

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 13, 2025

Amadeo Trujillo,
Tierra West LLC
5571 Midway Park PL NE,
Albuquerque, NM 87109

**Re: SAF Store Rainbow Blvd
7520 RAINBOW BLVD. NW,
ALBUQUERQUE NM 87120
Conceptual Traffic Circulation Layout-DFT
Engineer's/Architect's Stamp 10-24-24 (C09D021)**

Dear Mr. Trujillo,

The conceptual TCL submittal received 01-09-25 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit. **An approved traffic scoping form is required before a full traffic circulation layout approval.**

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to plndrs@cabq.gov for log in and evaluation by Transportation.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: _____ Hydrology File # _____

Legal Description: _____

City Address, UPC, OR Parcel: _____

Applicant/Agent: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

Applicant/Owner: _____ Contact: _____

Address: _____ Phone: _____

Email: _____

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

Engineering / Architect Certification
Conceptual Grading & Drainage Plan
Grading & Drainage Plan, and/or Drainage Report
Drainage Report (Work Order)
Drainage Master Plan
Conditional Letter of Map Revision (CLOMR)
Letter of Map Revision (LOMR)
Floodplain Development Permit
Traffic Circulation Layout (TCL) – Administrative
Traffic Circulation Layout (TCL) – DFT Approval
Traffic Impact Study (TIS)
Street Light Layout
OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

Pad Certification
Building Permit
Grading Permit
Paving Permit
SO-19 Permit
Foundation Permit
Certificate of Occupancy - Temp Perm
Preliminary / Final Plat
Site Plan for Building Permit - DFT
Work Order (DRC)
Release of Financial Guarantee (ROFG)
CLOMR / LOMR
Conceptual TCL - DFT
OTHER (SPECIFY) _____

DATE SUBMITTED: _____

CAUTION:
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

SITE DATA

PROPOSED USAGE: SAFStor Self Storage
LOT AREA: 88,479.07 SF (2.0312) ACRE)
ZONING: MX-L

BUILDING AREA: 105,075 SF

PARKING REQUIRED: 35 SPACES (105,075 SF, 1 SPACE/ 3,000 GFA)
PARKING PROVIDED: 35 SPACES 3--SMALL CAR (9%)

HC PARKING REQUIRED: 2 SPACES
HC PARKING PROVIDED: 2 SPACES
1 SPACE VAN ACCESSIBLE

MOTORCYCLE PARKING REQUIRED: 2 SPACES
MOTORCYCLE PARKING PROVIDED: 2 SPACES

BICYCLE PARKING REQUIRED: 4 SPACES
BICYCLE PARKING PROVIDED: 4 SPACES

KEYED NOTES

- 1

ACCESSIBLE PARKING PER ADA STANDARDS WITH SIGN (SEE DETAIL SHT. D1)
- 2

6" HEADER CURB (SEE DETAIL SHT. D1)
- 3

CONCRETE SIDEWALK AT BUILDING (SEE DETAIL SHT. D1)
- 4

DUMPSTER (SEE DETAIL SHT. D1)
- 5

BICYCLE RACKS (SEE DETAIL SHT. D1)
- 6

CURB HC RAMP (SEE DETAIL SHT. D1)
- 7

WHEEL STOP (SEE DETAIL SHT. D1)

8

MONUMENT SIGN

9

STOP SIGN

10

STOP BAR

11

NEW 6' CONCRETE SIDEWALK PER COA STD DWG 2430 (TYP.), (SEE DETAIL SHT. D1)

12

UNIDIRECTIONAL ACCESSIBLE (TYP.) RAMP PER COA STD DWG 2443, (SEE DETAIL SHT. D1)

13

6' OPAQUE FENCE/WALL

14

PEDESTRIAN ACCESS WALKWAY

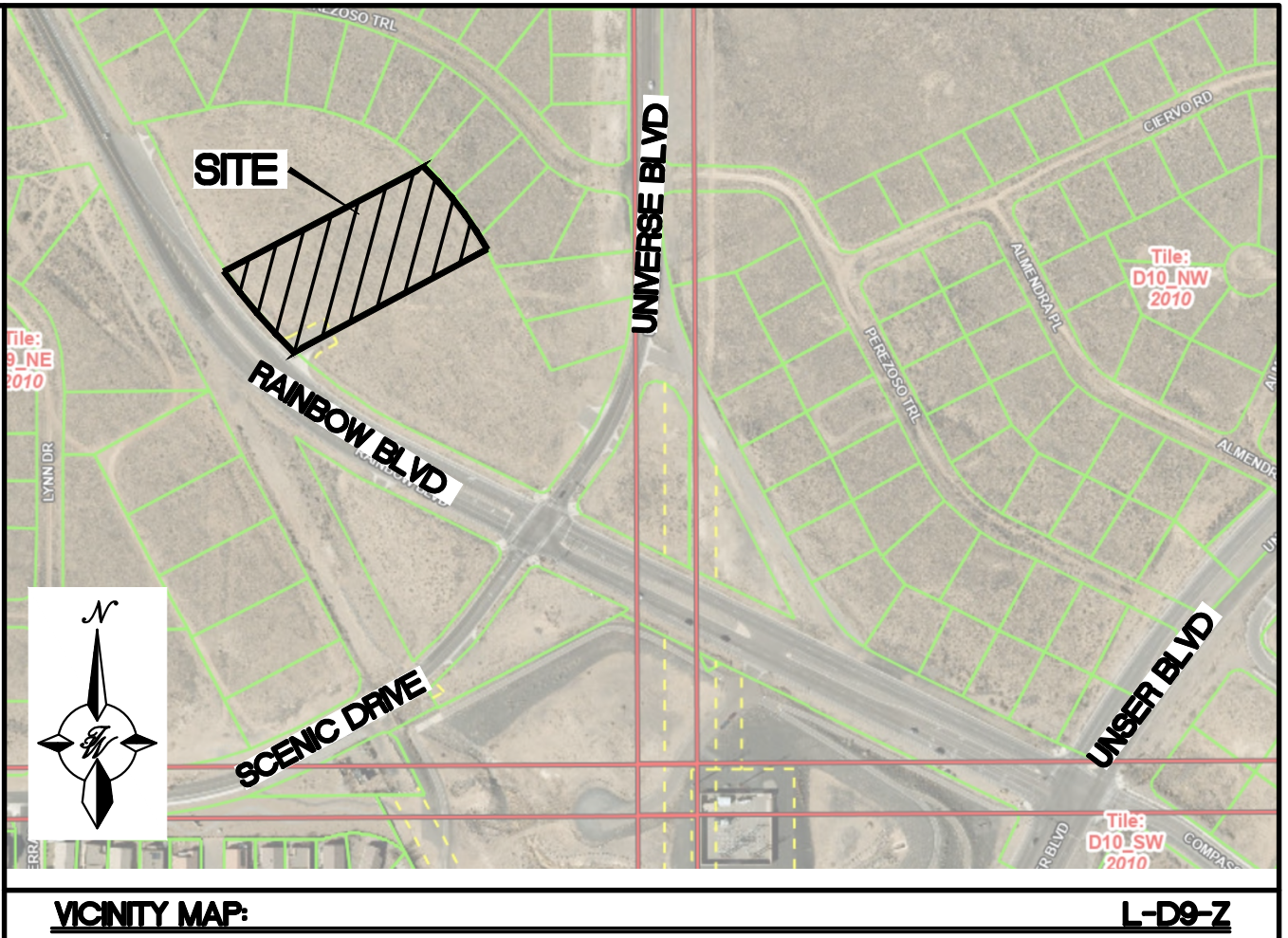
15

NEW ASPHALT PAVING

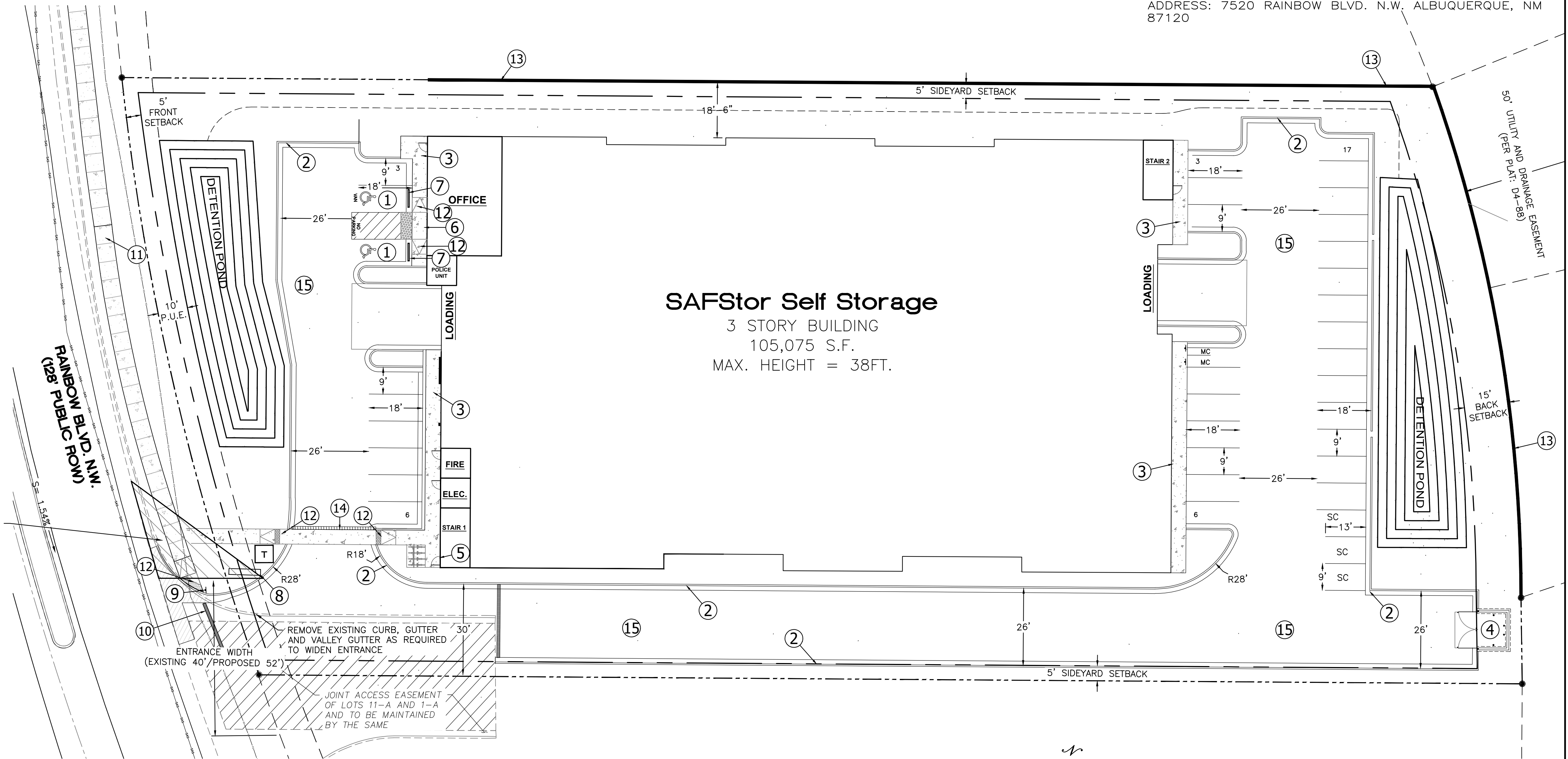
LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- EASEMENT
- CENTERLINE
- BUILDING
- SIDEWALK
- SITE LIGHTS
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING SIDEWALK
- EXISTING STORM DRAIN
- EXISTING WATERLINE
- EXISTING SANITARY SEWER
- EXISTING FIBER OPTIC
- T

TRANSFORMER



LEGAL DESCRIPTION:
LOT 11-A BLOCK 2 UNIT 14 VOLCANO CLIFFS SUBDIVISION
UPC 100906347136710711.
ADDRESS: 7520 RAINBOW BLVD. N.W. ALBUQUERQUE, NM 87120



SETBACKS:

FRONT 5' MINIMUM
SIDE 5' MINIMUM
BACK 15' MINIMUM

LANDSCAPE BUFFER:

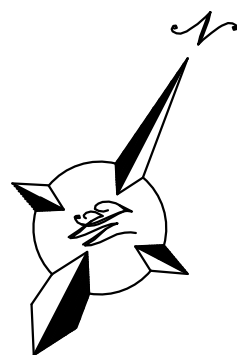
BACK 50' MINIMUM OR 6' OPAQUE WALL

GENERAL NOTES:

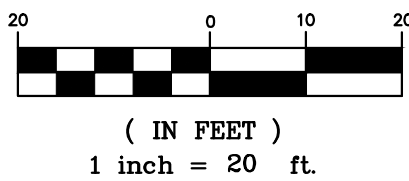
