



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

**Project Title:** Universe View Strip Mall **Building Permit #** \_\_\_\_\_ **Hydrology File #** \_\_\_\_\_

**DRB#** \_\_\_\_\_ **EPC#** \_\_\_\_\_

**Legal Description:** Lot 1 Block 8 Volcano Cliffs **City Address OR Parcel** 101006305745520820

**Applicant/Agent:** Scott Anderson **Contact:** \_\_\_\_\_

**Address:** 4419 4th St NW Ste B, Alb, NM 87107 **Phone:** 505 401-7575

**Email:** Scott@scaarchitects.com

**Applicant/Owner:** \_\_\_\_\_ **Contact:** \_\_\_\_\_

**Address:** \_\_\_\_\_ **Phone:** \_\_\_\_\_

**Email:** \_\_\_\_\_

**TYPE OF DEVELOPMENT:**  PLAT (#of lots)  RESIDENCE  DRB SITE  ADMIN SITE: \_\_\_\_\_

RE-SUBMITTAL:  YES  NO

**DEPARTMENT:**  TRANSPORTATION  HYDROLOGY/DRAINAGE

Check all that apply:

### TYPE OF SUBMITTAL:

- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOOD PLAN DEVELOPMENT PERMIT APP.
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY)
- PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DRB APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOOD PLAN DEVELOPMENT PERMIT
- OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 8/4/2023



**SCOTT C. ANDERSON**  
& associates architects  
4419 4th St nw ste B  
albuquerque, nm 87107  
scott@scaarchitects.com  
505.401.7575

September 4, 2023

**Ms. Marwa Al-najjar, PE**  
Planning Department  
Transportation Development  
600 2<sup>nd</sup> St. NW, Suite 201  
Albuquerque, NM 87102  
505 924-3675  
malnajjar@cabq.gov

Re: Universe View Strip Mall, TCL letter of response

Dear Ms. Al-najjar:

I am writing in response to your TCL comment letter dated August 30, 2023. I have made the following corrections to the plan as noted below in red.

1. Identify all existing access easements and rights of way width dimensions. **Added reference keyed note 23.**
2. Identify the right of way width, medians, curb cuts, and street widths on Universe Blvd, Rosa Parks Rd, and Curved Water Dr. **Added to sheet.**
3. Please provide Infrastructure List showing the improvement of Rosa Parks Rd and Curved Water Dr. **Provided, see attached.**
4. Per approved Traffic Impact Analysis letter, please show on the site plan the improvement on the intersection of Universe Blvd. and Rosa Parks Rd. (Build a southbound left-turn lane, 240 feet long with a 300'-150' reverse curve transition). **Provided, see attached.**
5. Please build a curb return design for the site accesses off Universe Blvd. and Rosa Parks Rd. show the radii on the site plan. Per the DPM, a curb returns design need to be built on Collectors and Arterials and for development with 50 or more required parking spaces. **Added to sheet.**
6. Show on the site plan the width for the standard parking spaces. **Added.**
7. Please clarify the pedestrian pathway width on the site plan. **Additional dimensions provided.**
8. Please clarify the correct location for keynotes 15, and 16. **References corrected.**
9. Please clarify, is this a one-way drive aisle? **This is a one-way drive aisle directional arrows, pavement markings and Do Not Enter signs added.**
10. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space. **"MC" added to motorcycle spaces. Due to the scale of the drawing, one "MC" was added below two motorcycle spaces. The general notes were modified to state "'MC" SHALL BE PAINTED ON THE PAVEMENT OF EACH MOTORCYCLE PARKING SPACE"**
11. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles. **Pavement section added.**



**SCOTT C. ANDERSON**  
& associates architects

4419 4th St nw ste B  
albuquerque, nm 87107  
scott@scaarchitects.com  
505.401.7575

12. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping. **Signs and pavement markings added.**

Respectfully,

Scott C. Anderson

**SOLID WASTE NOTES:**

THE DEVELOPMENT HAS NO GATES

THE SLOPE LEADING TO THE TRASH ENCLOSURE/DUMPSTER SHALL BE NO GREATER THAN 1/8" PER FOOT ON THE APPROACH.

THERE IS FOOD SERVICE FOR THIS PROJECT. ALL REFUSE ENCLOSURES SHALL HAVE GREASE DRAINS AND GREASE INTERCEPTORS

RECYCLING CONTAINERS LOCATED ADJACENT TO THE REFUSE ENCLOSURE, SEE KEYED NOTE.

THE REFUSE DRIVER SHALL HAVE ACCESS TO TRASH ENCLOSURE/DUMPSTER BY 5:00AM.

THERE ARE NO OVERHANGING WIRES LEADING TO AND EXITING FROM THE TRASH ENCLOSURE.

THIS PROJECT WILL NOT ALTER EXISTING TRASH SERVICE FOR THE SURROUNDING BUSINESSES DURING CONSTRUCTION.

OWNER SHALL PURCHASE 8 CY REFUSE CONTAINER.

UPC: 101006305745520820  
 LEGAL: LOT 001 BLOCK 8 VOLCANO CLIFFS SUBDIVISION  
 ZONING: MX-L  
 ZONE ATLAS PAGE: D-10

GROSS LOT AREA = 6.5656 AC = 285,999.06 SF  
 BUILDING FOOTPRINT = 31,561 SF  
 NET LOT AREA = 30 SF  
 REQUIRED LANDSCAPE AREA @ 15% = 29,023 SF ; 74,520 SF PROVIDED

PARKING:  
 OFFICE

BUILDING 1 : 10,000 SF X 3.5 SPACES = 35 SPACES  
 BUILDING 2 : 11,680 X 3.5 SPACE = 41 SPACES

TOTAL SPACES REQUIRED = 76 SPACES  
 TOTAL SPACES PROVIDED = 109 SPACES

HC REQUIRED: 4 STANDARD, 3 VAN  
 MOTORCYCLE PARKING 151-300 SPACES: 5 SPACES REQUIRED / 6 PROVIDED  
 BIKE PARKING 10% OF 246: 25 REQUIRED, 32 SPACES PROVIDED

NOTE:  
 ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED IN ON A PUBLIC WORK ORDER.

LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.

ALL PAVING SHALL BE ASPHALT UNLESS NOTED OTHERWISE, REF. DETAIL THIS SHEET.

ALL MECHANICAL EQUIPMENT SHALL BE SCREENED IN ACCORDANCE WITH IDO SECTION 5-5 (G).

ALL OUTDOOR LIGHT FIXTURES SHALL BE LED. FIXTURES 70 WATTS OR GREATER SHALL BE SHIELDED USING FULL CUTOFF LIGHT FIXTURES.

