

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 5, 2023

Donnie Duneman, PE
Huitt-Zollars, Inc.
333 Rio Rancho Drive NE
Rio Rancho, NM 87124

**RE: Universe View Commercial
Conceptual Grading & Drainage Plan
Engineer's Stamp Date: 07/31/23
Hydrology File: C09D016C**

Dear Mr. Duneman:

Based upon the information provided in your submittal received 08/10/2023, the Conceptual Grading & Drainage Plan is preliminary approved for action by the Development Facilitation Team (DFT) on Site Plan for Building Permit.

PRIOR TO BUILDING PERMIT:

1. Please submit a more detailed Grading & Drainage Plan to Hydrology for review and approval. This digital (.pdf) is emailed to PLNDRS@cabq.gov along with the Drainage Transportation Information Sheet.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Universe View Subdivision

Project Title: Commercial Development **Building Permit #** TBD **Hydrology File #** C09D016

DRB# PR-2020-004596 **EPC#** _____

Legal Description: Lot 1, Block A, Unit 17, Universe View Subdivision (UPC: 101006305745520820) **City Address OR Parcel** SE corner of Universe Blvd. NW and Rosa Parks Road NW, Alb., NM 87120

Applicant/Agent: Huitt-Zollars, Inc. for Issa Rabadi **Contact:** Donnie Duneman, PE

Address: 333 Rio Rancho Drive NE, Rio Rancho, NM 87124 **Phone:** 505-235-7158

Email: dduneman@huitt-zollars.com

Applicant/Owner: Issa Rabadi **Contact:** Issa Rabadi

Address: 1464 E. Victor Hugo Ave., Phoenix, AZ 85022 **Phone:** 602-233-1005

Email: rabadi54@hotmail.com

TYPE OF DEVELOPMENT: ___ PLAT (#of lots) ___ RESIDENCE ___ DRB SITE ___ ADMIN SITE: X

RE-SUBMITTAL: ___ YES X NO

DEPARTMENT: ___ TRANSPORTATION X HYDROLOGY/DRAINAGE

Check all that apply:

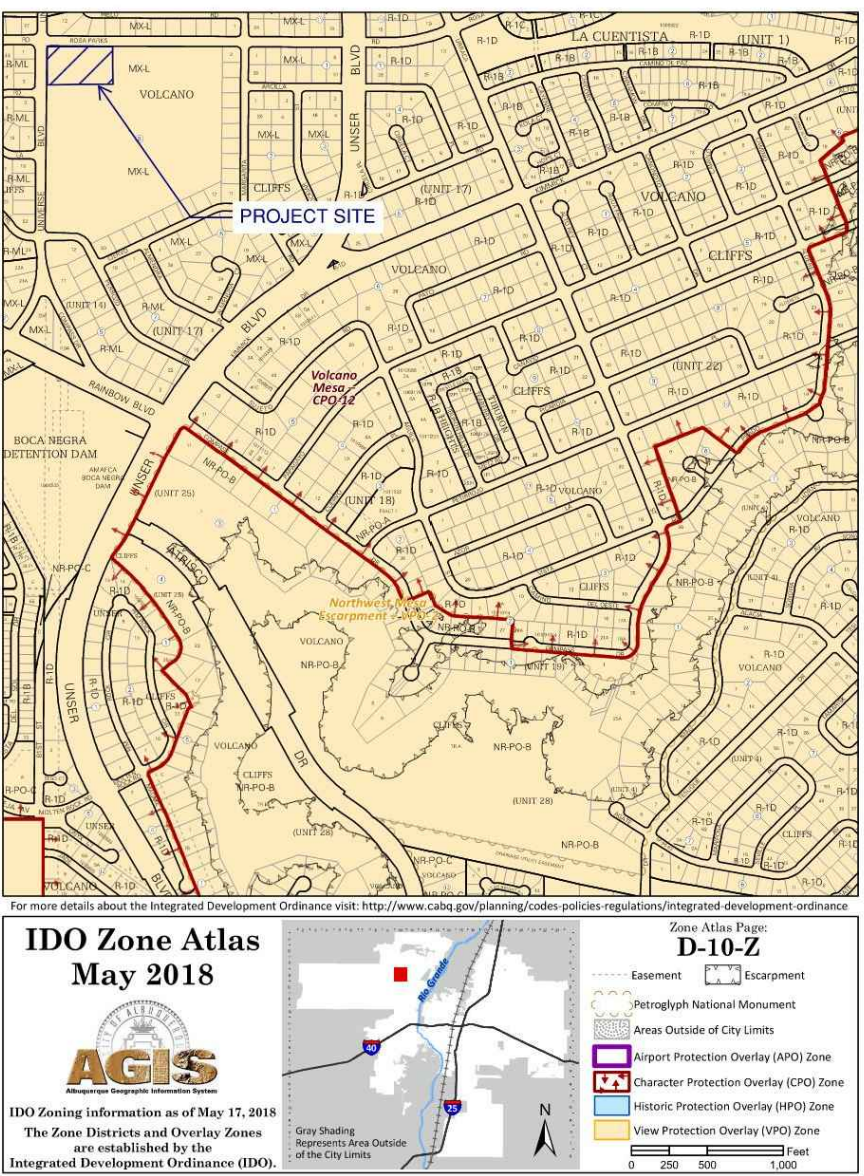
TYPE OF SUBMITTAL:

- ___ ENGINEER/ARCHITECT CERTIFICATION
- ___ PAD CERTIFICATION
- X CONCEPTUAL G&D PLAN
- ___ GRADING PLAN
- ___ DRAINAGE REPORT
- ___ DRAINAGE MASTER PLAN
- ___ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ___ ELEVATION CERTIFICATE
- ___ CLOMR/LOMR
- ___ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ___ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ___ TRAFFIC IMPACT STUDY (TIS)
- ___ STREET LIGHT LAYOUT
- ___ OTHER (SPECIFY)
- ___ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

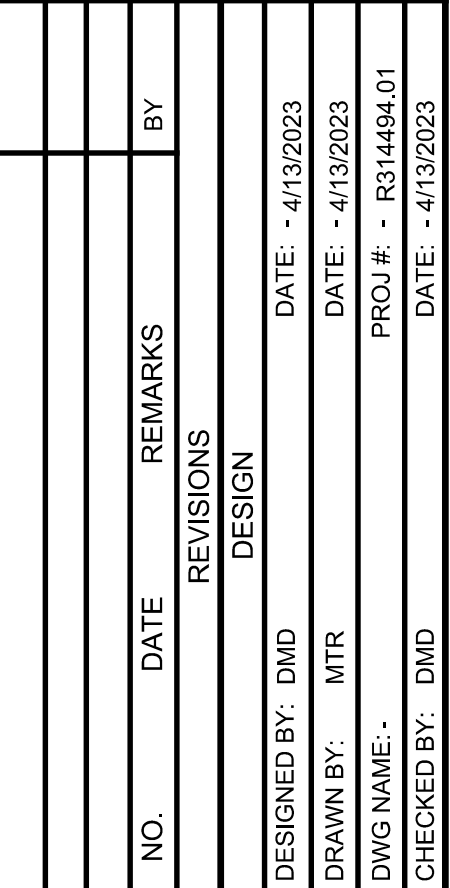
- ___ BUILDING PERMIT APPROVAL
- ___ CERTIFICATE OF OCCUPANCY
- ___ CONCEPTUAL TCL DRB APPROVAL
- ___ PRELIMINARY PLAT APPROVAL
- ___ SITE PLAN FOR SUB'D APPROVAL
- X SITE PLAN FOR BLDG PERMIT APPROVAL
- ___ FINAL PLAT APPROVAL
- ___ SIA/RELEASE OF FINANCIAL GUARANTEE
- ___ FOUNDATION PERMIT APPROVAL
- ___ GRADING PERMIT APPROVAL
- ___ SO-19 APPROVAL
- ___ PAVING PERMIT APPROVAL
- ___ GRADING PAD CERTIFICATION
- ___ WORK ORDER APPROVAL
- ___ CLOMR/LOMR
- ___ FLOOD PLAN DEVELOPMENT PERMIT
- ___ OTHER (SPECIFY) _____

DATE SUBMITTED: 7/31/23



—5050— EXISTING (INDEX) CONTOUR
 5251— EXISTING (INTERMED.) CONTOUR
 —5040— PROPOSED (INDEX) CONTOUR
 5041— PROPOSED (INTERMED.) CONTOUR

- [illegible]



HUITT-ZOLLARS
Huitt-Zollars, Inc. Rio Rancho
333 Rio Rancho Drive, Suite 100
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259

TITLE: CONCEPTUAL GRADING & DRAINAGE PLAN

City Project No. **709790** Zone Map No. **D - 10** Sheet **3A** Of **5**

PROJECT NO. PR-2020-004596 SHEET 1

1. SEE SWPPP (BY OTHERS) FOR STABILIZATION MEASURES.
2. SEE PLAN FOR LOT DIMENSIONS.
3. RETAINING WALL DESIGN WILL BE SUBMITTED SEPARATELY FOR BUILDING PERMIT.
4. EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION FOR THIS PROJECT.
5. THE STORM WATER POLLUTION PREVENTION PLAN SHALL BE MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION PROJECT.
6. CONTRACTOR SHALL OBTAIN PERMISSION TO GRADE ON PRIVATE PROPERTY. CITY SHALL NOT BE RESPONSIBLE FOR CONTRACTOR TRESPASSING ON PRIVATE PROPERTY



Universe View Commercial							
Basin Summary - Developed Conditions							
Basin	Area (Acre)	%A	%B	%C	%D	100-Year V (AC-FT)	100-Year Q (CFS)
OS-1	27.96	98	0	0	2	1.35	33.26
201A1	0.55	0	5	5	90	0.08	2.17
201A2	0.20	0	5	5	90	0.03	0.79
201A3	1.24	0	5	5	90	0.19	4.90
201A4	0.94	0	5	5	90	0.14	3.71
	30.9					1.80	44.8

City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
PRELIMINARY APPROVED
DATE: 09/05/23
BY: *Renee C. Brissett*
HydroTrans # C09D016C

THESE PLANS AND/OR REPORT ARE
CONCEPTUAL ONLY. MORE INFORMATION MAY
BE NEEDED IN THEM AND SUBMITTED TO
HYDROLOGY FOR BUILDING PERMIT APPROVAL.

THE AMENDED DRAINAGE STUDY FOR UNIVERSE VIEW SUBDIVISION DATED MARCH 8, 2023 WAS APPROVED BY CITY HYDROLOGY ON MARCH 16, 2023 AND SERVES AS THE BASIS FOR DESIGN OF THE PROJECT SITE. DEVELOPED CONDITIONS STORM-WATER RUNOFF WILL DRAIN ON THE SURFACE TO 4 INLETS LOCATED ALONG THE SOUTH SIDE OF THE PROPERTY, THEN CONVEYED SOUTH VIA STORM DRAIN THRU THE APARTMENT SITE TO THE DETENTION POND 1 TO BE CONSTRUCTED WITH CQA WORK ORDER PROJECT #07970. OFFSITE RUNOFF (BASIN OS-1) FROM THE NORTH OF ROSA PARKS ROAD IS CONVEYED THROUGH THE COMMERCIAL LOT VIA RIPRAP CHANNEL TO AN EXISTING BEEHIVE GRATE INLET TO BE CONSTRUCTED WITH THE APARTMENT DEVELOPMENT. BASIN RD1 DOES NOT IMPACT THE PROJECT SITE, AS IT DRAINS DIRECTLY TO UNIVERSE BLVD. A BASIN SUMMARY TABLE WITH LAND TREATMENTS AND RESULTS OF THE HYDROLOGIC ANALYSIS IS SHOWN TO THE RIGHT. THE APPROVED DRAINAGE REPORT AND THIS ANALYSIS IS IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL.