

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

September 8, 2025

Amadeo Trujillo  
Tierra West LLC  
5571 Midway Park PI NE Unit A  
Albuquerque NM, 87109

[atrujillo@tierrawestllc.com](mailto:atrujillo@tierrawestllc.com)

**Re: SAFstor Self Storage  
7520 Rainbow NW  
Traffic Circulation Layout  
Engineer's Stamp 9/3/25 (C09D021) TRANS-2025-00247**

Dear Trujillo,

The TCL submittal received 9-3-25 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, and the TCL to the [ABQ-PLAN](#) for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

*Sertil A. Kanbar*

Sertil Kanbar, PhD, PE, CFM  
Sr. Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File

**CAUTION:**

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**SITE DATA**

PROPOSED USAGE: SAFStor Self Storage  
 LOT AREA: 88,479.07 SF (2.0312 ACRE)  
 ZONING: MX-L  
 BUILDING AREA: 105,675 SF  
 PARKING REQUIRED: 35 SPACES (105,675 SF, 1 SPACE/ 3,000 GFA)  
 PARKING PROVIDED: 35 SPACES 3-SMALL CAR (9%)  
 HC PARKING REQUIRED: 2 SPACES  
 HC PARKING PROVIDED: 2 SPACES  
 1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES  
 MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES  
 BICYCLE PARKING PROVIDED: 4 SPACES

LANDSCAPE AREA REQUIRED: 13,272 SF  
 LANDSCAPE AREA PROVIDED: 39,161 SF

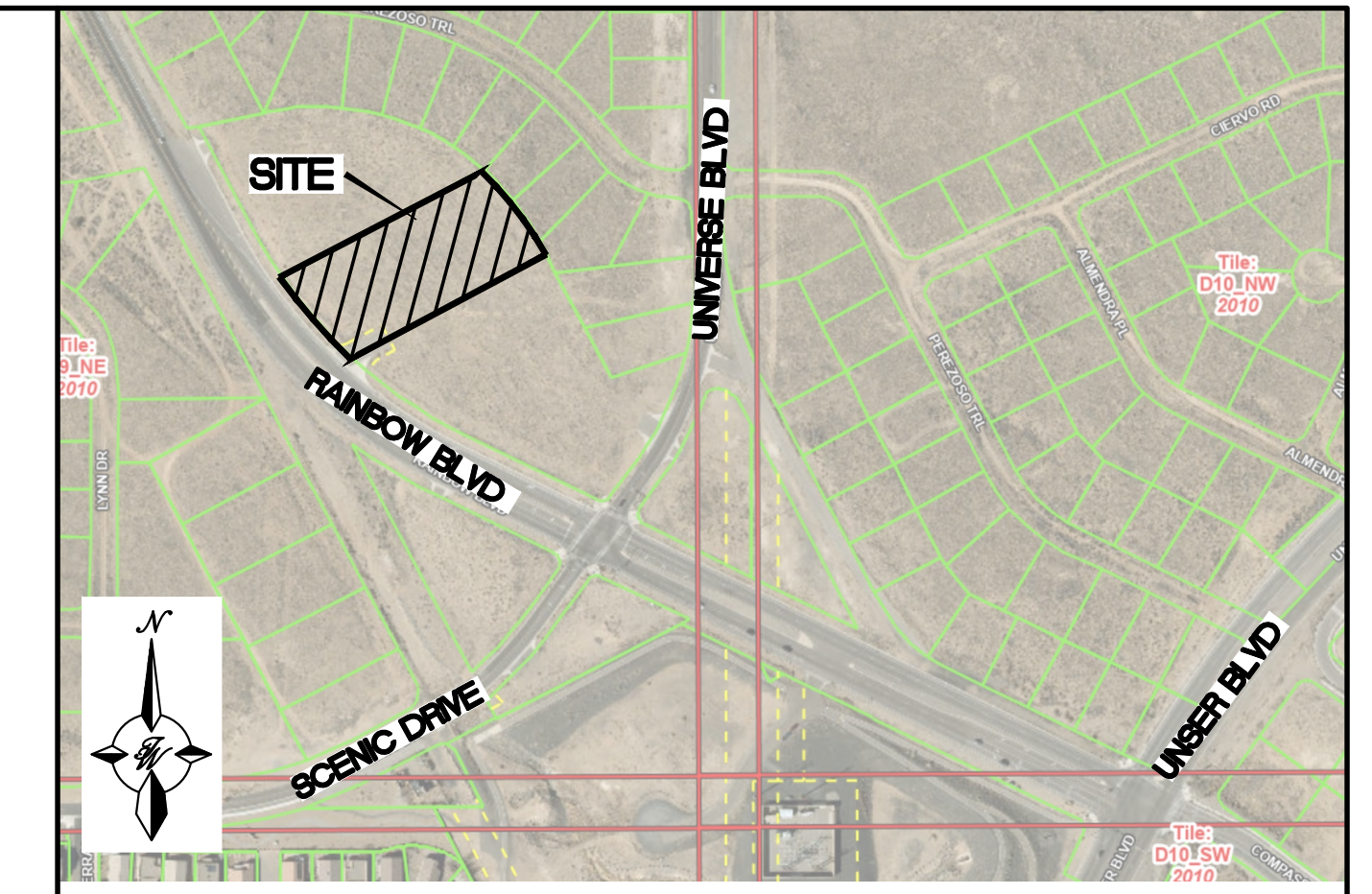
OUTDOOR SEATING/GATHERING AREA REQUIRED: 1,200 SF  
 OUTDOOR SEATING/GATHERING AREA PROVIDED: 1,200 SF

