

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

December 6, 2022

Stephen Dunbar, RA
Modulus Architect
100 Sun Ave. Suite 600
Albuquerque, NM 87109

Re: Dollar General
7500 Universe Blvd. NE
Traffic Circulation Layout
Engineer's/Architect's Stamp XX-XX-XX (C09-D017)

Dear Mr. Dunbar,

Based upon the information provided in your submittal received 11-14-22, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. The traffic circulation layout must be stamped, signed, and dated by an engineer or architect licensed in the state of New Mexico.
2. Identify all existing access easements and rights of way width dimensions.
3. Identify the right of way width, medians, curb cuts, and street widths on Universe Blvd. and on Rainbow Blvd.
4. ADA curb ramp at the corner of Universe Blvd. and Rainbow Blvd. must be updated to current standards and have truncated domes installed.
5. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.
6. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.
7. A 5 ft. keyway is required for dead-end parking aisles.
8. Please provide the ADA landing area dimension.
9. Please provide a copy of Fire Marshal and Solid Waste approval.
10. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle.
11. Please specify the City Standard Drawing Number when applicable.
12. Work within the public right of way requires a work order with DRC approved plans.
13. Please add a note on the plan stating "All improvements located in the Right of Way must be included on the work order."
14. Please provide a letter of response for all comments given.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

- 15. Traffic Studies:** See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (**Contact Matt Grush: mgrush@cabq.gov**).

Once corrections are complete resubmit

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to PLNDRS@cabq.gov.
4. The \$75 re-submittal fee.

For log in and evaluation by Transportation.

If you have any questions, please contact me at (505) 924-3675.

Sincerely,

PO Box 1293

Albuquerque

NM 87103

Marwa Al-najjar
Associate Engineer, Planning Dept.
Development Review Services

www.cabq.gov

\ma via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

Project Title: Dollar General **Building Permit #** _____ **Hydrology File #** _____

DRB# _____ **EPC#** _____

Legal Description: Lt 20-A Blk. 2 plat of lts 10-A, 19-A **City Address OR Parcel** 7500 Universe Blvd. N.W
thru 22-ablk 2 unit 14 Volacano Cliffs Sub

Applicant/Agent: Modulus Architects **Contact:** Stephen Dunbar

Address: 100 Sun Ave Ste 600 **Phone:** 505-417-4164

Email: sdunbar@modulusarchitects.com

Applicant/Owner: _____ **Contact:** _____

Address: _____ **Phone:** _____

Email: _____

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE: _____

RE-SUBMITTAL: ☐ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOOD PLAN DEVELOPMENT PERMIT APP.
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ADMINISTRATIVE
- ☐ TRAFFIC CIRCULATION LAYOUT FOR DRB APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY)
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DRB APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOOD PLAN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: _____

REVISIONS:

7500 UNIVERSE BLVD N.W
ALBUQUERQUE, NM

DOLLAR GENERAL®



DATE: 9-14-22
DRAWING TITLE: DIMENSION SITE
SCALE: 1"=20'
SHEET NO.