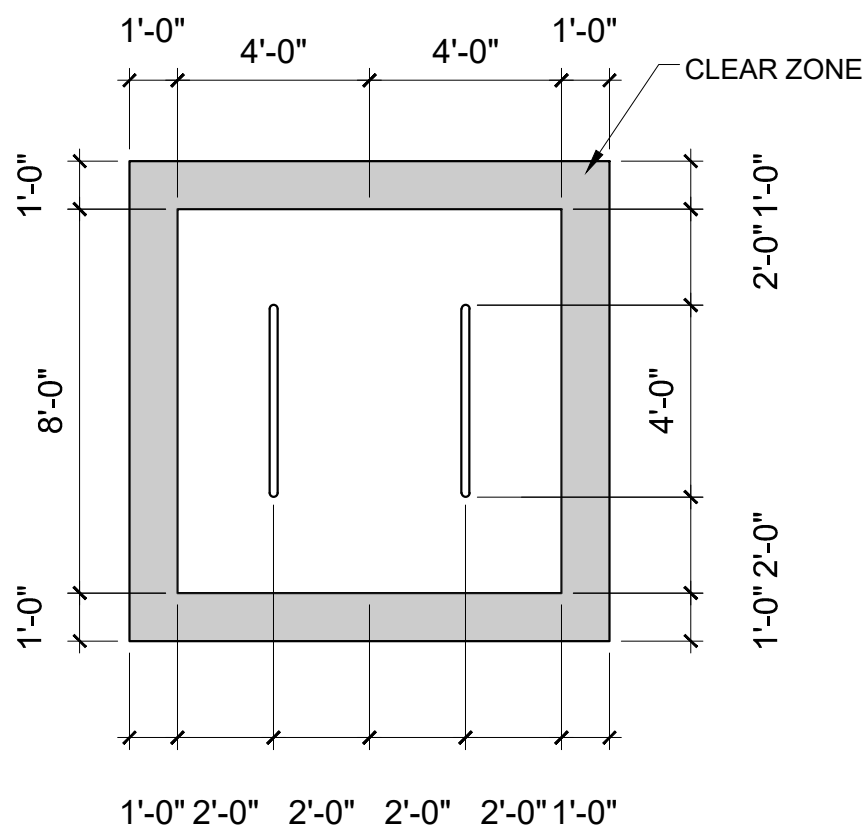
BUILDING MOUNTED SIGNS SHALL BE EXTERNALLY ILLUMINATED AND SHALL NOT EXTEND MORE THAN 2 FEET ABOVE THE EXTERIOR WALLS OF THE BUILDING.

WORK WITHIN THE PUBLIC RIGHT OF WAY REQUIRES A WORK ORDER.

MC SHALL BE PAINTED ON THE PAVEMENT OF EACH MOTORCYCLE PARKING SPACE

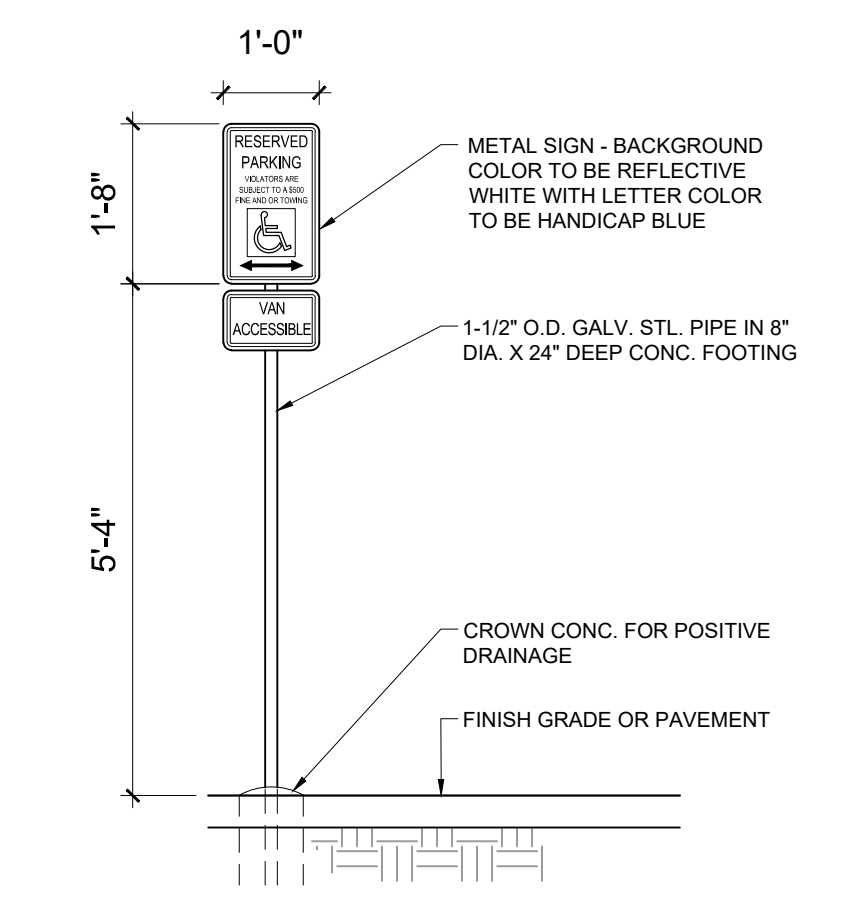
- LEGEND**
- BUILDING
  - CONCRETE
  - ASPHALT PAVING
  - LANDSCAPE
  - CLEAR SIGHT TRIANGLE

- KEYED NOTES**
1. 8 SPACE BIKE RACK, REF DETAIL THIS SHEET
  2. MOTORCYCLE PARKING SIGN REF DETAIL THIS SHEET
  3. H.C. PARKING SIGN, REF DETAIL ON THIS SHEET
  4. NEW FIRE HYDRANT
  5. IRRIGATION BOX
  6. NEW 6" SIDEWALK, 2% MAX CROSS SLOPE, 1.5% PREFERRED CROSS SLOPE, REFERENCE CITY OF ALBUQUERQUE STANDARD DETAIL 2430
  7. GREASE CONTAINER ENCLOSURE SIM TO DETAIL THIS SHEET
  8. PARALLEL CURB RAMP, REF DETAIL A, COA STANDARD DETAIL 2443
  9. PERPENDICULAR CURB RAMP, REF DETAIL. COA STANDARD DETAIL 2447
  10. PROPERTY LINE
  11. EXISTING POWER POLE
  12. MONUMENT SIGN
  13. CLEAR SIGHT TRIANGLE. LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3 AND 8 FT TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE
  14. CORNER ACCESS RAMP, REF COA STANDARD DETAIL 2441
  15. 6" WROUGHT IRON FENCE
  16. REFUSE CONTAINER, REF DETAIL THIS SHEET
  17. RECYCLING CONTAINER, REF DETAIL THIS SHEET
  18. FIRE DEPARTMENT CONNECTION
  19. DRIVE PAD REF. COA STANDARD DETAIL 2425B
  20. CURB AND GUTTER REF. COA STANDARD DETAIL 2415B
  21. EXISTING POWER POLE
  22. GREASE WASTE ENCLOSURE
  23. 10' PUBLIC UTILITY EASEMENT
  24. DO NOT ENTER SIGN, REF DETAIL THIS SHEET



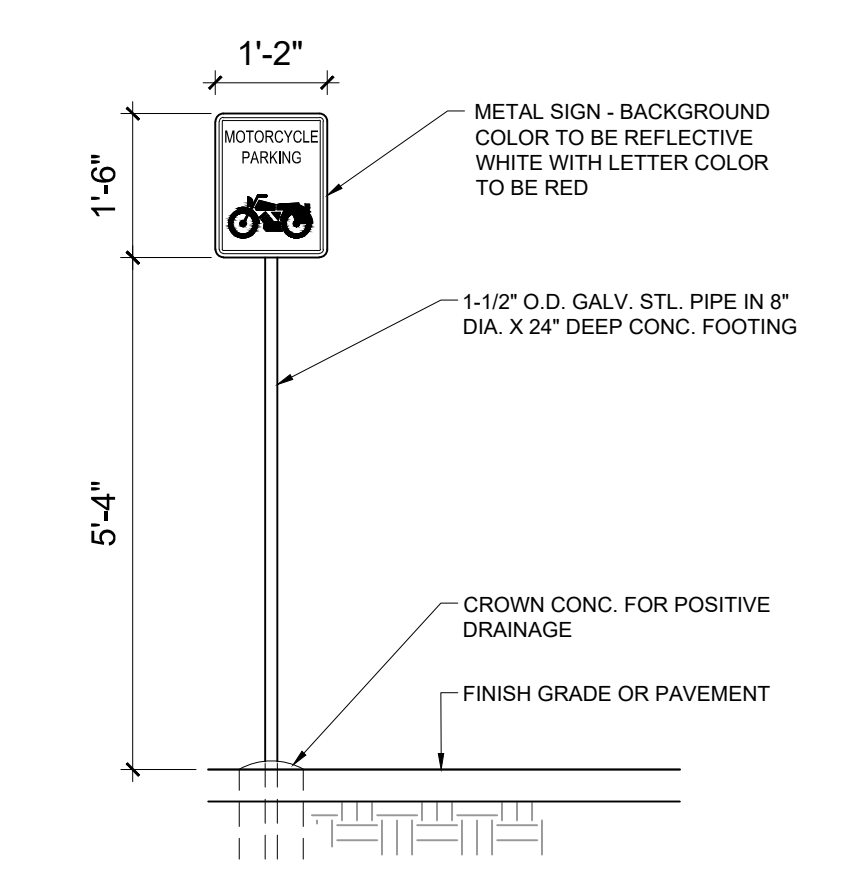
**BIKE PARKING**

SCALE: 1/4" = 1'-0"



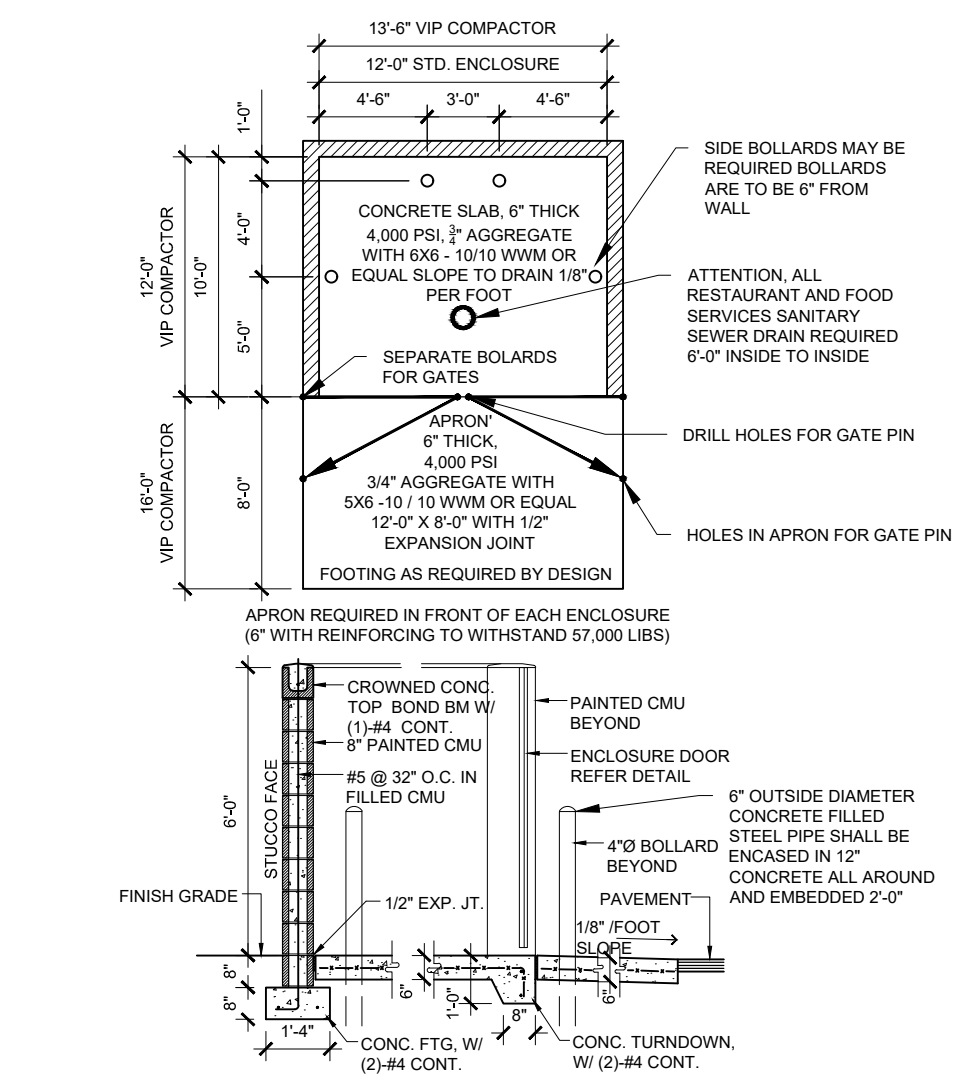
**HC SIGN**

SCALE: NTS



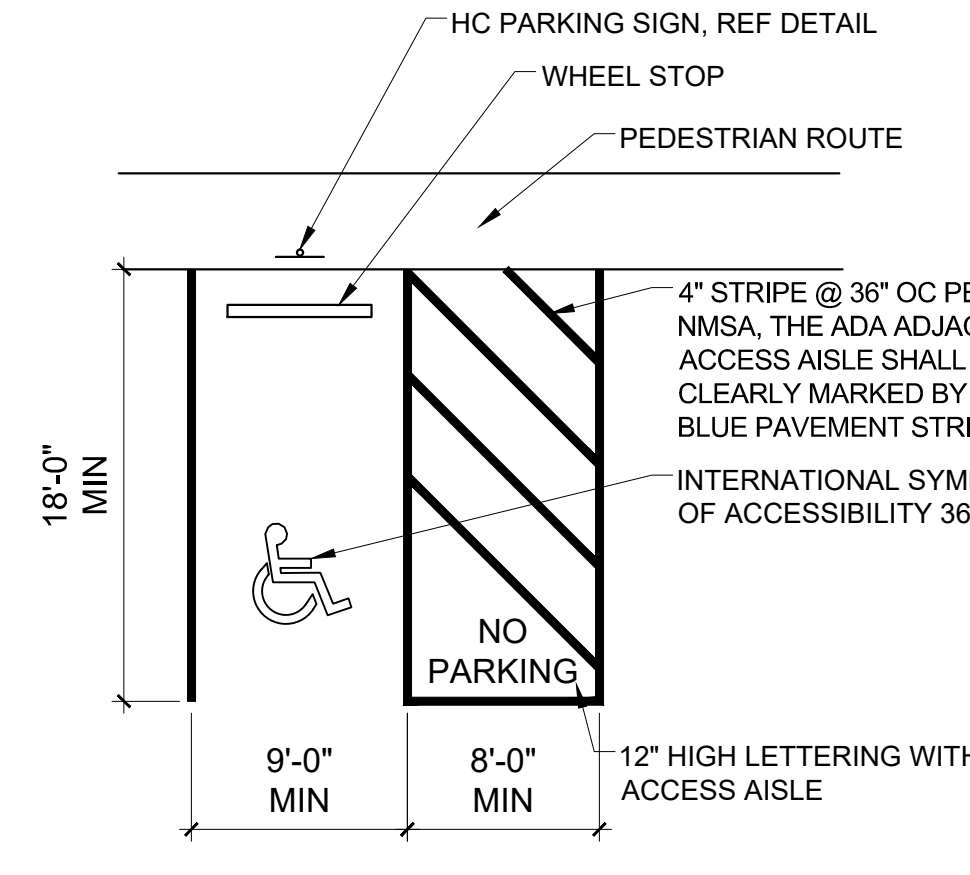
**MOTORCYCLE SIGN**

SCALE: 1/2" = 1'-0"



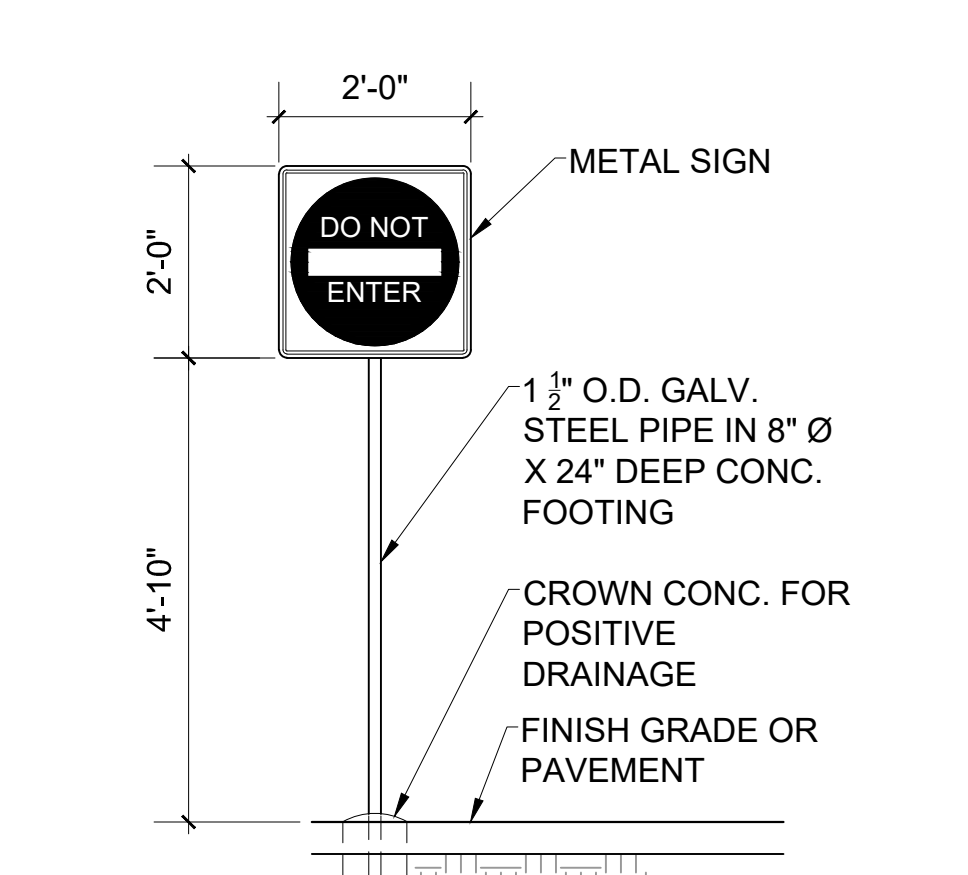
**REFUSE ENCLOSURE**

SCALE: 1/8" = 1'-0"



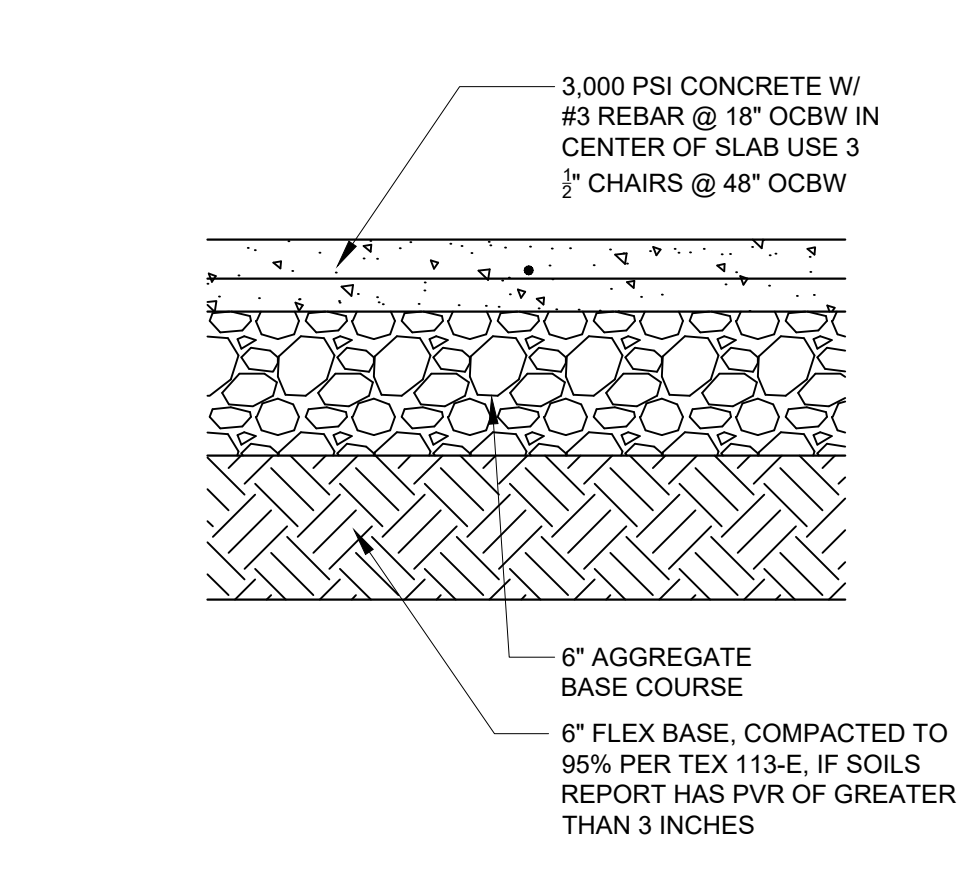
**ADA PARKING**

SCALE: 3/8" = 1'-0"



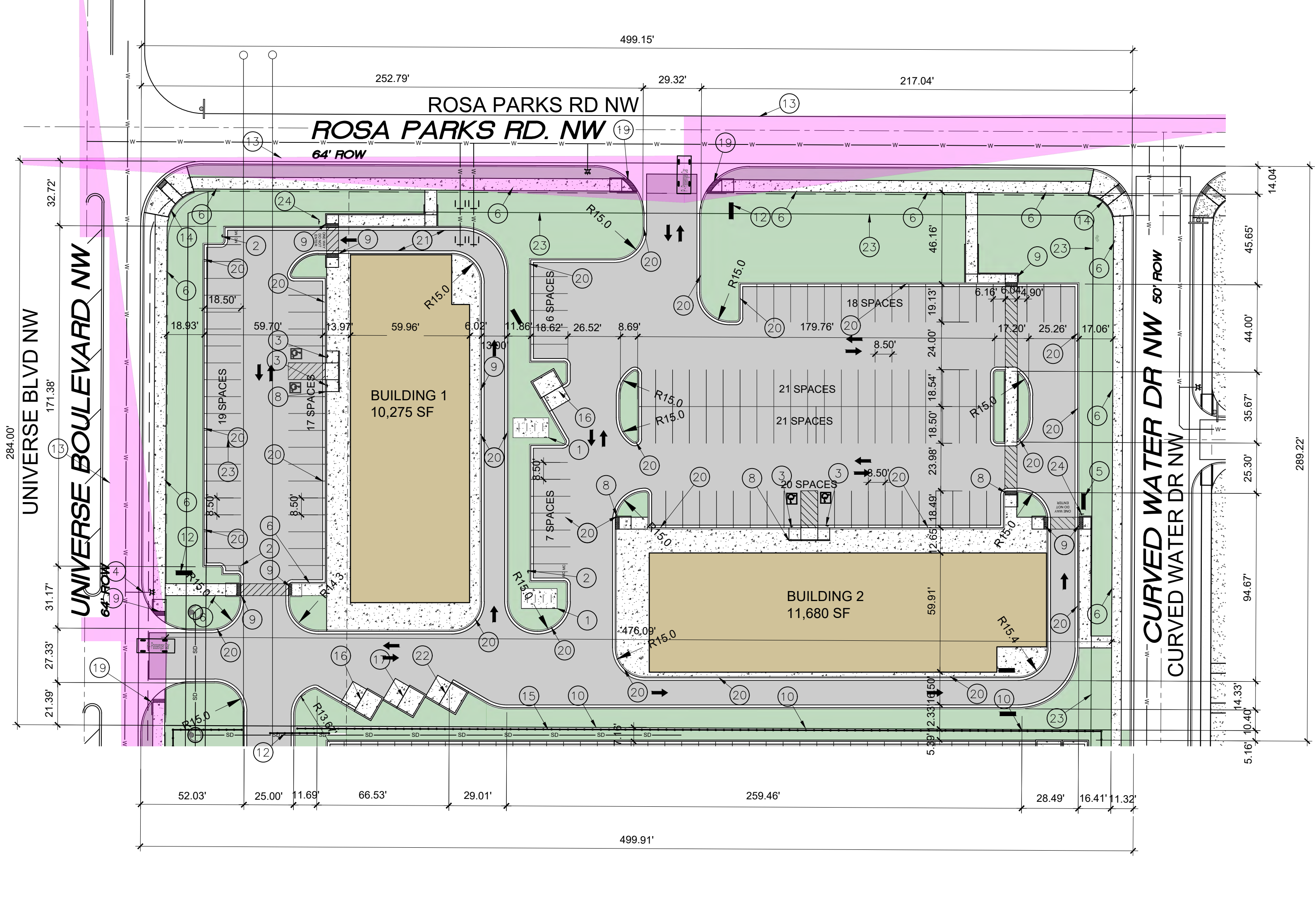
**DO NOT ENTER SIGN**

SCALE: 1/2" = 1'-0"



**PAVING SECTION**

SCALE: NTS



**SITE PLAN**

SCALE: 1" = 40'-0"

**ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WALL MUST BE INCLUDED ON A PUBLIC WORK ORDER**

**IDO Zone Atlas May 2018**

**AREA MAP**

SCALE: NTS

**SCOTT C. ANDERSON & ASSOCIATES ARCHITECTS**

UNIVERSE VIEW STRIP CENTER  
 UNIVERSE BLVD NW  
 ALBUQUERQUE, NM 87114

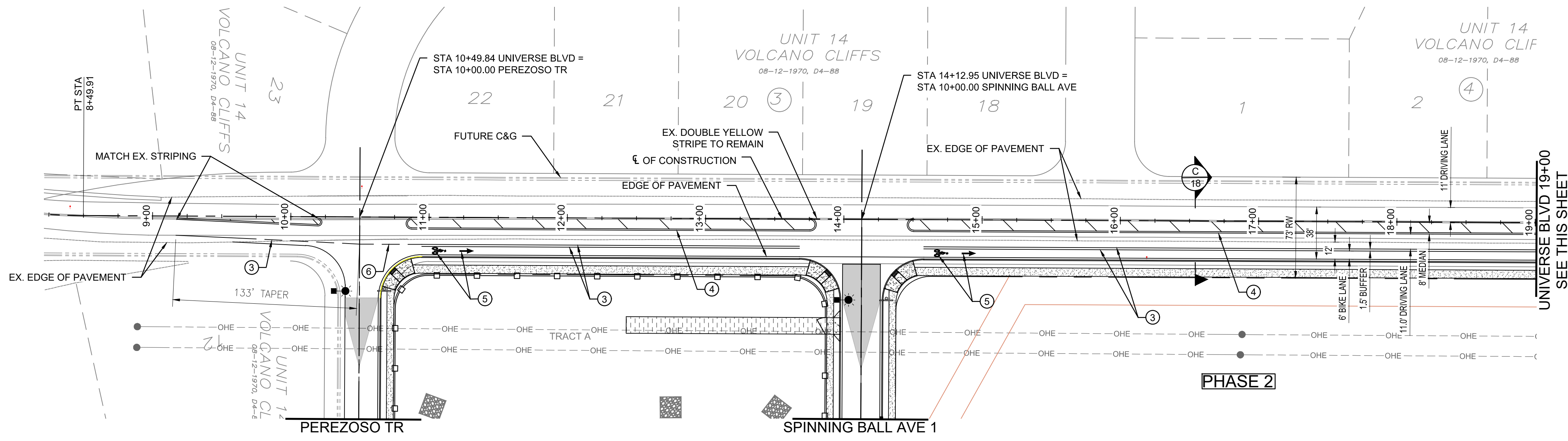
**TRAFFIC CIRCULATION LAYOUT**

DRAWING TITLE

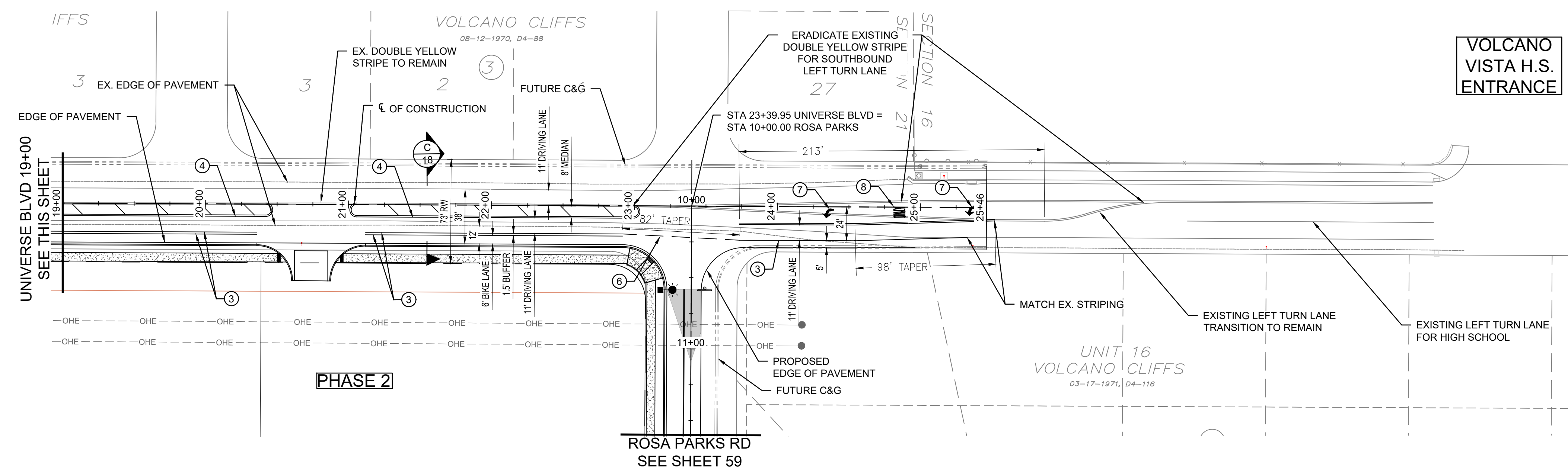
SEAL: SCOTT C. ANDERSON, No. 4341, 08/18/2023, REGISTERED ARCHITECT

DESIGNED: [ ] PROJECT NO: [ ]  
 DRAWN: [ ] SCALE: [ ]  
 CHECKED: [ ] DRAWING NO: **A-100**  
 REVIEWED: [ ]  
 DATE: 08/18/2023

Plotted: 8/31/2023 11:44:01 AM, By: Duneman, Dornie  
 Hybrid/324/49/01 - Volcano Cliffs Subdivision UT7 B8 L110 CAD & BIM10.1 AutoCAD/Sheet Set/PHASE  
 Last Saved: 8/30/2023 11:33:08 AM, dduneman



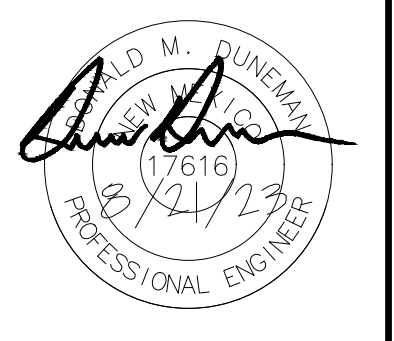
**UNIVERSE BOULEVARD**



**UNIVERSE BOULEVARD**

- CONSTRUCTION NOTES**
- ① INSTALL STOP & STREET SIGN PER COA STD DWG 2600-601.
  - ② INSTALL TYPE III BARRICADE PER COA STD DWG 2803.
  - ③ 4" THERMOPLASTIC SOLID WHITE STRIPE.
  - ④ 4" THERMOPLASTIC SOLID DOUBLE YELLOW STRIPE.
  - ⑤ REFLECTORIZED THERMOPLASTIC BIKE SYMBOL.
  - ⑥ 4" THERMOPLASTIC DOTTED WHITE STRIPE
  - ⑦ REFLECTORIZED THERMOPLASTIC TURN LANE LEFT ARROW
  - ⑧ REFLECTORIZED THERMOPLASTIC WORD "ONLY"

SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION	
NO.	FIELD NOTES	FOUND MONUMENT	CONTRACTOR	DATE	DATE
	BY	STANDARD 3 1/4" ALUMINUM DISC			
	DATE	NEW MEXICO STATE PLANE COORDINATES CENTRAL ZONE N.A.D. 1983			
		N=1572.627.946			
		E=1498.659.888			
		PUBLISHED EL=5318.888 (NAVD 1988)			
		GROUND TO GRID FACTOR=0.99972416			
		MAPPING ANGLE=U+1620.35'			

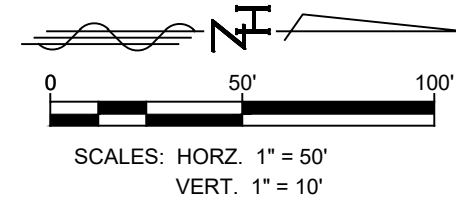


**VOLCANO VISTA H.S. ENTRANCE**



Designed By:  
**HUITT-ZOLIARS**  
 Huitt-Zollars, Inc. Rio Rancho  
 333 Rio Rancho Drive, Suite 100  
 Rio Rancho, New Mexico 87124  
 Phone (505) 892-5141 Fax (505) 892-3259

<b>UNIVERSE VIEW SUBDIVISION PHASE 1</b>		<b>TITLE: SIGNING &amp; STRIPING UNIVERSE BLVD</b>	
Design Review Committee	City Engineer	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. <b>709790</b>	Zone Map No. <b>D - 10</b>	Sheet <b>58</b>	Of <b>68</b>
<b>PROJECT NO. PR-2020-004596</b>		<b>SHEET</b>	



# CITY OF ALBUQUERQUE



Planning Department  
Alan Varela, Director

Mayor Timothy M. Keller

December 5, 2022

Donald M. Duneman  
Huitt-Zollars Inc.  
333 Rio Rancho Drive NE  
Rio Rancho, NM 87124

**Re: Universe View Subdivision  
Traffic Impact Analysis, HT#C09D016  
Report dated November 28, 2022**  
Engineer's Stamp 11/28/2022  
Via email [dduneman@huitt-zollars.com](mailto:dduneman@huitt-zollars.com)

Dear Mr. Duneman,

The subject final Traffic Impact Analysis received on November 29, 2022, been accepted and approved by the Albuquerque Planning Development Transportation Section.

The infrastructure improvement required due to this development are as follows:

Intersection of Universe Blvd. and Rosa Parks Rd

- Build a southbound left-turn lane, 240 feet long with a 300'-150' reverse curve transition.

Intersection of Universe Blvd. and Rainbow Blvd.

- Build a second southbound left-turn lane. The left-turn lane length shall be sized to accommodate the expected storage in year 2032.
- Build a westbound right-turn lane 240 feet long with a 300'-150' reverse curve transition.

The cost of construction at the Universe/Rainbow intersection shall be assessed by the traffic percent increase due to this development in the year 2032 build condition, ~10%.

The Traffic Impact Analysis shall be valid for a period of three years. Should significant modifications to the approved development proposal occur, the approved study shall be revised to incorporate the changes.

If you have any questions, please feel free to contact me at (505) 924-3362.

Sincerely,

Matt Grush, P.E.  
City of Albuquerque  
Senior Engineer, Planning Dept.  
Development Review Services

via: email  
C: Applicant, File

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Date Site Plan Approved: \_\_\_\_\_  
Date Preliminary Plat Approved: \_\_\_\_\_  
Date Preliminary Plat Expires: \_\_\_\_\_  
DRB Project No.: PR-2020-004596  
DRB Application No.: SD-2022-00212

**INFRASTRUCTURE LIST**

(Rev. 2-16-18)

**EXHIBIT "A"**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**UNIVERSE VIEW SUBDIVISION (PHASE 1)  
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**LOT 1, BLOCK 8, UNIT 17, VOLCANO CLIFFS SUBDIVISION  
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification					
							Private Inspector	P.E.	City Cnst Engineer			
			<b>*****ROADWAY*****</b>									
			Pavement Section:									
			(2) 5' Sidewalk									
			(2) 6" Curb & Gutter									
		50' R/W	(2) 4' Buffer	Curved Water Dr. NW	Spinning Ball Ave. NW	Rosa Parks Rd. NW				/	/	/
			(2) 11' Drive Lane									
			(2) 4.33' Landscape Buffer									
			Pavement Section:									
			(2) 5' Sidewalk									
			(2) 4' Buffer									
		50' R/W	(2) 4' Parking Lane	Spinning Ball Ave. NW	Universe Blvd. NW	Rosa Parks Rd. NW				/	/	/
			(2) 11' Drive Lane									
			(2) 4.33' Landscape Buffer									
			Pavement Section:									
			(2) 4" Mountable Curb & Gutter									
		25' R/W	(2) 10' Drive Lane	Buoyancy Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW				/	/	/
			(2) 0.5' Landscape Buffer									

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	25' R/W	Pavement Section: (2) 4" Mountable Curb & Gutter (2) 10' Drive Lane (2) 0.5' Landscape Buffer	Density Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	25' R/W	Pavement Section: (2) 4" Mountable Curb & Gutter (2) 10' Drive Lane (2) 0.5' Landscape Buffer	Ice Wall Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	25' R/W	Pavement Section: (2) 4" Mountable Curb & Gutter (2) 10' Drive Lane (2) 0.5' Landscape Buffer	Lighthouse Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	25' R/W	Pavement Section: (2) 4" Mountable Curb & Gutter (2) 10' Drive Lane (2) 0.5' Landscape Buffer	Magnetic Alley NW	Firmament Alley NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	25' R/W	Pavement Section: (2) 4" Mountable Curb & Gutter (2) 10' Drive Lane (2) 0.5' Landscape Buffer	Firmament Alley NW	Perezoso Trl. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	73' HALF R/W	Pavement Section: 6' Sidewalk 8" Curb & Gutter 6' Bike Lane 1.5' Buffer (2) 11' Drive Lane 5.33' Landscape Buffer 8' Striped Median	Universe Blvd. NW	Perezoso Trl. NW	Rosa Parks Rd. NW	/	/	/



Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		64' HALF R/W	Pavement Section: 6' Sidewalk 6" Curb & Gutter 6' Bike Lane 11' Driving Lane 6' Landscape Buffer	Rosa Park Road NW	Universe Blvd. NW	East Property Boundary of Proposed Tract G	/	/	/
		50' HALF R/W	Pavement Section: 5' Sidewalk 6" Standard Curb & Gutter 2-12' Driving Lanes 4.33' Landscape Buffer	Perezoso Dr.	Universe Blvd.	133' West of Ciervo Rd. NW	/	/	/
		8"	*****WATER***** Waterline w/Appertunances (3W)	Spinning Ball Ave. NW	Universe Blvd. NW	Rosa Parks Rd. NW	/	/	/
		8"	Waterline w/Appertunances (4W)	Spinning Ball Ave. NW	Rosa Park Road NW	Buoyancy Alley NW	/	/	/
		8"	Waterline w/Appertunances (3W)	Curved Water Dr. NW	Spinning Ball Ave. NW	Rosa Parks Rd. NW	/	/	/
		8"	Waterline w/Appertunances (4W)	Curved Water Dr. NW	Rosa Park Road NW	Buoyancy Alley NW	/	/	/
		8"	Waterline w/Appertunances (4W)	Buoyancy Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
		8"	Waterline w/Appertunances (3W)	Density Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
		8"	Waterline w/Appertunances (3W)	Ice Wall Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
		8"	Waterline w/Appertunances (3W)	Lighthouse Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
		8"	Waterline w/Appertunances (3W)	Magnetic Alley NW	Firmament Alley NW	Spinning Ball Ave. NW	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8"	Waterline w/Appertunances (3W)	Universe Blvd. NW	Compass Dr. NW	Perezoso Trl. NW	/	/	/
<input type="text"/>	<input type="text"/>	12"	Waterline w/Appertunances (3W)	Universe Blvd. NW	Perezoso Trl. NW	Rosa Parks Rd. NW	/	/	/
<input type="text"/>	<input type="text"/>	12"	Waterline w/Appertunances (4W)	Rosa Park Road NW	Universe Blvd. NW	East Property Boundary of Proposed Tract G	/	/	/
<input type="text"/>	<input type="text"/>	12"	Waterline w/Appertunances (3W)	Rosa Park Road NW	Universe Blvd. NW	East Property Boundary of Proposed Tract G	/	/	/
<input type="text"/>	<input type="text"/>	8"	Waterline w/Appertunances (3W)	Perezoso Trl.	Universe Blvd.	Unser Frontage Rd. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Waterline w/Appertunances (3W)	Firmament Alley NW	Spinning Ball Dr. NW	Perezoso Trl. NW	/	/	/
<b>*****SANITARY SEWER*****</b>									
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manholes	Spinning Ball Ave. NW	Firmament Alley NW	Rosa Parks Rd. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manholes	Curved Water Dr. NW	Spinning Ball Ave. NW	Rosa Parks Rd. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manhole	Buoyancy Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manhole	Density Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manholes	Ice Wall Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manholes	Lighthouse Alley NW	Curved Water Dr. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manholes	Magnetic Alley NW	Firmament Alley NW	Lot 22, Block L	/	/	/

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manhole	Rosa Park Road NW	100' east of Universe Blvd. NW	Curved Water Dr. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manholes	Firmament Alley NW	Perezoso Trl. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewer Line and Manholes	Perezoso Trl. NW	Firmament Alley NW	Universe Blvd. NW	/	/	/
*****STORM DRAINAGE*****									
<input type="text"/>	<input type="text"/>	24" DIA	Storm Drain and Manholes	Perezoso Trl. NW	Detention Pond 1	Detention Pond 4A	/	/	/
<input type="text"/>	<input type="text"/>	18"-48" DIA	Storm Drain, Inlets and Manholes	Spinning Ball Ave. NW	Detention Pond 1	Ice Wall Alley NW	/	/	/
<input type="text"/>	<input type="text"/>	18" DIA	Storm Drain, Inlets and Manholes	Magnetic Alley NW	Pond 1	Lot 17, Block L	/	/	/
<input type="text"/>	<input type="text"/>	30" Culvert	Storm Drain & End Sections	Rosa Parks Rd. NW	North Side of Rosa Parks Rd. NW, approx. 30' east of Universe Blvd.	South Side of Rosa Parks Rd. NW, approx. 20' east of Universe Blvd.	/	/	/
<input type="text"/>	<input type="text"/>		Detention Pond 1 (4.0 AC-FT)	Universe Blvd. NW	Perezoso Trl. NW	Spinning Ball Ave. NW	/	/	/
<input type="text"/>	<input type="text"/>		Detention Pond 4A (1.2 AC-FT) (a.k.a. Pond C)	Unser Blvd. NW	Rainbow Blvd. NW	50' NE of Perezoso Tr. NW	/	/	/
<input type="text"/>	<input type="text"/>		Detention Pond A (1.4 AC-FT)	Unser Blvd. NW	Ciervo Rd. NW	Kimmick Dr. NW	/	/	/
<input type="text"/>	<input type="text"/>		Detention Pond B (0.90 AC-FT)	Unser Blvd. NW	Almendra Pl. NW	170' SW of Ciervo Rd. NW	/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification				
							Private Inspector	P.E.	City Cnst Engineer		
<input type="text"/>	<input type="text"/>						/	/	/		
<input type="text"/>	<input type="text"/>						/	/	/		
Approval of Creditable Items:							Approval of Creditable Items:				
Impact Fee Administrator Signature							Date		City User Dept. Signature		Date

**NOTES**

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.  
Street lights per City requirements.

- 1 Pond Stabilization to follow Section 1013

---

- 2 Perezoso Trail Sanitary Sewer shall connect to MH D10202 on Universe Blvd. NW

---

- 3 \_\_\_\_\_

---

**AGENT / OWNER      DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Donald Duneman  
NAME (print)

Huitt-Zollars, Inc.  
FIRM

Donald Duneman 6/7/23  
SIGNATURE - date

[Signature] Jun 15, 2023  
DRB CHAIR - date

Ernest Armijo Jun 8, 2023  
TRANSPORTATION DEVELOPMENT - date

[Signature] Jun 8, 2023  
UTILITY DEVELOPMENT - date

Heppie Cho Jun 8, 2023  
CITY ENGINEER - date

[Signature] Jun 8, 2023  
PARKS & RECREATION - date

\_\_\_\_\_  
AMAFCA - date

[Signature] Jun 8, 2023  
CODE ENFORCEMENT - date

\_\_\_\_\_  
- date

**REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER












# PR-2020-004596\_SD-2022-00212\_IL


Final Audit Report


2023-06-15


Created:	2023-06-08
By:	Leila Shadabi (lshadabi@cabq.gov)
Status:	Signed
Transaction ID:	CBJCHBCAABA5Mu9qgEZJRyCn7VpEDRmr0ziZ7uETS

## "PR-2020-004596\_SD-2022-00212\_IL" History


-  Document created by Leila Shadabi (lshadabi@cabq.gov)  
2023-06-08 - 9:28:18 PM GMT
-  Document emailed to Jolene Wolfley (jwolfley@cabq.gov) for signature  
2023-06-08 - 9:34:09 PM GMT
-  Document emailed to Cheryl Somerfeldt (csomerfeldt@cabq.gov) for signature  
2023-06-08 - 9:34:09 PM GMT
-  Document emailed to Tiequan Chen (tchen@cabq.gov) for signature  
2023-06-08 - 9:34:10 PM GMT
-  Document emailed to Ernest Armijo (earmijo@cabq.gov) for signature  
2023-06-08 - 9:34:10 PM GMT
-  Document emailed to Jeff Palmer (jppalmer@cabq.gov) for signature  
2023-06-08 - 9:34:10 PM GMT
-  Document emailed to David Gutierrez (dggutierrez@abcwua.org) for signature  
2023-06-08 - 9:34:10 PM GMT
-  Email viewed by Jolene Wolfley (jwolfley@cabq.gov)  
2023-06-08 - 9:35:59 PM GMT
-  Email viewed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)  
2023-06-08 - 9:36:08 PM GMT
-  Document e-signed by Cheryl Somerfeldt (csomerfeldt@cabq.gov)  
Signature Date: 2023-06-08 - 9:37:20 PM GMT - Time Source: server
-  Email viewed by Jeff Palmer (jppalmer@cabq.gov)  
2023-06-08 - 9:42:44 PM GMT

 Document e-signed by Jeff Palmer (jpalmer@cabq.gov)  
Signature Date: 2023-06-08 - 9:43:02 PM GMT - Time Source: server


 Email viewed by Tiequan Chen (tchen@cabq.gov)  
2023-06-08 - 9:44:59 PM GMT


 Document e-signed by Tiequan Chen (tchen@cabq.gov)  
Signature Date: 2023-06-08 - 9:45:29 PM GMT - Time Source: server


 Email viewed by Ernest Armijo (earmijo@cabq.gov)  
2023-06-08 - 9:51:31 PM GMT


 Document e-signed by Ernest Armijo (earmijo@cabq.gov)  
Signature Date: 2023-06-08 - 9:51:41 PM GMT - Time Source: server

 Email viewed by David Gutierrez (dggutierrez@abcwua.org)  
2023-06-08 - 10:18:33 PM GMT

 Document e-signed by David Gutierrez (dggutierrez@abcwua.org)  
Signature Date: 2023-06-08 - 10:22:08 PM GMT - Time Source: server

 Email viewed by Jolene Wolfley (jwolfley@cabq.gov)  
2023-06-15 - 7:31:24 PM GMT

 Document e-signed by Jolene Wolfley (jwolfley@cabq.gov)  
Signature Date: 2023-06-15 - 7:31:54 PM GMT - Time Source: server

 Agreement completed.  
2023-06-15 - 7:31:54 PM GMT