**KEYED NOTES**

- 1 ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. C9)
- 2 6" HEADER CURB (SEE DETAIL SHT. C9)
- 3 CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. C9)
- 4 DUMPSTER (SEE DETAIL SHT. C10)
- 5 BICYCLE RACKS (SEE DETAIL SHT. C9)
- 6 CURB HC RAMP (SEE DETAIL SHT. C9)
- 7 WHEEL STOP (SEE DETAIL SHT. C9)
- 8 MONUMENT SIGN
- 9 STOP SIGN
- 10 STOP BAR
- 11 NEW 6" CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. C9)
- 12 UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. C9)
- 13 6' OPAQUE FENCE/WALL
- 14 PEDESTRIAN ACCESS WALKWAY
- 15 NEW ASPHALT PAVING

**LEGEND**

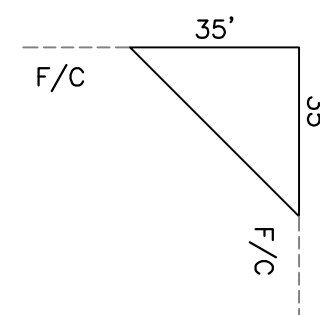
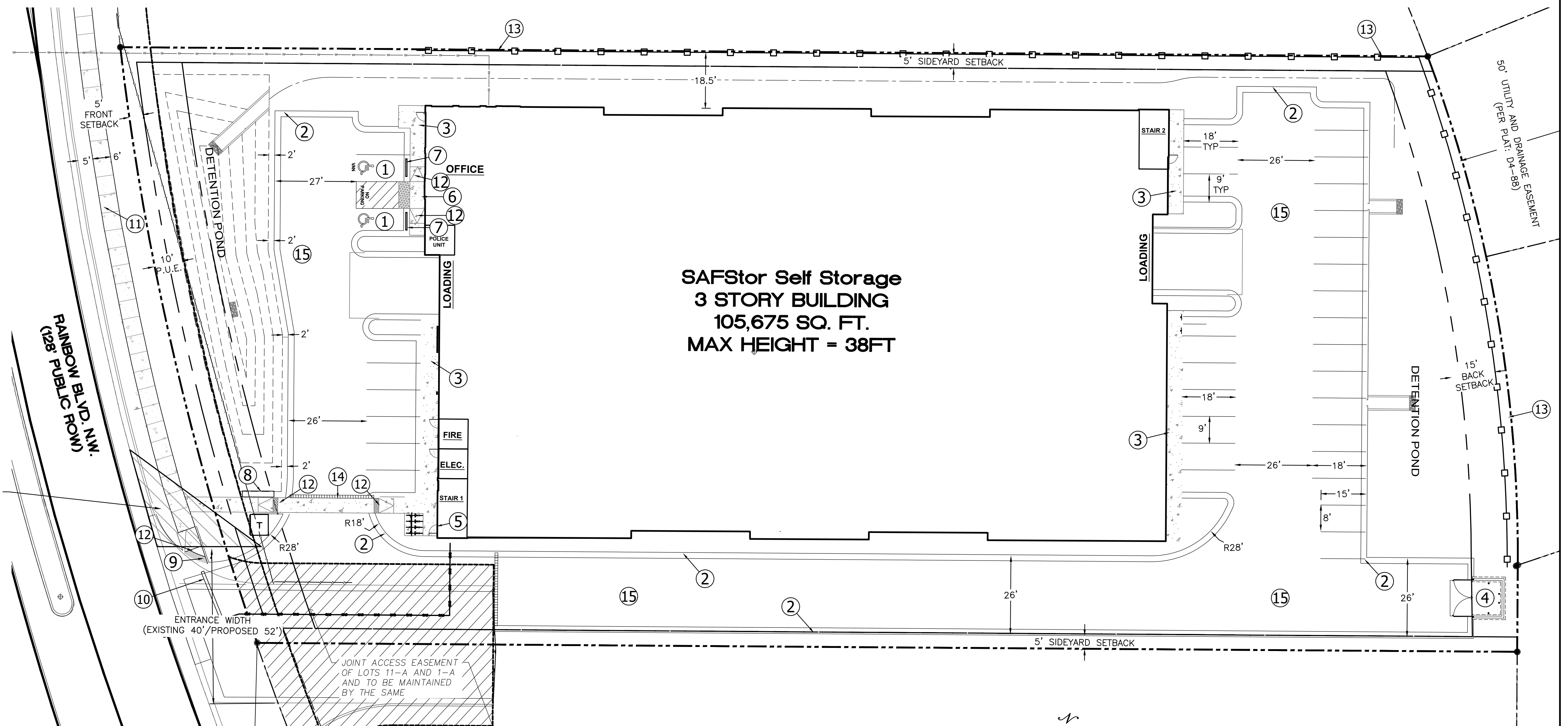
- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- ▭ BUILDING
- ▭ SIDEWALK
- ☼ SITE LIGHTS
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- ▭ EXISTING SIDEWALK
- - - EXISTING STORM DRAIN
- - - EXISTING WATERLINE
- - - EXISTING SANITARY SEWER
- - - EXISTING FIBER OPTIC
- T TRANSFORMER



**VICINITY MAP** L-D9-Z

**LEGAL DESCRIPTION:**  
 LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION  
 UPC 100906347136710711.  
 ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
 Sertil A. Kanbar 9/8/2025  
 Signed Date



LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES AND SHRUBBERY BETWEEN 3' AND 8' TALL (AS MEASURED FROM GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE

**SETBACKS:**

FRONT 5' MINIMUM  
 SIDE 5' MINIMUM  
 BACK 15' MINIMUM

**LANDSCAPE BUFFER:**

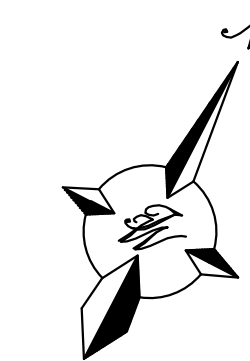
BACK 50' MINIMUM OR 6' OPAQUE WALL

**GENERAL NOTES:**

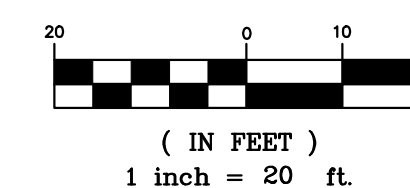
- 1. ALL BROKEN OR CRACKED CURB AND GUTTER OR VALLEY GUTTER MUST BE REMOVED AND REPLACED.

**EXECUTIVE SUMMARY**

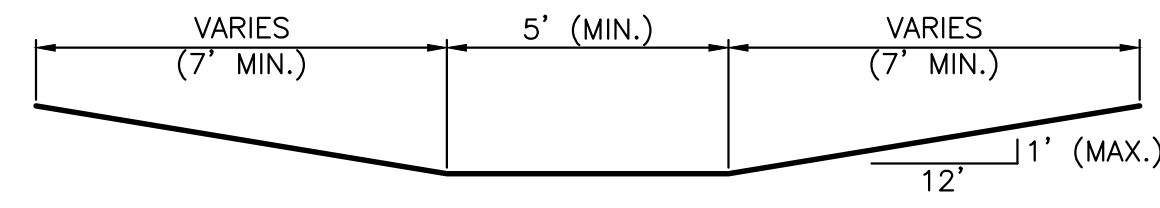
THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF RAINBOW BOULEVARD N.W. AND UNIVERSE BOULEVARD NW. THE IMPROVEMENTS ON THE 2.03 ACRE PROPERTY (ONE TRACT) ARE PROPOSED 105,075 SF BUILDING AND ALL OTHER SITE IMPROVEMENTS. ALL OTHER EXISTING IMPROVEMENTS WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM ONE EXISTING ENTRANCE OFF RAINBOW BOULEVARD N.W.



**GRAPHIC SCALE**



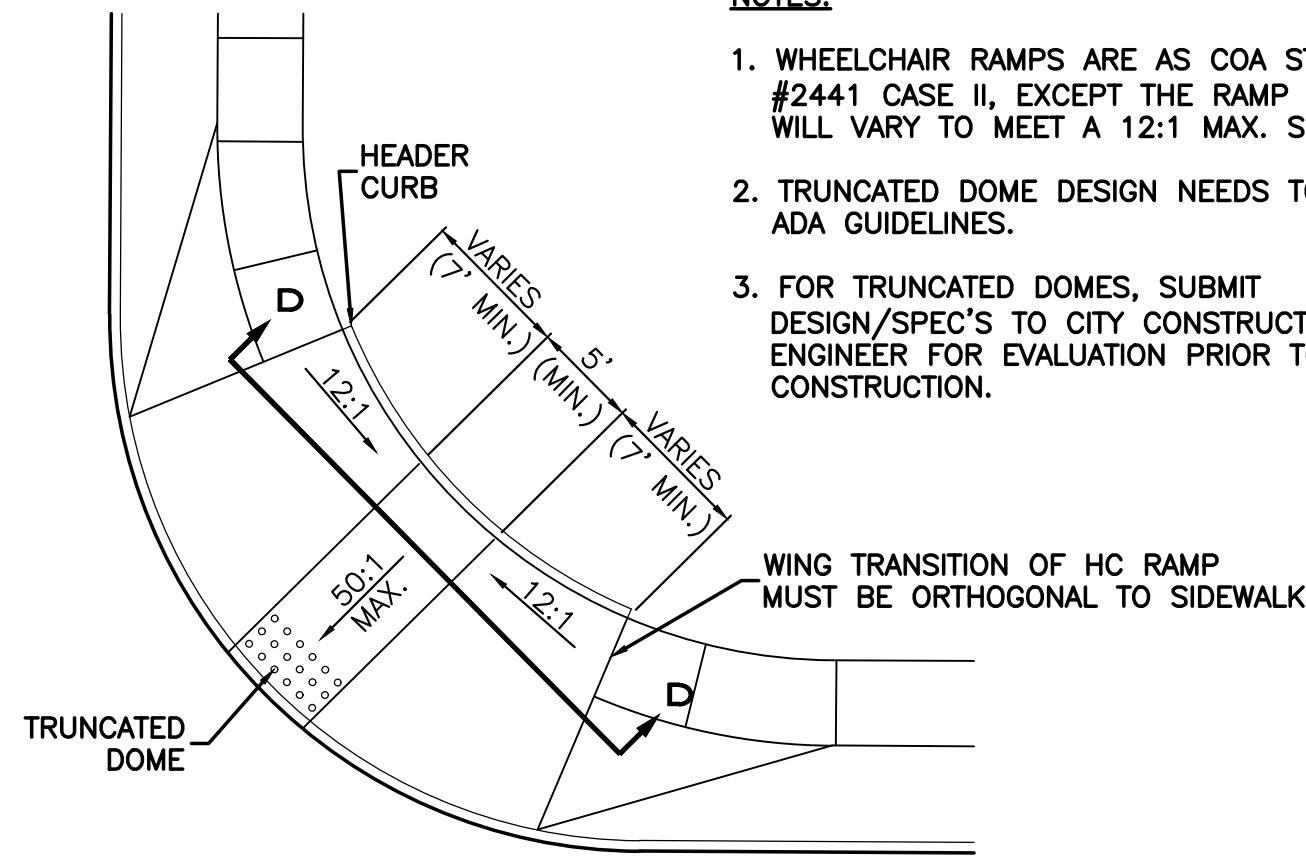
ENGINEER'S SEAL  RONALD R. BOHANNAN P.E. #7868	<b>SAFStor SELF STORAGE</b> RAINBOW BLVD, ALB, NM	DRAWN BY MR
	<b>FINAL TRAFFIC CIRCULATION PLAN</b>	DATE 09/03/2025
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>TCL-1</b>	JOB # 2024032



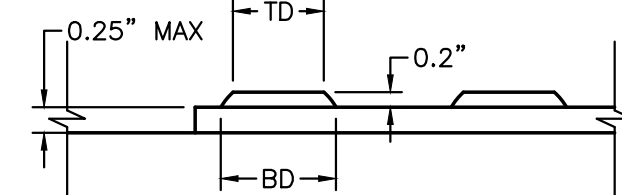
**SECTION D-D**  
NTS

**NOTES:**

1. WHEELCHAIR RAMP ARE AS COA STD DWG #2441 CASE II, EXCEPT THE RAMP WIDTH WILL VARY TO MEET A 12:1 MAX. SLOPE.
2. TRUNCATED DOME DESIGN NEEDS TO FOLLOW ADA GUIDELINES.
3. FOR TRUNCATED DOMES, SUBMIT DESIGN/SPEC'S TO CITY CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

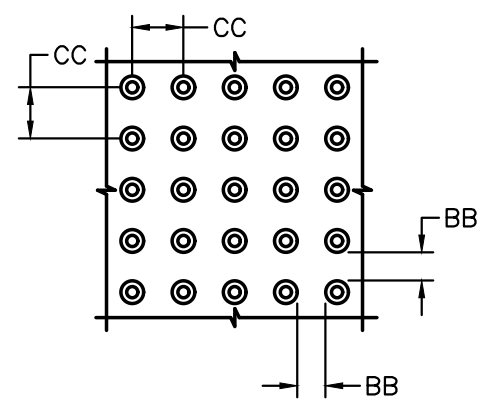


**WHEELCHAIR RAMP DETAIL (TYP.)**  
NTS



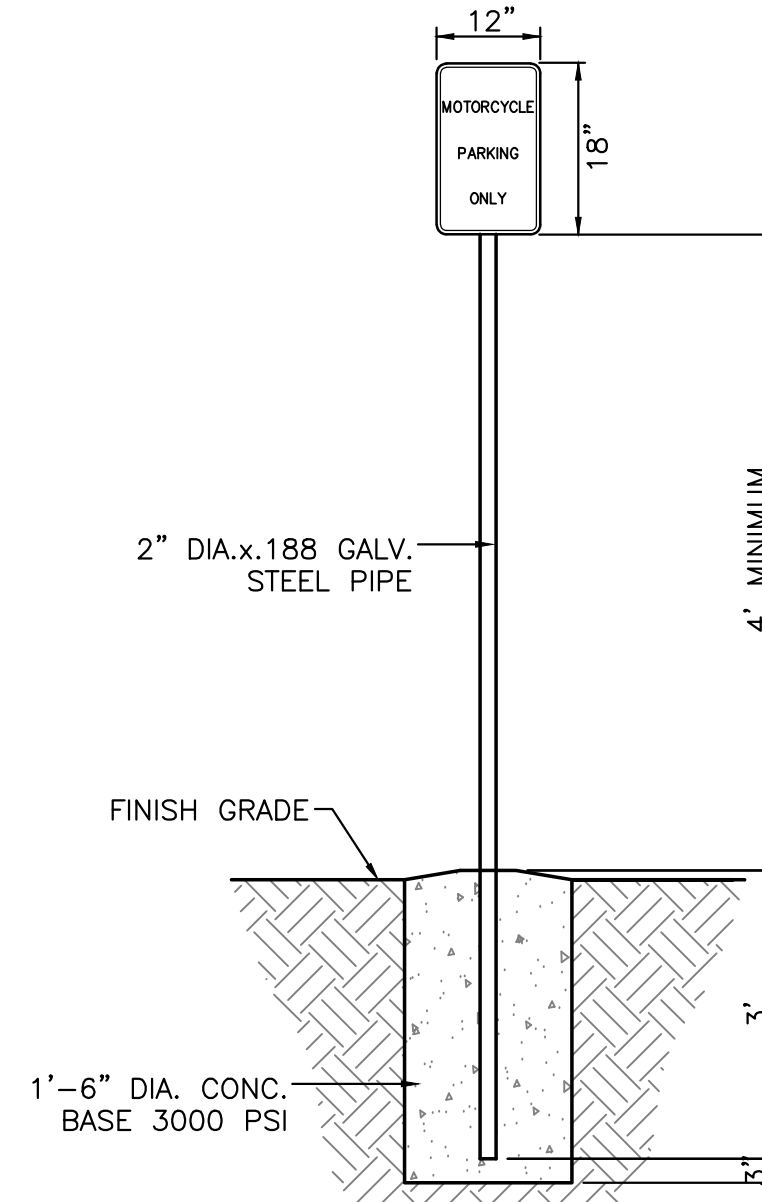
**DOME SECTION**

BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX

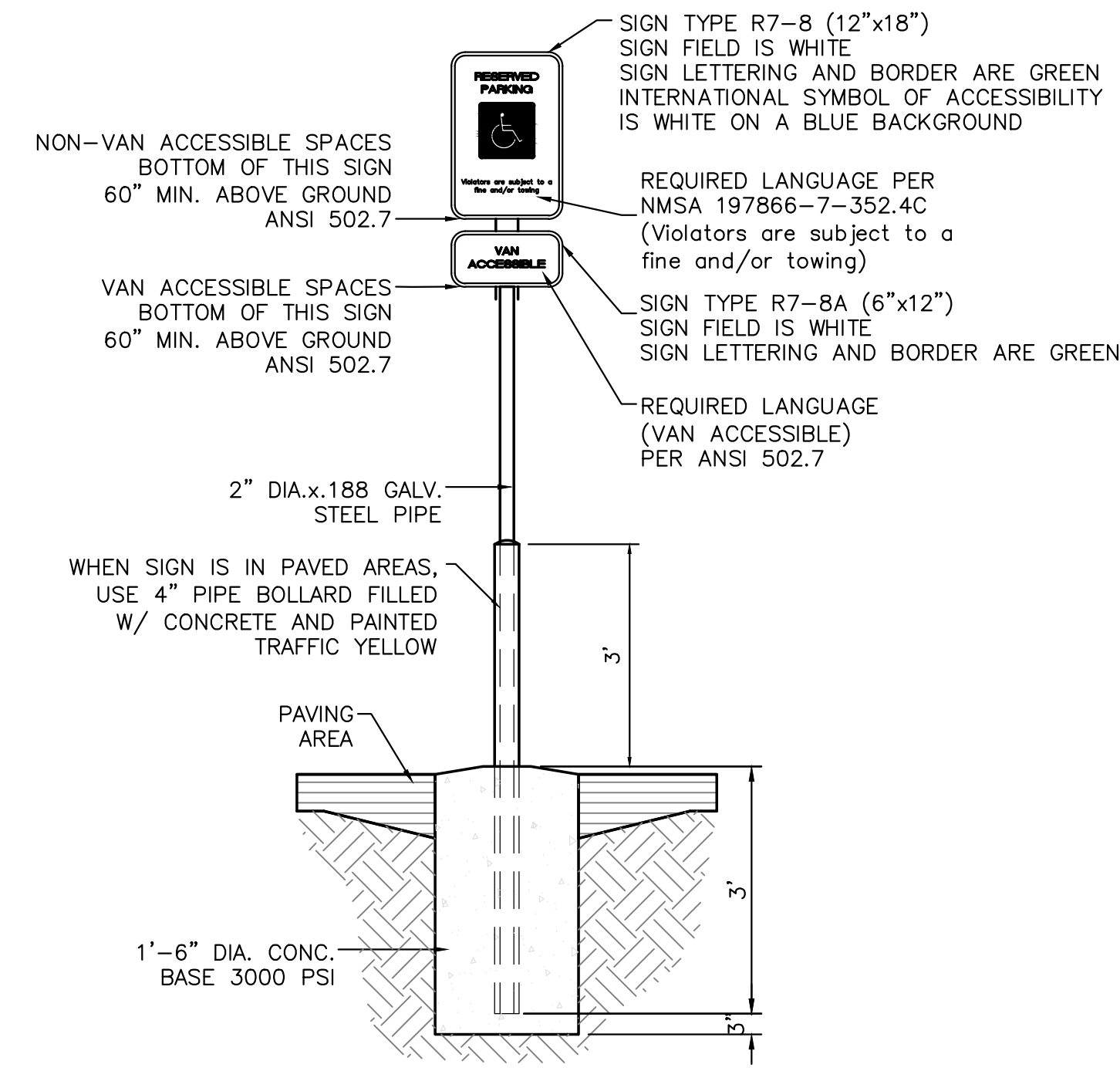


**DOME SPACING**

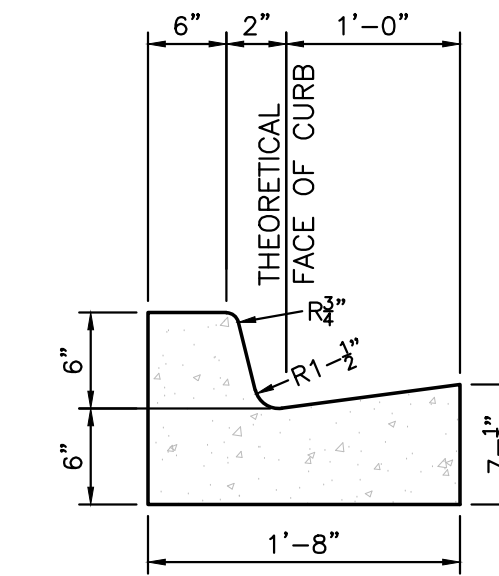
CC - CENTER TO CENTER SPACING 2.35"  
BB - BASE TO BASE SPACING 1.48" MIN