AS-1

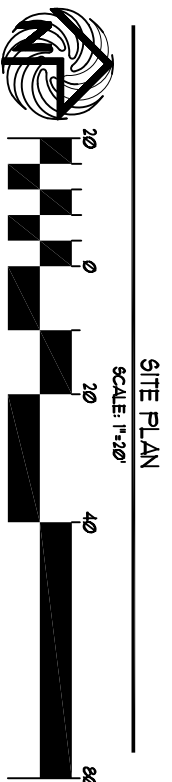


VICINITY MAP:
PROJECT LOCATION: _____

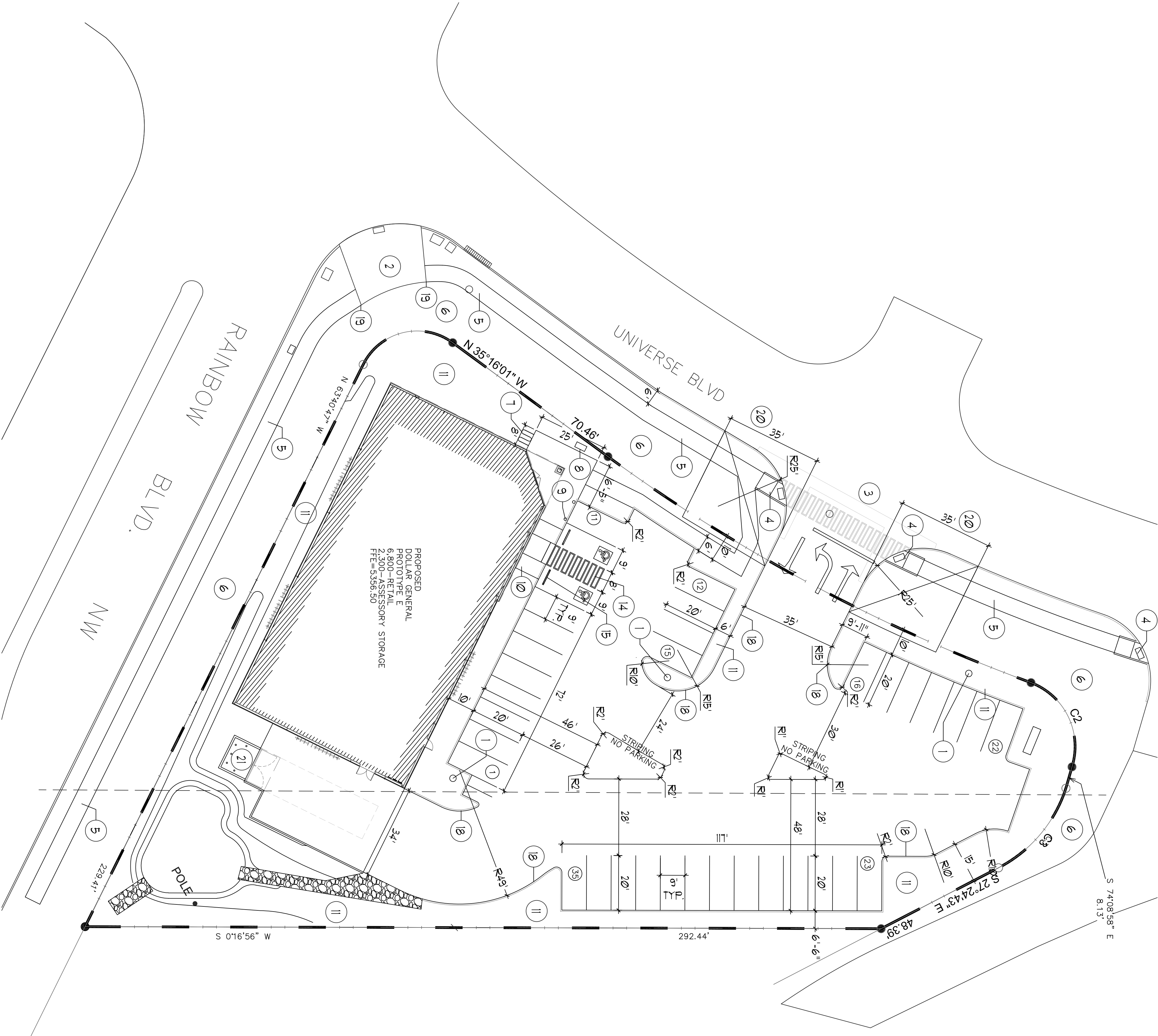
KEYED NOTE:

- 1 LIGHT POLE LOCATION RE: DETAIL 2/A511
- 2 INDICATES EXISTING SIDEWALK AREA TO REMAIN
- 3 INDICATES NEW PRIVATE ENTRANCE PER COA STANDARD DETAILS 2416 AND 2420
- 4 INDICATES NEW ACCESSIBLE CURB RAMP PER COA STANDARD DETAILS 2440 AND 2441
- 5 INDICATES NEW CONCRETE SIDEWALK PER COA STANDARD DETAILS 2430
- 6 INDICATES OFFSITE LANDSCAPE AREA TO BE GRAVELED ONLY RE: LANDSCAPE PLAN
- 7 INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 6/A512
- 8 TYPICAL BIKE RACK GRAPHIC SYMBOL =  TYPICAL BENCH GRAPHIC SYMBOL = 
- 9 6" STEEL BOLLARD RE: 3/A511
- 10 HANDICAP RAMP RE: 6/A511
- 11 INDICATES LANDSCAPE AREA GC TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL LOCATION RE: LANDSCAPE PLAN FOR INFO
- 12 INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS: DETAIL 1/A511 FOR NOTCH DETAIL
- 13 6" HIGH CONC. ISLAND
- 14 RE: SITE GRADING PLAN FOR INFO
- 15 HC PARKING STALL RE: DET 4/A512
- 16 WHEELSTOP RE: DET 6/A512
- 17 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION RE: SITE PLAN FOR LOCATIONS; RE: DET 1/A512
- 18 NOTE: EACH ON-SITE STALL REQUIRES 4' X 8' IN SIZE FOR "MOTORCYCLE PARKING" SIGN DETAIL
- 19 INDICATES STOP SIGN LOCATION RE: DET 2/A512
- 20 INDICATES PROPOSED CURBING TO RECEIVE FIRE STRIPE PAINT CURB RED IN COLOR
- 21 TIE NEW SIDEWALK INTO FACE OF EXISTING SIDEWALK/RAMP LOCATION
- 22 INDICATES CLEAR SITE TRIANGLE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3' & 8' FEET TALL AS MEASURED FROM THE GUTTER PAV ARE NOT ALLOWED WITHIN CLEAR TRIANGLE AREA
- 23 INDICATES REFUSE ENCLOSURE LOCATION RE: DET 1/A513