1. ALL BROKEN OR CRACKED CURB AND GUTTER OR VALLEY GUTTER MUST BE REMOVED AND REPLACED.




EXECUTIVE SUMMARY

THE SITE IS LOCATED IN THE SOUTHEAST QUADRANT OF RAINBOW BOULEVARD N.W. AND UNIVERSE BOULEVARD N.W. THE IMPROVEMENTS ON THE 2.03 ACRE PROPERTY (ONE TRACT) ARE PROPOSED 105,075 SF BUILDING AND ALL OTHER SITE IMPROVEMENTS. ALL OTHER EXISTING IMPROVEMENTS WILL REMAIN AS IS. ACCESS TO THE SITE IS FROM ONE EXISTING ENTRANCE OFF RAINBOW BOULEVARD N.W.



GRAPHIC SCALE



<div>ENGINEER'S SEAL</div> <div></div> <div></div> <div>10-24-2024</div> <div>RONALD R. BOHANNAN P.E. #7868</div>	SAFStor RAINBOW ALBUQUERQUE, N.M.		DRAWN BY RMG
	TRAFFIC CIRULATION PLAN		DATE 10/24/2024
			2024032_TCL
	<div><div>TERRA WEST, LLC</div><div>5571 MIDWAY PARK PLACE NE ALBUQUERQUE, NM 87109 (505) 858-3100 www.tierrawestllc.com</div></div>		SHEET # TCL-1
JOB # 2024032			

