road NW, Alb., NM 87120

Applicant/Agent: Huitt-Zollars, Inc. for Issa Rabadi **Contact:** Donnie Duneman, PE

Address: 333 Rio Rancho Drive NE, Rio Rancho, NM 87124 **Phone:** 505-235-7158

Email: dduneman@huitt-zollars.com

Applicant/Owner: Issa Rabadi **Contact:** Issa Rabadi

Address: 1464 E. Victor Hugo Ave., Phoenix, AZ 85022 **Phone:** 602-233-1005

Email: rabadi54@hotmail.com

TYPE OF DEVELOPMENT: ___ PLAT (#of lots) ___ RESIDENCE ___ DRB SITE ___ ADMIN SITE: X

RE-SUBMITTAL: X YES ___ NO

DEPARTMENT: ___ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that apply:

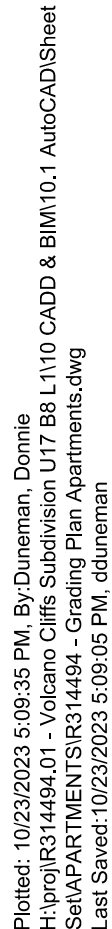
TYPE OF SUBMITTAL:

- ___ ENGINEER/ARCHITECT CERTIFICATION
- ___ PAD CERTIFICATION
- X CONCEPTUAL G&D PLAN
- ___ GRADING PLAN
- ___ DRAINAGE REPORT
- ___ DRAINAGE MASTER PLAN
- ___ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ___ ELEVATION CERTIFICATE
- ___ CLOMR/LOMR
- ___ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ___ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ___ TRAFFIC IMPACT STUDY (TIS)
- ___ STREET LIGHT LAYOUT
- ___ OTHER (SPECIFY)
- ___ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ___ BUILDING PERMIT APPROVAL
- ___ CERTIFICATE OF OCCUPANCY
- ___ CONCEPTUAL TCL DRB APPROVAL
- ___ PRELIMINARY PLAT APPROVAL
- ___ SITE PLAN FOR SUB'D APPROVAL
- X SITE PLAN FOR BLDG PERMIT APPROVAL
- ___ FINAL PLAT APPROVAL
- ___ SIA/RELEASE OF FINANCIAL GUARANTEE
- ___ FOUNDATION PERMIT APPROVAL
- ___ GRADING PERMIT APPROVAL
- ___ SO-19 APPROVAL
- ___ PAVING PERMIT APPROVAL
- ___ GRADING PAD CERTIFICATION
- ___ WORK ORDER APPROVAL
- ___ CLOMR/LOMR
- ___ FLOOD PLAN DEVELOPMENT PERMIT
- ___ OTHER (SPECIFY) _____

DATE SUBMITTED: 12/15/23

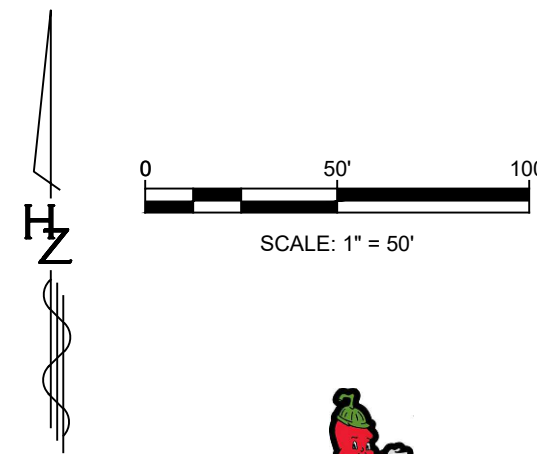


1. SEE SWPPP (BY OTHERS) FOR STABILIZATION MEASURES.
2. SEE PLAT FOR LOT DIMENSIONS.
3. RETAINING WALL DESIGN WILL BE SUBMITTED SEPARATELY FOR BUILDING PERMIT.
4. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
5. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.
6. CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY

	EXISTING (INDEX) CONTOUR
	EXISTING (INTERMED.) CONTOUR
	PROPOSED (INDEX) CONTOUR
	PROPOSED (INTERMED.) CONTOUR
	GRADING LIMITS
	NATIVE SEEDING PER SECTION 10'
	GRAVEL MULCH PER SECTION 10'
	2" - 4" LANDSCAPE ROCK (DEFERRED)
	2" - 4" LANDSCAPE ROCK
	6" - 8" LANDSCAPE ROCK
	12" - 18" LANDSCAPE ROCK
	12" SUBGRADE PREP
	CONCRETE
	BASE COURSE ACCESS ROAD
	WATERBLOCK (HIGH POINT)
	SWALE
	PROPOSED RETAINING WALL
	DRAINAGE BASIN BOUNDARY
	DRAINAGE BASIN NUMBER

THE AMENDED DRAINAGE STUDY FOR UNIVERSE VIEW SUBDIVISION DATED MARCH 8, 2023 WAS APPROVED BY CITY HYDROLOGY ON MARCH 16, 2023 AND SERVES AS THE BASIS FOR DESIGN OF THE PROJECT SITE. DEVELOPED CONDITIONS STORM-WATER RUNOFF WILL DRAIN ON THE SURFACE TO 2-SINGLE TYPE 'C' INLETS IN SAG LOCATED NEAR THE SOUTHERN PROPERTY LINE OF THE SITE, THEN CONVEYED TO THE DETENTION POND 1 LOCATED TO THE EAST OF THE PROJECT SITE. OFF-SITE BASIN OS-1 (LOCATED TO THE NORTH OF BASIN 201A) AND BASIN 201A WILL BE CAPTURED BY A BEEHIVE TYPE INLET LOCATED TO THE NORTHWEST OF THE APARTMENT SITE. A BASIN SUMMARY TABLE WITH LAND TREATMENTS AND RESULTS OF THE HYDROLOGIC ANALYSIS IS SHOWN BELOW. THE APPROVED DRAINAGE REPORT AND THIS ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL.

Universe View Apartments							
Basin Summary - Developed Conditions							
Basin	Area (Acre)	%A	%B	%C	%D	100-Year V (AC-FT)	100-Year Q (CFS)
05-1	27.96	98	0	0	2	1.35	33.26
201A	2.94	0	5	5	90	0.45	11.62
201B1	3.34	0	15	15	70	0.45	12.13
201B2	3.22	0	15	15	70	0.43	11.70
	37.5					2.68	68.7



HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive, Suite 100
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

Design Review Committee	City Engineer

City Project No. 709790	Zone Map No. D - 10	Sheet 3A	Of 5
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PROJECT NO. PR-2020-004596 SHEET

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