**MOTORCYCLE PARKING SIGN**  
NTS



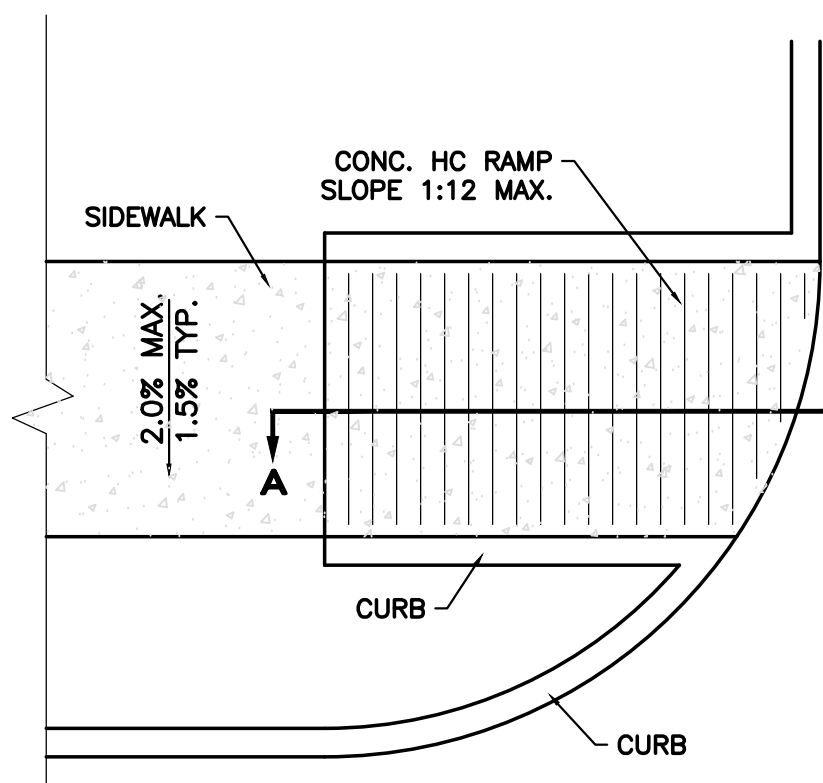
**ACCESSIBLE PARKING SIGN**  
NTS



**CURB GENERAL NOTES:**

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX., SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS., SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

**6" PRIVATE CURB & GUTTER**  
NTS



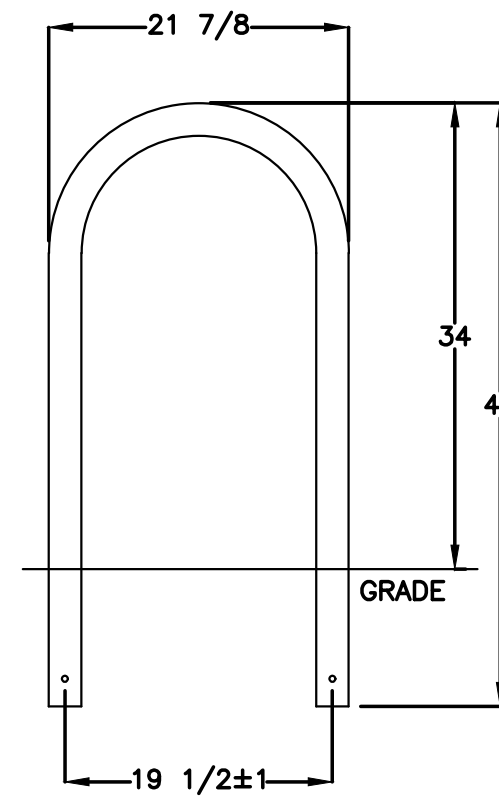
**SECTION A-A**

**UNIDIRECTIONAL HC RAMP**

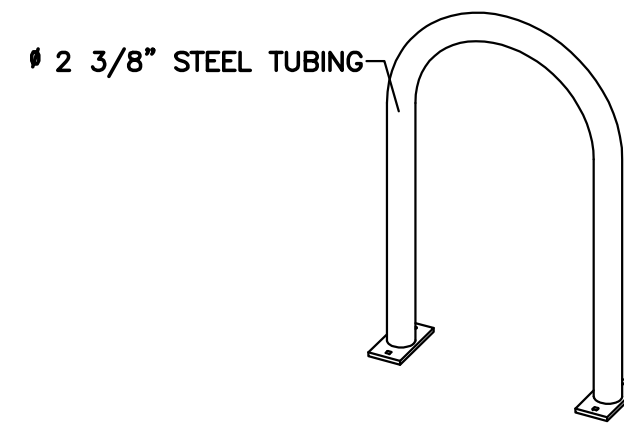
SCALE: NTS

**NOTES:**

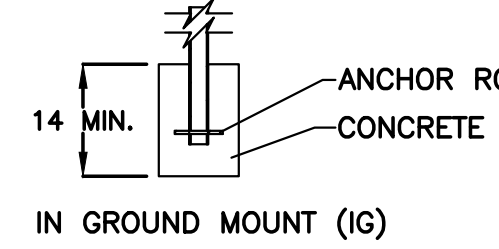
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



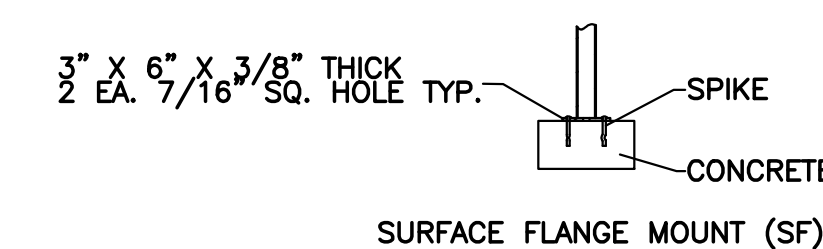
MORAX DIVISION GRABER MANUFACTURING, INC. 1080 UNEX DRIVE WAUNAKEE, WI 53597 P(800) 448-7931, P(608) 849-1080, F(608) 849-1081 WWW.MORAX.COM, E-MAIL: SALES@MORAX.COM



**CHECK DESIRED MOUNT**



IN GROUND MOUNT (IG)



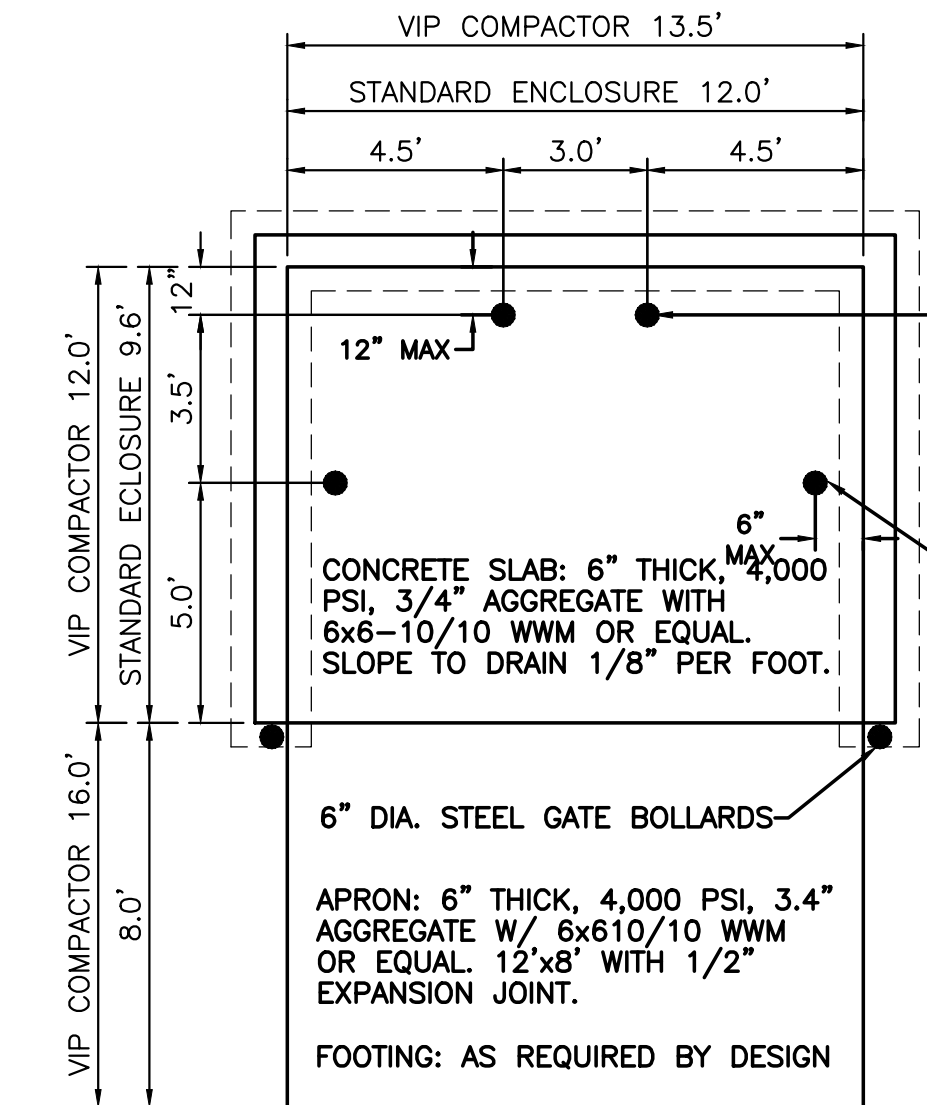
SURFACE FLANGE MOUNT (SF)

PRODUCT: U238-IG(SF) DESCRIPTION: 'U' BIKE RACK 2 BIKE, SURFACE OR IN GROUND MOUNT DATE: 10-4-18 ENG: SMC

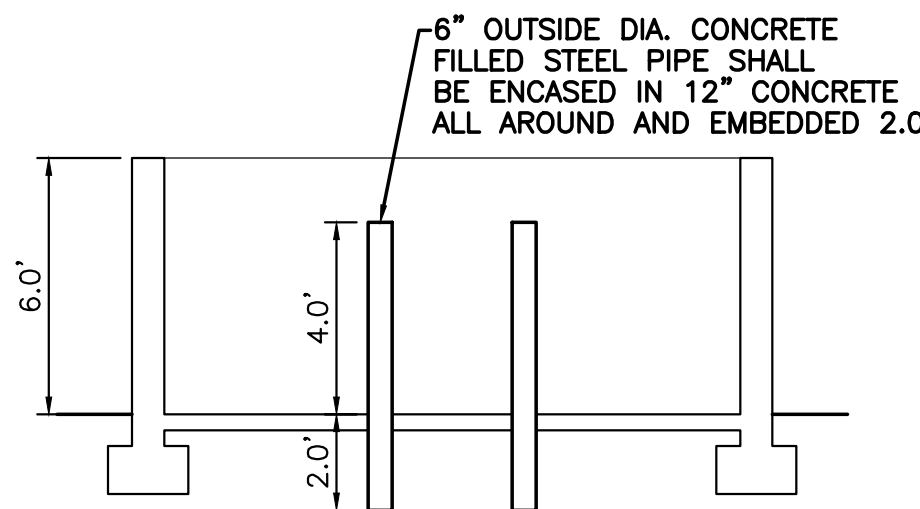
**NOTES:**

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR (FINISH), SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.

**U-BIKE RACK**



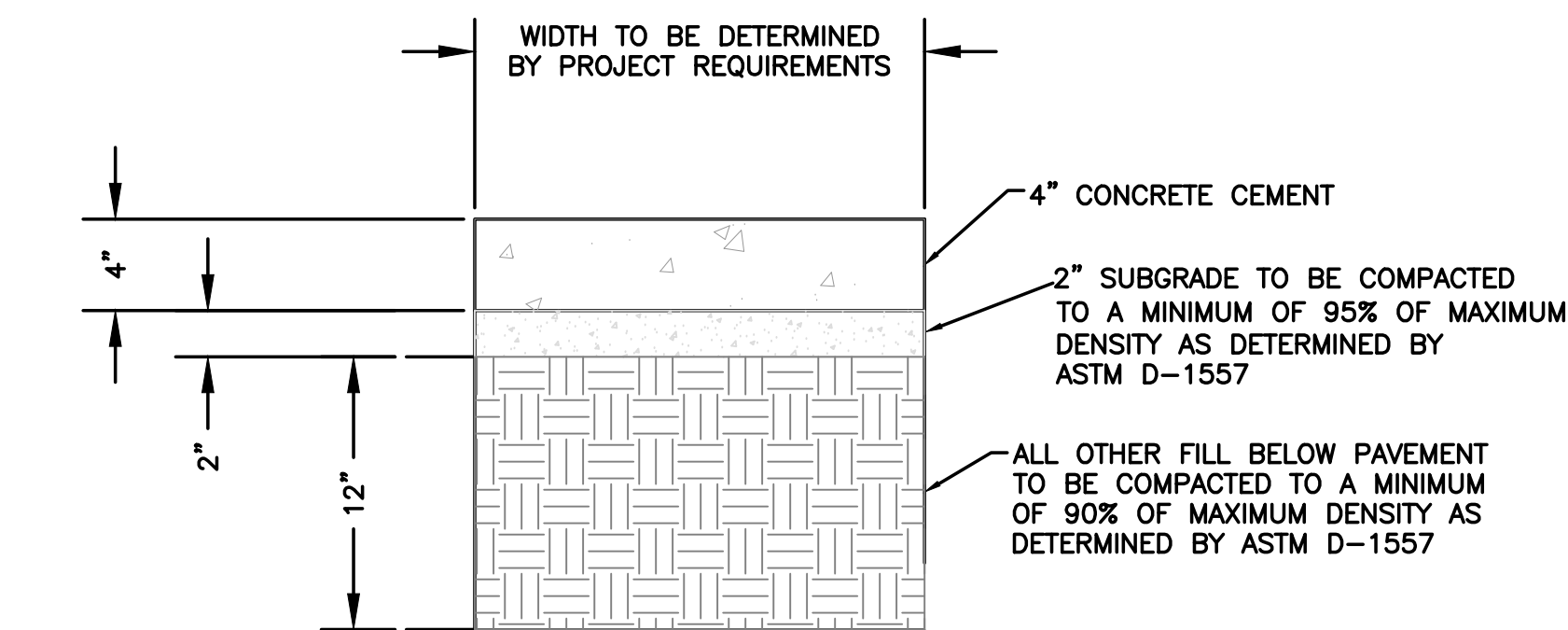
APRON REQUIRED IN FRONT OF EACH ENCLOSURE. (6" WITH REINFORCING TO WITHSTAND 57,000 LBS.)



NOTE: THESE ARE THE MINIMUM REQUIREMENTS FOR TRASH ENCLOSURES. DESIGNS MAY VARY TO FIT THE SELECTED ENCLOSURE.

**DUMPSTER ENCLOSURE DETAIL**  
NTS

**TRAFFIC CIRCULATION LAYOUT APPROVED**  
Sertil A. Kanbar 9/8/2025  
Signed Date



**CONCRETE SIDEWALK SECTION**

ENGINEER'S SEAL RONALD R. BOHANNAN NEW MEXICO 7868 09/03/2025 RONALD R. BOHANNAN P.E. #7868	<b>SAFStor SELF STORAGE</b> RAINBOW BLVD, ALB, NM	DRAWN BY MR
	<b>CONSTRUCTION DETAILS</b>	DATE 09/03/2025
TIERRA WEST, LLC 5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com	SHEET # <b>15</b>	JOB # 2024032