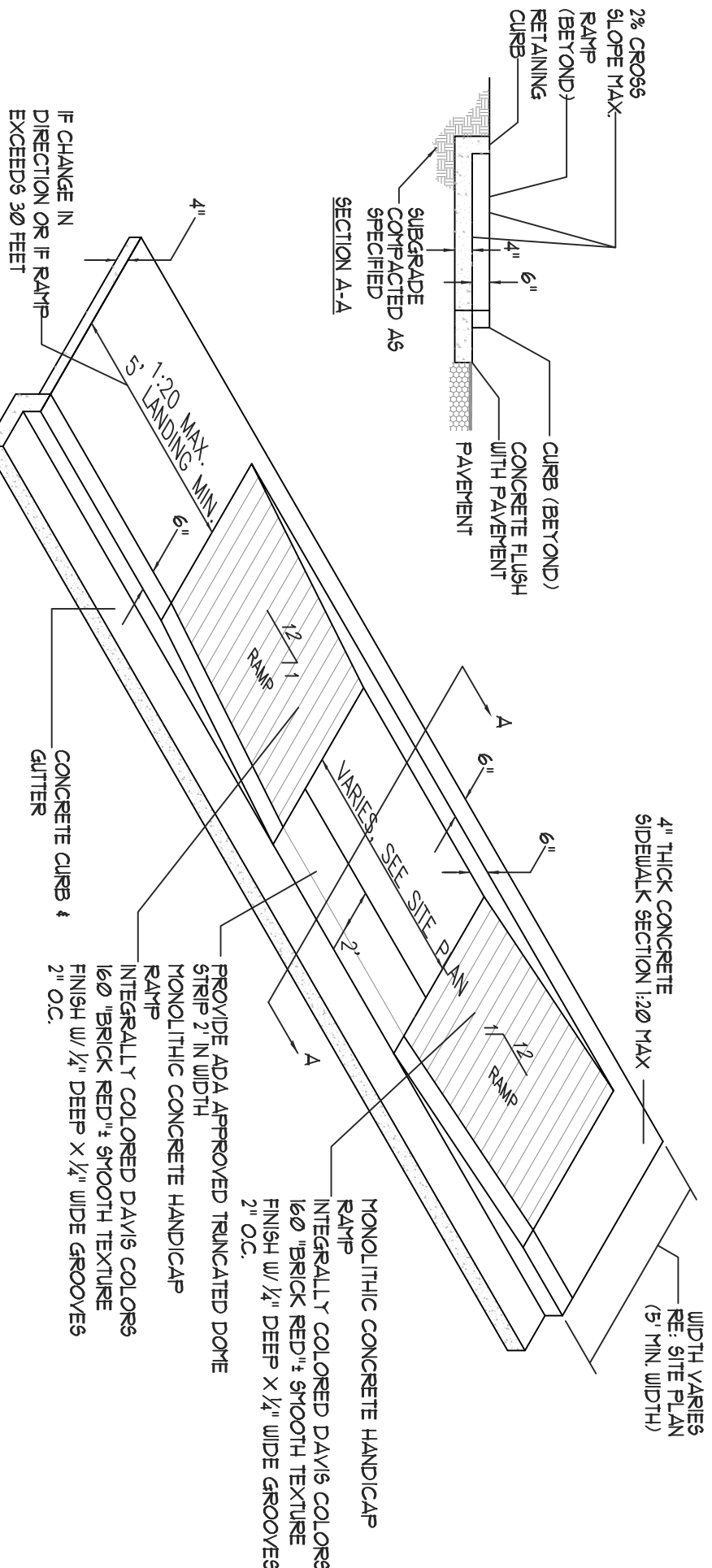
SITE DATA TABLE	
LEGAL DESCRIPTION	L1 20'-4" DK 2 PLAT OF T19 10'-4" 8'-4" TRIL 21-45-K 1 UNIT 14 VOLCANO CLIFFS SUB UPCA: 0090863563211501
TOTAL ACRESAGE:	41,353 SF OR 10.008
EXISTING ZONING:	TM-1
PROPOSED USE:	COMMERCIAL
PROPOSED BUILDING SITE:	9100 SF
TOTAL PARKING PROVIDED WITHIN PROJECT AREA:	35 PARKS
TOTAL PARKING REQ.	6,800 / 200' 34" x 1300/200' 35 REQ PARKS
HC PROVIDED:	3 SPACES NOTE: ALL SPACES VAN ACCESSIBLE
BIKE SPACES PROVIDED:	2 SPACES
BIKE SPACES REQUIRED:	2 SPACES
MOTORCYCLE SPACES PROVIDED:	3 SPACES
MOTORCYCLE SPACES REQUIRED:	35 SPACES



SITE PLAN
SCALE: 1"=20'



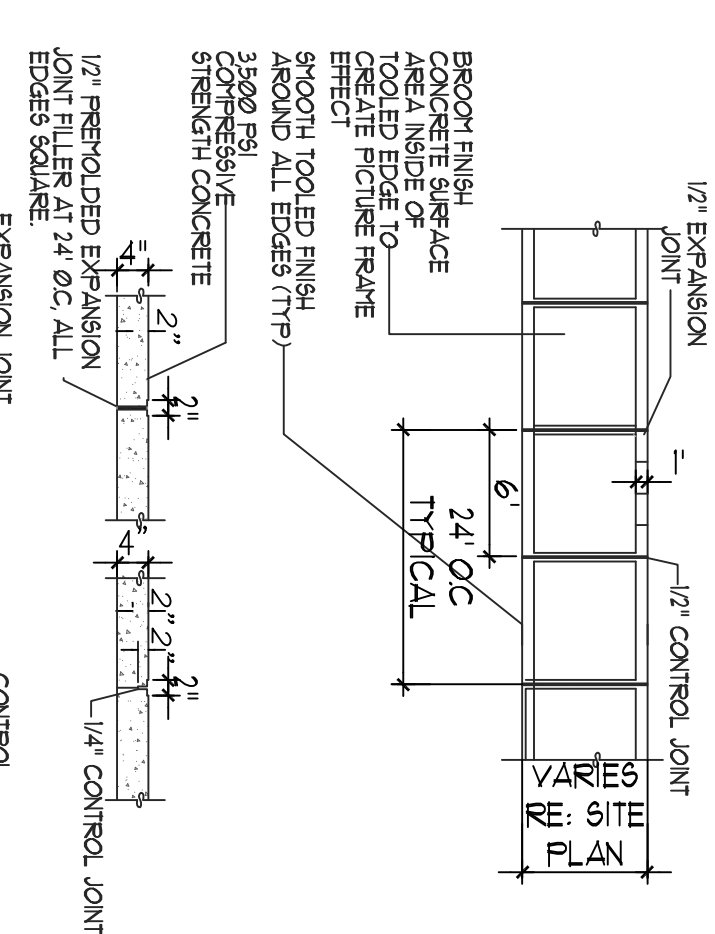
REVISIONS:



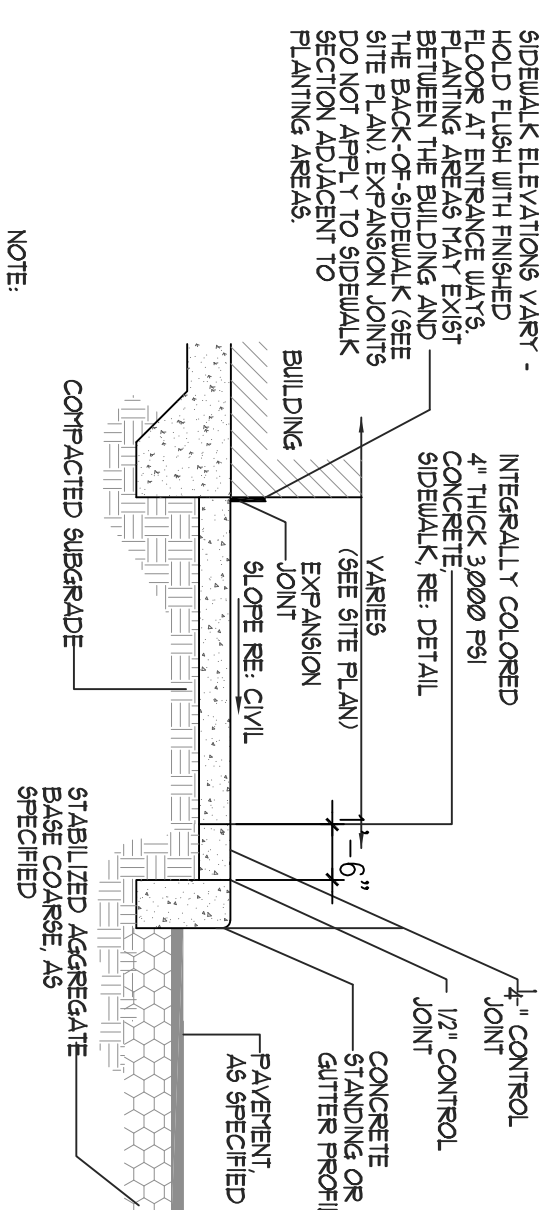
3 BOLLARD DETAIL
NT3

6 TAPERED H.C. RAMP
NT3

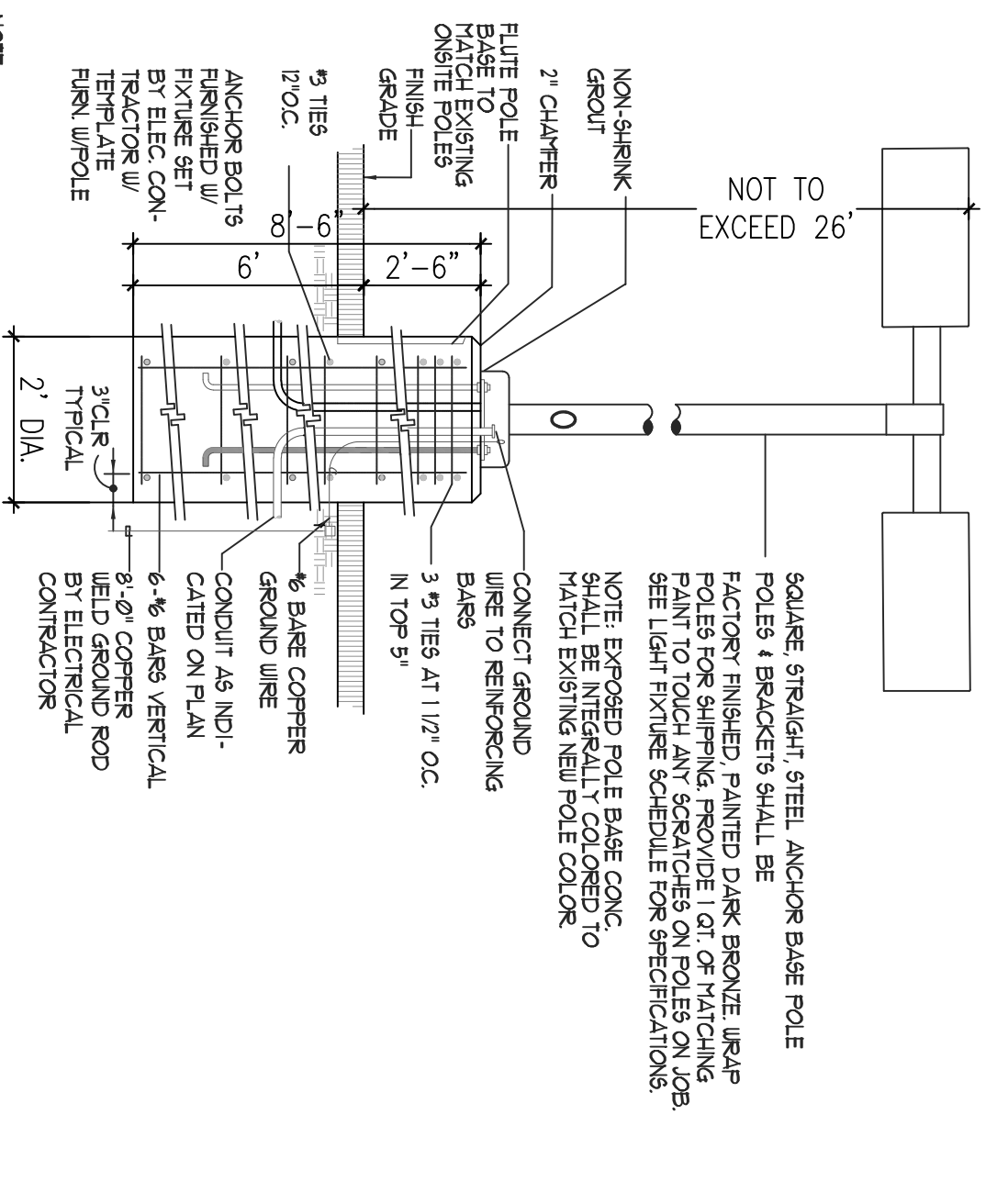
NOTE:
H.C. RAMP SHALL NOT EXCEED 6' OR 8% SLOPE IN ANY DIRECTION AND SHALL CONFORM
W/ ALL APPLICABLE ANSI REQ'S. GC SHALL VERIFY CONFORMANCE W/ ALL APPLICABLE ANSI REQ'S



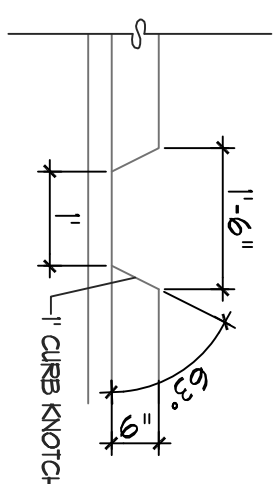
5 TYPICAL SIDEWALK
NT3



4 SIDEWALK W/ TURNDOWN CURB SECTION
NT3



2 LIGHT POLE DETAIL
NT3



1 CURB NOTCH
NT3

DOLLAR GENERAL®

7500 UNIVERSE BLVD N.W
ALBUQUERQUE, NM

AS-1.1

DATE:	9-14-22
DRAWING TITLE:	DETAILS
SCALE:	RE: SCALE
SHEET NO.	

REVISIONS: