

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 26, 2023

Stephen Dunbar, R.A
Modulus Architects
100 Sun Ave. NE
Albuquerque, NM 87109

Re: Dollar General
7500 Universe Blvd. NW
Traffic Circulation Layout
Architect's Stamp 09-12-22 (C09-D017)

Dear Mr. Dunbar,

The TCL submittal received 05-24-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation. **Work within the public right of way requires a work order with DRC approved plan. An approved work order is a condition of releasing the final CO.**

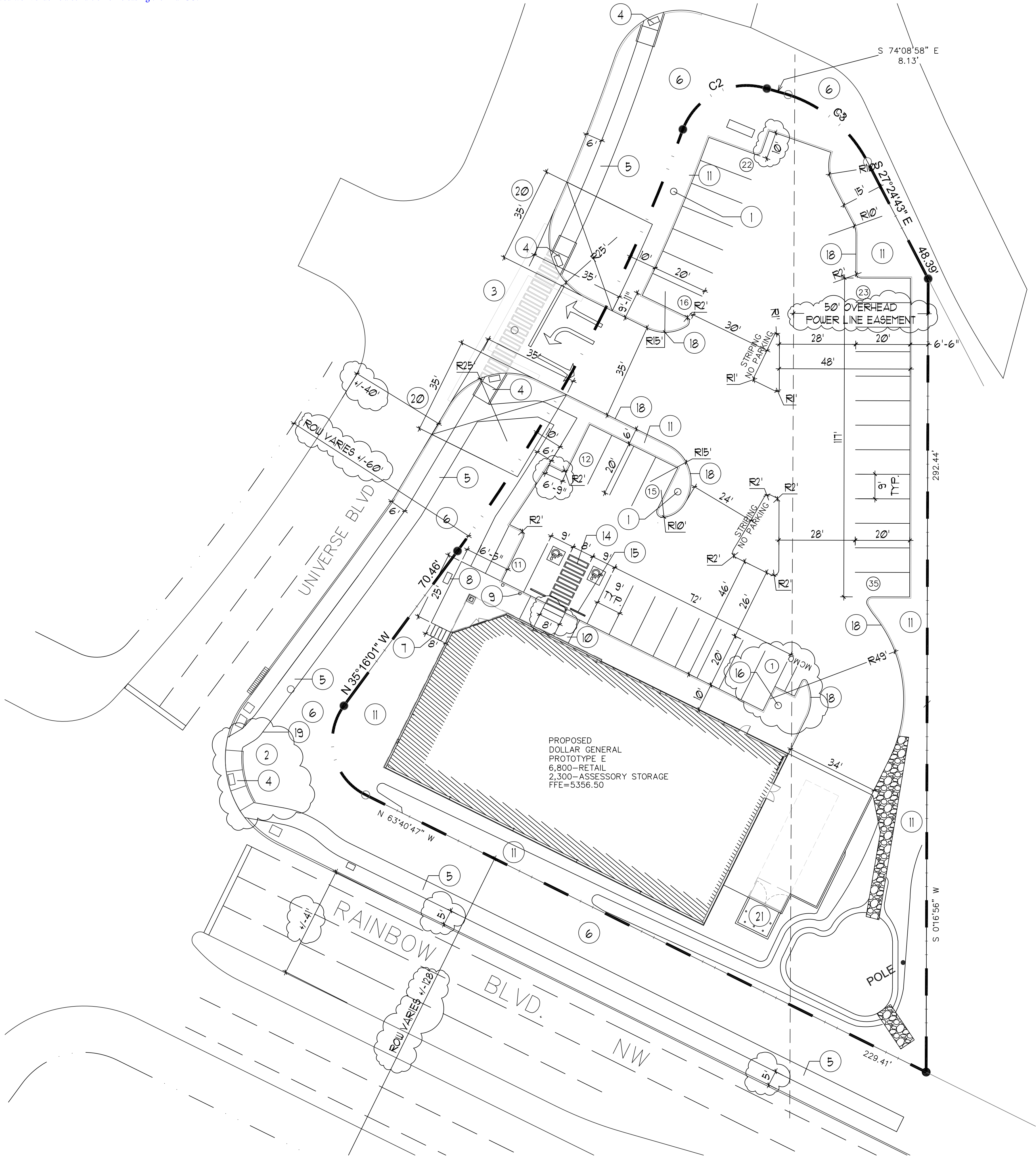
Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File

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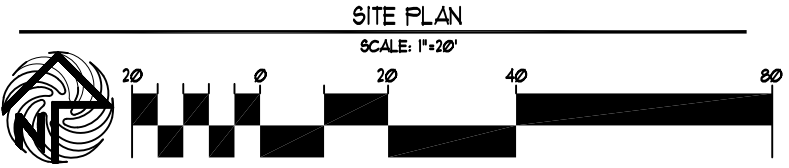
VICINITY MAP:
PROJECT LOCATION:

KEYED NOTE:

- 1 LIGHT POLE LOCATION RE: DETAIL 2/A911
- 2 INDICATES EXISTING SIDEWALK AREA TO BE REMOVED/ REPLACED WITH NEW COA STANDARD CURB
- 3 INDICATES NEW PRIVATE ENTRANCE PER COA STANDARD DETAILS 2426 AND 2420
- 4 INDICATES NEW ACCESSIBLE CURB RAMP PER COA STANDARD DETAILS 2440 AND 2441
- 5 INDICATES NEW 6' WIDE CONCRETE SIDEWALK PER COA STANDARD DETAILS 2430
- 6 INDICATES OFFSITE LANDSCAPE AREA TO BE GRAVELED ONLY (RE: LANDSCAPE PLAN)
- 7 INDICATES BIKE RACK LOCATION (5 BIKE CAPACITY) RE: DETAIL 8/A912
TYPICAL BIKE RACK GRAPHIC SYMBOL: [Symbol]
- 8 BENCH LOCATION
TYPICAL BENCH GRAPHIC SYMBOL: [Symbol]
- 9 6" STEEL BOLLARD RE: 3/A911
- 10 HANDICAP RAMP RE: 6/A911
- 11 INDICATES LANDSCAPE AREA
G.C TO PROVIDE/COORDINATE REQ. SLEEVING FOR EA. WELL
LOCATION RE: LANDSCAPE PLAN FOR INFO
- 12 INDICATES 1' CURB CUT TO ALLOW FOR PASSIVE WATER SHEET FLOW HARVESTING FROM ADJACENT PAVEMENT SURFACE TO PROPOSED LANDSCAPE PLANT BEDS. RE: DETAIL 1/A911 FOR KNOTCH DETAIL
- 13 6" HIGH CONC. ISLAND
RE: SITE GRADING PLAN FOR INFO
- 14 H.C PARKING STALL RE: DET 4/A912
- 15 WHEELSTOP RE: DET 6/A912
- 16 INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
NOTE: EACH ONSITE STALL MEASURES 4' X 8' IN SIZE
RE: SITE PLAN FOR LOCATIONS. RE: DET. 1/A912 FOR "MOTOR CYCLE PARKING" SIGN DETAIL
- 17 INDICATES STOP SIGN LOCATION. RE: DET 2/A912
- 18 INDICATES PROPOSED CURBING TO RECEIVE FIRE STRIPE
PAINT CURB RED IN COLOR
- 19 TIE NEW SIDEWALK INTO FACE OF NEW COA STANDARD SIDEWALK/RAMP LOCATION
- 20 INDICATES CLEAR SITE TRIANGLE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 21 INDICATES REFUSE ENCLOSURE LOCATION. RE: DET 1/A913

NOTE: ALL IMPROVEMENTS LOCATED IN THE RIGHT OF WAY MUST BE INCLUDED ON THE WORK ORDER

SITE DATA TABLE	
LEGAL DESCRIPTION	LT 20-A blk 2 PLAT OF LOTS 10-A, 19-A THRU 22-ABLK 2 UNIT 14 VOLCANO CLIFFS SUB UPCH 10020655163141501
TOTAL ACREAGE:	41.953 SF OR 10000
EXISTING ZONING:	TX-L
PROPOSED USE:	COMMERCIAL
PROPOSED BUILDING SIZE:	9100 SF
TOTAL PARKING PROVIDED WITHIN PROJECT AREA:	35 PARKS
TOTAL PARKING REQ:	6,800 / 100 = 34 + 2,300/100 = 35 REQ PARKS
HC PROVIDED:	2 SPACES (NOTE: ALL SPACES VAN ACCESSIBLE)
HC REQUIRED:	2 SPACES
BIKE SPACES PROVIDED:	2 SPACES
BIKE SPACES REQUIRED:	2 SPACES
MOTORCYCLE SPACES PROVIDED:	5 SPACES
MOTORCYCLE SPACES REQUIRED:	35 SPACES



REVISIONS:

7500 UNIVERSE BLVD N.W
ALBUQUERQUE, NM

DOLLAR GENERAL

STATE OF NEW MEXICO
STEPHEN A. DUNBAR
No. 4218
REGISTERED ARCHITECT

DATE:
9-14-22

DRAWING TITLE
DIMENSION SITE

SCALE:
1"=20'

SHEET NO.

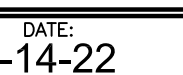
AS-1

Ernest Armijo 5/26/2023
Signed Date



7500 UNIVERSE BLVD N.W.
ALBUQUERQUE, NM

DOLLAR GENERAL®



AWING TITLE
DETAILS

SCALE:
: SCALE

SHEET NO.

AS-1.1

