

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

March 6, 2024

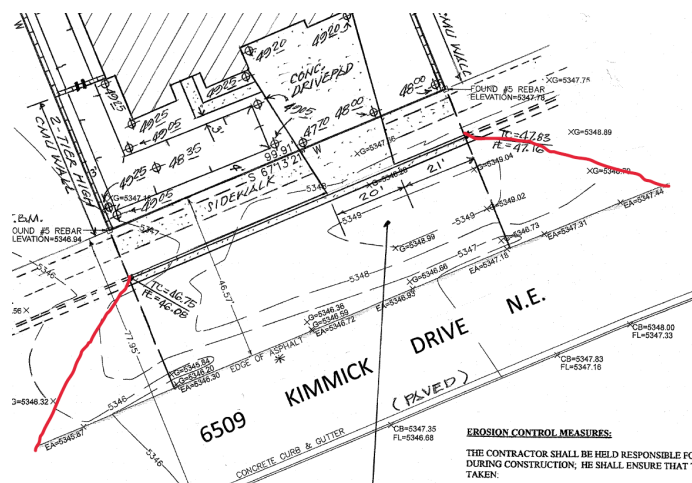
Thomas D. Johnston, PE  
George T Rodriguez-Development Consultant  
12800 San Juan Rd. SE  
Albuquerque, NM 87123

**RE: 6509 Kimmick Dr NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 02/01/24**  
**Hydrology File: C09D020**

Dear Mr. Johnston:

Based upon the information provided in your submittal received 02/02/2024, the Grading & Drainage Plan is **not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Per the IDO § 6-4(Q), the property owner of the property is responsible for building the adjacent half of Kimmick Dr. NW to include curb & gutter, and sidewalk. The project will have to go to the DFT for approval of the Infrastructure List. Please note that since this site also has to enter into a service agreement with ABCWUA, these connections need to be included in the Infrastructure List and the Work Order construction set that needs to go to the DRC for approval.
2. Per item #1, please show flares on both sites of the project to tie into the existing payment on Kimmick.



PO Box 1293

Albuquerque

NM 87103

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3. Please contact Zoning to determine the building height per the IDO and then verify from that the building's finished floor.
4. To be added to the Infrastructure List in Item #1, a full drainage study will have to be done on the north half of Kimmick since this was never included in SAD 228 drainage master plan. Here is the watershed that will have to be analyzed.



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The watershed starts at the intersection of Rosa Parks and Utraca St. Please note that Utraca St is to have a median and the other half of the street. Please contact Transportation to determine the design of this this street and Kimmick. What I am expecting is probably an inlet somewhere at this site's location on Kimmick and then a 24-in storm drain on Kimmick to go to Unser Blvd. This will some day be connected to a future 72-in storm drain on Unser Blvd that is currently in design with a DMD project.

Please note if an inlet or 24-in storm drain needs to be built, then this also needs to be shown, added to the Infrastructure List, and the Work Order construction set.

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As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, [jhughes@cabq.gov](mailto:jhughes@cabq.gov), 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or [rbrissette@cabq.gov](mailto:rbrissette@cabq.gov).

Sincerely,

*Renée C. Brissette*

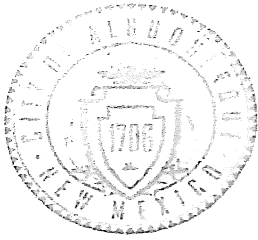
Renée C. Brissette, P.E. CFM  
Senior Engineer, Hydrology  
Planning Department

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# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6 2015)

Project Title: MANUEL GARCIA Building Permit #: \_\_\_\_\_ Hydrology File #: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_  
Legal Description: LOT 17, BLK. 5, UNIT 17, VOLCANO CLIFFS SUBDIVISION  
City Address: 6509 KIMMICK DRIVE N.W., ALBUQUERQUE, NEW MEXICO

Applicant: MANUEL GARCIA Contact: APPLICANT  
Address: ALBUQUERQUE, NEW MEXICO

Phone#: 505-400-0932 Fax#: \_\_\_\_\_ E-mail: Engar4000@gmail.com

Other Contact: GEORGE T. RODRIGUEZ-DEVEL. CONSULT. Contact: GEORGE RODRIGUEZ

Address: 12800 SAN JUAN N.E., ALBUQUERQUE, NEW MEXICO 87123

Phone#: 505-610-0593 Fax#: \_\_\_\_\_ E-mail: paurod@hotmail.com

TYPE OF DEVELOPMENT: \_\_\_\_\_ PLAT (# of lots) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? \_\_\_\_\_ Yes ☒ No

DEPARTMENT \_\_\_\_\_ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_
- ☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: FEB. 01, 2024 By: GEORGE T. RODRIGUEZ

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_

INVOICE TO

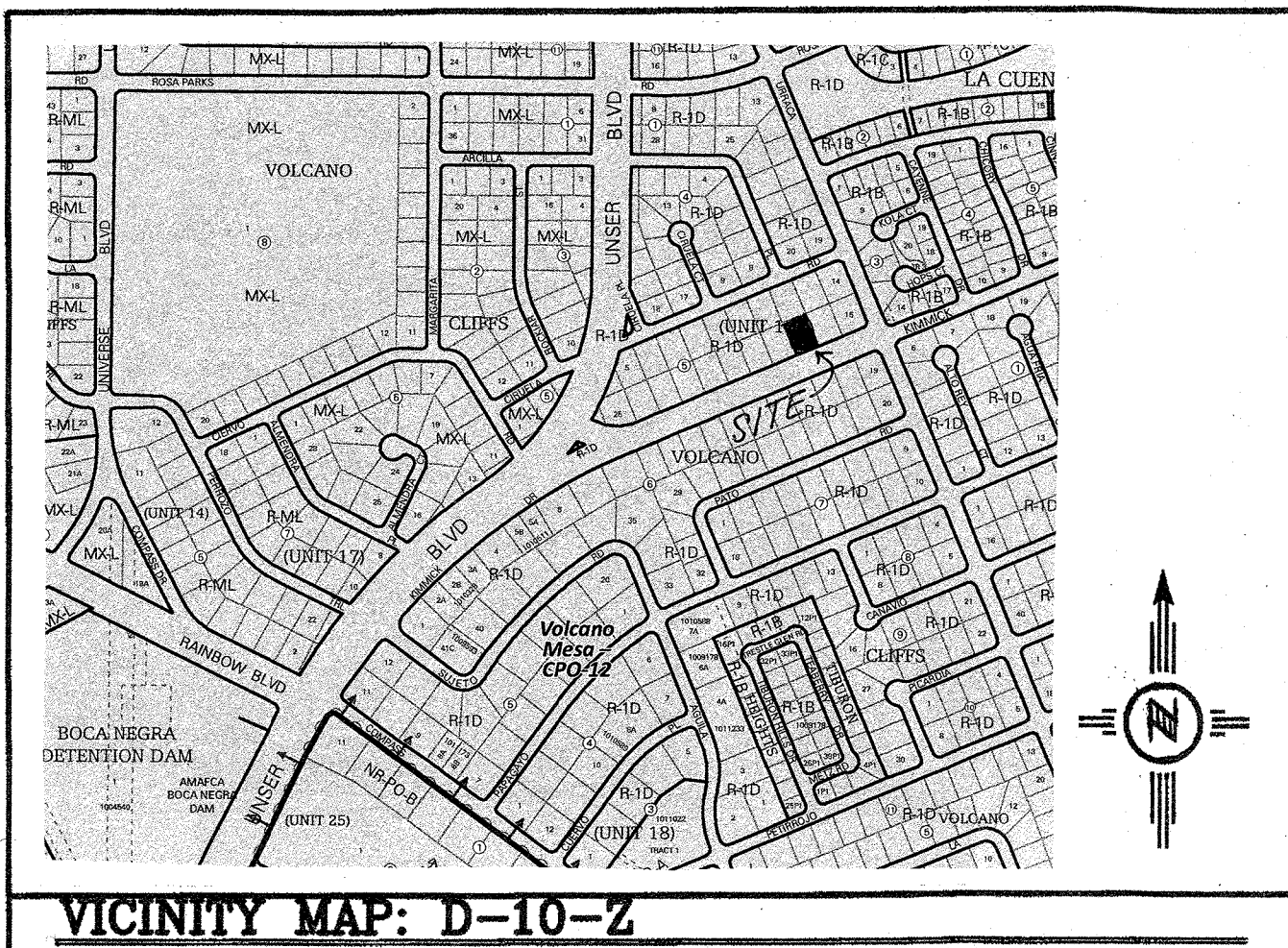


### CAUTION:

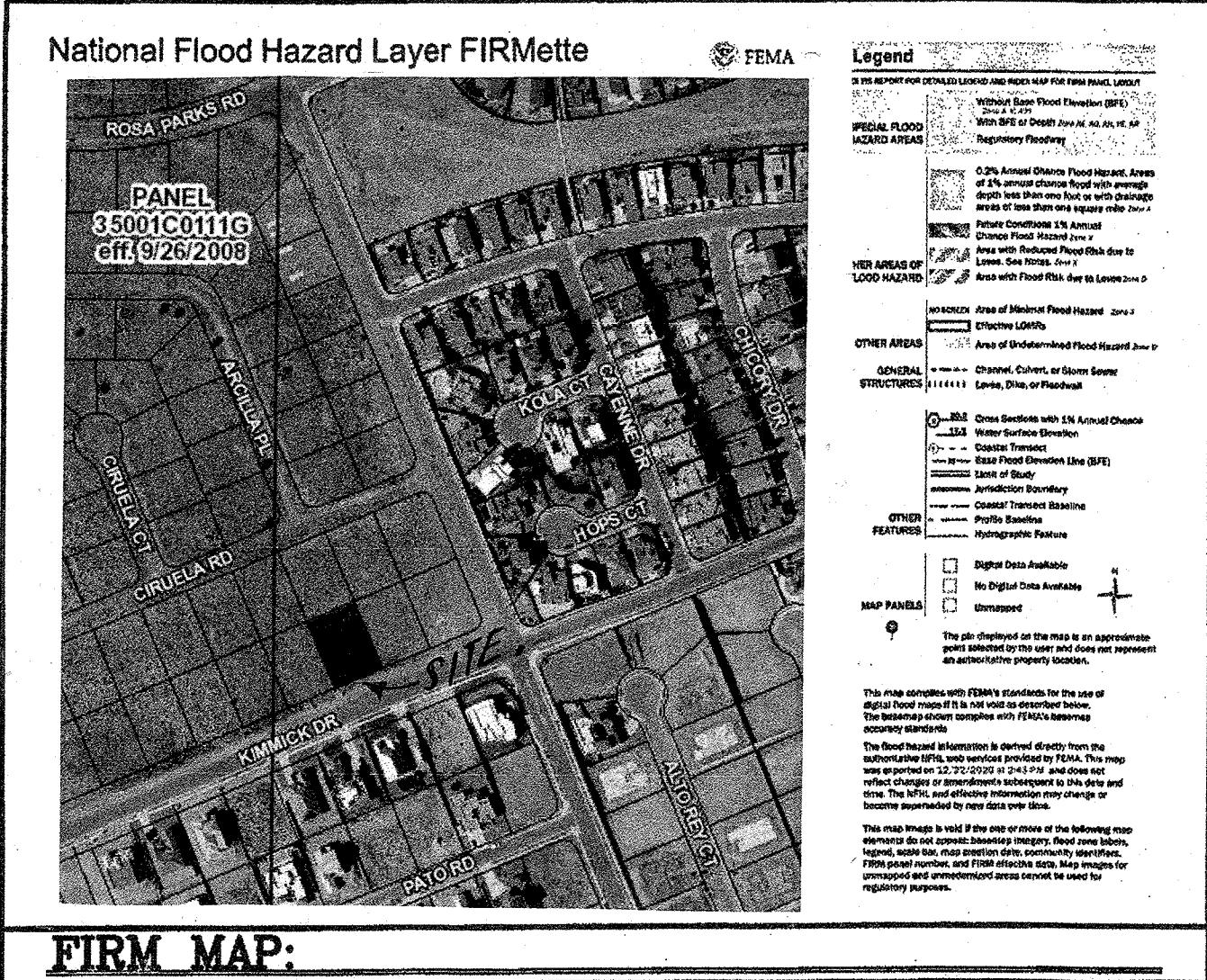
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

### GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "14-D10", HAVING AN ELEVATION OF 5322.21, NAVD 1988.
3. UTILITIES SHOWN HEREON ARE IN THE APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FILED AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS **NOT** A BOUNDARY SURVEY, APPARENT PROPERTY CORNERS AND PROPERTY LINES ARE SHOWN FOR INFORMATION ONLY. BOUNDARY DATA SHOWN IS FROM PREVIOUS SURVEY REFERENCE HEREON.



VICINITY MAP: D-10-Z



FIRM MAP:

PER FEMA FIRM PANEL NO. 35001C0112G, EFFECTIVE : 09-26-2008, THE SUBJECT SITE LIES WITHIN DESIGNATED ZONE 'X', ( AREA OF MINIMAL FLOOD HAZARD ).

### LEGEND

- 5347 — Existing Contour
- — — Design Contour
- ▨▨▨▨▨ New 5' CMU Wall
- x 5342.2 Existing Spot Elevation
- + 4925 Proposed Spot Elevation

GEORGE T. RODRIGUEZ  
LAND USE, DEVELOPMENT AND  
REDEVELOPMENT CONSULTANT  
ALBUQUERQUE, NEW MEXICO  
(505)610-0593

### EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.

NOTE : CONTRACTOR TO PROVIDE ROOF GUTTERS WITH DOWNSPOUTS DIRECTED TO SPLASH BOXES SO AS TO DISSIPATE FLOW ENERGY THEN DIRECT FLOWS TO WATER HARVESTING / RETENTION PONDS.

1. CONSTRUCT 5' HIGH CMU BLOCK WALL WITH 2" PVC OPENINGS @ 25' O.C. FOR DRAINAGE, (DESIGN BY OTHERS)

### NOTE(S):

- 1.) PAD CERTIFICATION IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.
- 2.) A FINAL INSPECTION BY HYDROLOGY IS REQUIRED BEFORE A CERTIFICATE OF OCCUPANCY IS RELEASED.

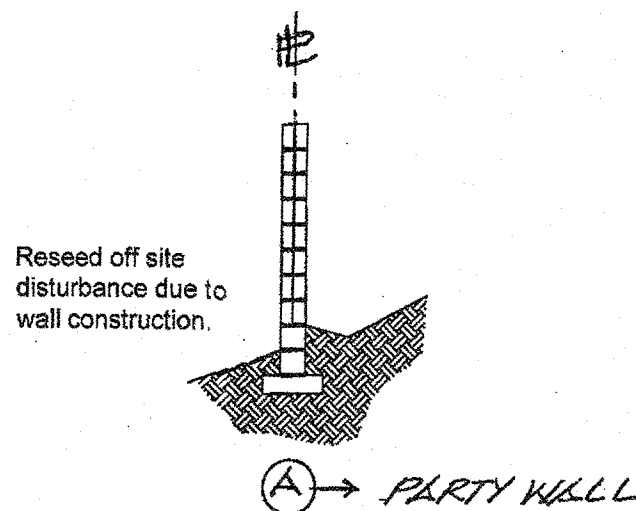
### GENERAL NOTES:

A CONCRETE WASHOUT BIN MUST BE PROVIDED AS PER CITY OF ALBUQUERQUE MS4 PERMIT REQUIREMENTS.

ALL DISTURBED AREAS DUE TO CONSTRUCTION MUST BE RESEEDED OR LANDSCAPED FOLLOWING CONSTRUCTION.

ANY PERIMETER WALLS SHALL BE PERMITTED SEPARATELY AND ALL RETAINING WALL(S) SHALL BE DESIGNED BY OTHERS.

ALL SLOPES SHALL BE 3:1 MAX.



5' GARDEN WALL DETAIL  
NO MORE THAN 24" RETENTION  
AT ANY LOCATION

- NOTE: STREET IMPROVEMENTS TO THE NORTH 1/2 OF KIMMICK DRIVE N.W. ADJACENT TO THE STREET FRONTAGE OF THE SUBJECT PROPERTY WILL BE REQUIRED BY SEPARATE PERMIT AND WILL INCLUDE AT MINIMUM THE FOLLOWING ITEMS:
- \* STREET PAVING SECTION AND SIDEWALK, CURB AND GUTTER PER C.O.A. STD. DWG. 2400 - 24058
  - \* PROPOSED 20.0' WIDE DRIVEPAD PER C.O.A. STD. DWG NO. 2425

NOTE: IT IS RECOMMENDED THAT OWNER/CONTRACTOR RETAIN AN SOILS ENGINEER TO PROVIDE SOILS TESTS AND RECOMMENDATIONS FOR THE PROPOSED SITE CONSTRUCTION; SHOULD RECOMMENDATIONS REQUIRE REVISIONS TO THIS GRADING AND DRAINAGE PLAN THIS DESIGN ENGINEER SHALL BE CONTACTED IMMEDIATELY FOR SUCH REVISIONS.

LEGAL DESCRIPTION : LOT SEVENTEEN (17), BLOCK FIVE (5), UNIT SEVENTEEN (17), VOLCANO CLIFFS SUBDIVISION, ALBUQUERQUE, NEW MEXICO.

### NOTES:

BUILDING PAD COMPACTION TO BE PER SOILS ENGINEER'S TEST RESULTS AND RECOMMENDATIONS.

CONTRACTOR TO PROVIDE ROOF GUTTERS AND DOWNSPOUTS (AS SHOWN) WITH SPLASH BOXES TO DISSIPATE DRAIN FLOW ENERGY.

CONTRACTOR TO PROVIDE POSITIVE DRAINAGE ( 2% MIN.) AWAY FROM STRUCTURE.

PROJECT T.B.M. : AS SHOWN ON THE PLAN HEREON.

### EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

### CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

### DRAINAGE COMMENTS :

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED ON THE NORTH SIDE OF KIMMICK ROAD N.W. BETWEEN UNSER BLVD. N.W. AND URRACA STREET N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. (IDO ZONE ATLAS D-10-Z).

THE SUBJECT SITE, 1.) IS AN UNDEVELOPED PROPERTY THAT IS TO HAVE A SINGLE FAMILY RESIDENCE AND ASSOCIATED IMPROVEMENTS CONSTRUCTED THEREON, (THIS GRADING AND DRAINAGE PLAN WAS PREPARED TO SUPPORT A BUILDING PERMIT APPLICATION FOR THE ADDRESS OF 6501 KIMMICK ROAD N.W., ALBUQUERQUE, NEW MEXICO), 2.) DOES ACCEPT OFFSITE FLOWS FROM PROPERTIES ADJACENT TO THE NORTH AND EAST PROPERTY LINES AND WILL CONTINUED TO BE ACCEPTED AND PASSED THROUGH AT WALL OPENINGS AT GRADE, 3.) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4.) IS NOT LOCATED WITHIN A DESIGNATED FLOODPLAIN (DESIGNATED ZONE 'X', REFERENCE FEMA FLOOD PANEL NO. 35001C0112G), 5.) IS TO PROVIDE RETENTION PONDING FOR REQUIRED POND VOLUMES

PER THE DEVELOPMENT PROCESS MANUAL FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, HYDROLOGY, CHAPTER 6, ARTICLE 6-2(a.), EFFECTIVE DATE: JUNE 8, 2020.

SITE AREA = 0.33 ACRE

PRECIPITATION ZONE : ONE (1)  
"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp"

PRECIPITATION : 100-YR./6 HR. = 2.17 IN.

EXCESS PRECIPITATION : PEAK DISCHARGE :

TREATMENT A	0.55 IN.	1.54 CFS/AC.
TREATMENT B	0.73 IN.	2.16 CFS/AC.
TREATMENT C	0.95 IN.	2.87 CFS/AC.
TREATMENT D	2.24 IN.	4.12 CFS/AC.

EXISTING CONDITIONS : PROPOSED CONDITIONS :

AREA	AREA
TREATMENT A	0.33 AC.
TREATMENT B	0.00 AC.
TREATMENT C	0.00 AC.
TREATMENT D	0.00 AC.

### EXISTING EXCESS PRECIPITATION :

WEIGHTED 'E' =  $(0.55 \times 0.33) + (0.73 \times 0.00) + (0.95 \times 0.00) + (2.24 \times 0.00) / 0.33 = 0.55$  IN.  
V100-360 =  $(0.55 \times 0.33) / 12 = 0.015125$  AC. FT. = 658.8 CU. FT.

### EXISTING PEAK DISCHARGE :

Q-100 =  $(1.54 \times 0.33) + (2.16 \times 0.00) + (2.87 \times 0.00) + (4.12 \times 0.00) = 0.51$  CFS

### PROPOSED EXCESS PRECIPITATION :

WEIGHTED 'E' =  $(0.55 \times 0.00) + (0.73 \times 0.00) + (0.95 \times 0.17) + (2.24 \times 0.16) / 0.33 = 1.58$  IN.  
V100-360 =  $(1.58 \times 0.33) / 12 = 0.04345$  AC. FT. = 1,892.7 CU. FT.

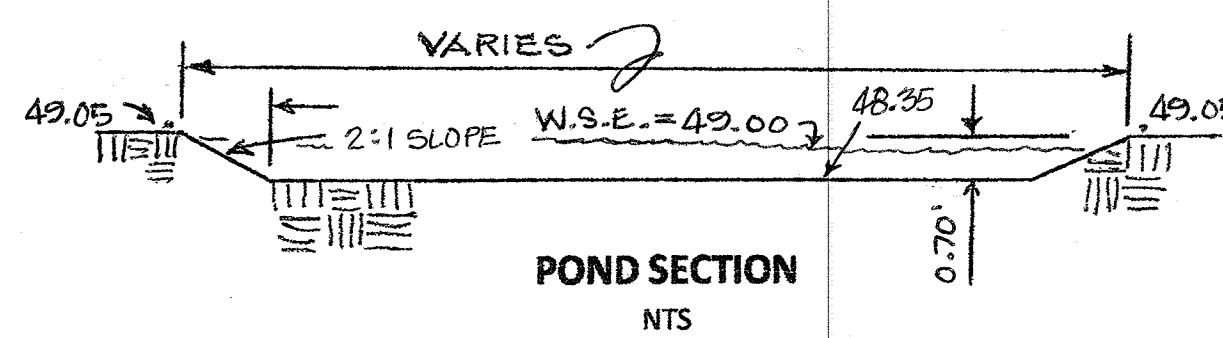
### PROPOSED PEAK DISCHARGE :

Q-100 =  $(1.54 \times 0.00) + (2.16 \times 0.00) + (2.87 \times 0.17) + (4.12 \times 0.16) = 1.15$  CFS

INCREASE : V100-360 = 1,234.0 CU. FT. Q-100 = 0.64 CFS

REQUIRED POND VOLUME : 1,893.0 CU. FT.

(MEAN SQUARE FEET) = 2,880.0 SQ. FT. X 0.70' DEPTH = 2,016.0 CU. FT. PROVIDED



MANUEL GARCIA FAMILY RESIDENCE  
6509 KIMMICK DRIVE N.W.  
ALBUQUERQUE, NEW MEXICO  
JANUARY, 2024

## GRADING AND DRAINAGE PLAN