

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

May 23, 2025

John M. Stapleton, P.E.
Community Design Solutions
9384 Valley View Dr NW
Albuquerque, NM 87114

**Re: Viaverde Apts/ 6601 Tree Line Ave NW/ BLDG 24&25
Request for Certificate of Occupancy
Transportation Development Final Inspection**
Engineer's Stamp dated 11-01-23 (C10-D001A)
Certification dated 05-16-25
Trans# 2025-00138

Dear Mr . Stapleton,

Based upon the information provided in your submittal received 05-16-25, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Albuquerque

Sincerely,

NM 87103

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

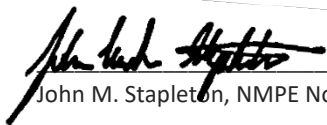
www.cabq.gov

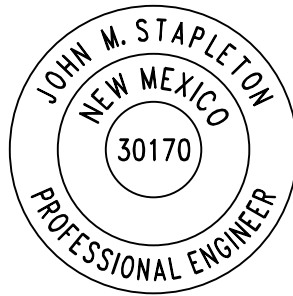
\EA via: email
C: CO Clerk, File

TRAFFIC CERTIFICATION

I, JOHN M. STAPLETON, NMPE, OF THE FIRM COMMUNITY DESIGN SOLUTIONS, LLC, HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/01/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOHN M. STAPLETON OF THE FIRM COMMUNITY DESIGN SOLUTIONS, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON MAY 15, 2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.


John M. Stapleton, NMPE No. 30170



05/16/2025
Date



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Sonata Trails Unit 4 Apts Hydrology File # C10D001A

Legal Description: Tracts 1, 2, and 3, The Trails Unit 4

City Address, UPC, OR Parcel: 101006405136720151

Applicant/Agent: Community Design Solutions, LLC Contact: John Stapleton

Address: 9384 Valley View Drive NW, Suite 100, Albuquerque, NM 87114 Phone: 505.545.9607

Email: john.stapleton@cdsn.com

Applicant/Owner: Sonata Trails, LLC Contact: Kelly Calhoun

Address: 6330 Riverside Plaza Lane, Albuquerque, NM 87120 Phone: 702.376.9478

Email: kcalhoun@wcinm.com

TYPE OF DEVELOPMENT: Plat (# of lots) _____ Single Family Home
 All other Developments

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- Engineering / Architect Certification
- Conceptual Grading & Drainage Plan
- Grading & Drainage Plan, and/or Drainage Report
- Drainage Report (Work Order)
- Drainage Master Plan
- Conditional Letter of Map Revision (CLOMR)
- Letter of Map Revision (LOMR)
- Floodplain Development Permit
- Traffic Circulation Layout (TCL) – Administrative
- Traffic Circulation Layout (TCL) – DFT Approval
- Traffic Impact Study (TIS)
- Street Light Layout
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- Pad Certification
- Building Permit
- Grading Permit
- Paving Permit
- SO-19 Permit
- Foundation Permit
- Certificate of Occupancy - Temp Perm
- Preliminary / Final Plat
- Site Plan for Building Permit - DFT
- Work Order (DRC)
- Release of Financial Guarantee (ROFG)
- CLOMR / LOMR
- Conceptual TCL - DFT
- OTHER (SPECIFY) _____

DATE SUBMITTED: 05/16/2025

SITE INFORMATION

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS
 MUNICIPALITY: CITY OF ALBUQUERQUE
 LEGAL DESCRIPTION: TRACTS 1, 2, & 3, THE TRAILS UNIT 4
 DEVELOPMENT AREA: 14.3 ACRES
 ZONING: MX-M
 LAND USE: MULTI-FAMILY APARTMENTS
 ADJACENT ZONING: R-ML, MX-M, NR-BP
 OVERLAYS: CPO-12, VPO-2, VOLCANO HEIGHTS URBAN CENTER

DEVELOPMENT AREA:
 EXISTING TRACT 1: 4.3 ACRES
 EXISTING TRACT 2: 13.2 ACRES
 EXISTING TRACT 3: 12.4 ACRES
 EXISTING TOTAL: 29.9 ACRES
 PROPOSED NEW TRACTS TOTAL: 25.4 ACRES
 DEDICATED RIGHT-OF-WAY: 4.5 ACRES

SETBACKS:
 FRONT YARD: 0 FT. / 15 FT.
 SIDE YARD: 0 FT. / STREET SIDE 15 FT.
 REAR YARD: 15 FT.

HEIGHT LIMIT: 65 FT.

PARKING (1 SPACE / DU)	REQUIRED	PROVIDED
VISITOR		105 SPACES
GARAGE		482 SPACES
OFF-STREET CONVENTIONAL	248 SPACES	587 SPACES
FUTURE STREET CONVENTIONAL		50 SPACES
MOTORCYCLE	5 SPACES	6 SPACES
BICYCLE	24 SPACES	24 SPACES
ADA ACCESSIBLE	12 SPACES	12 SPACES

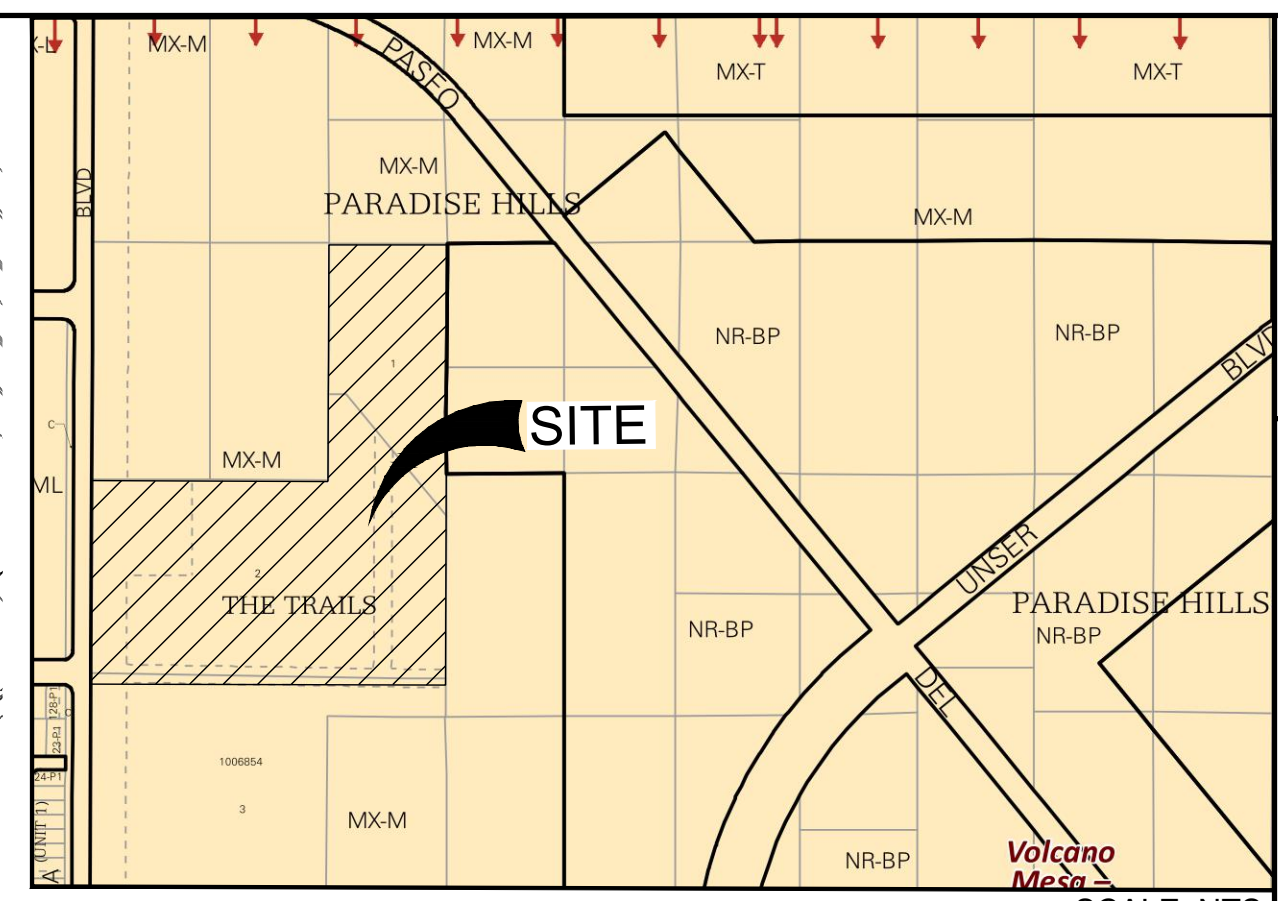
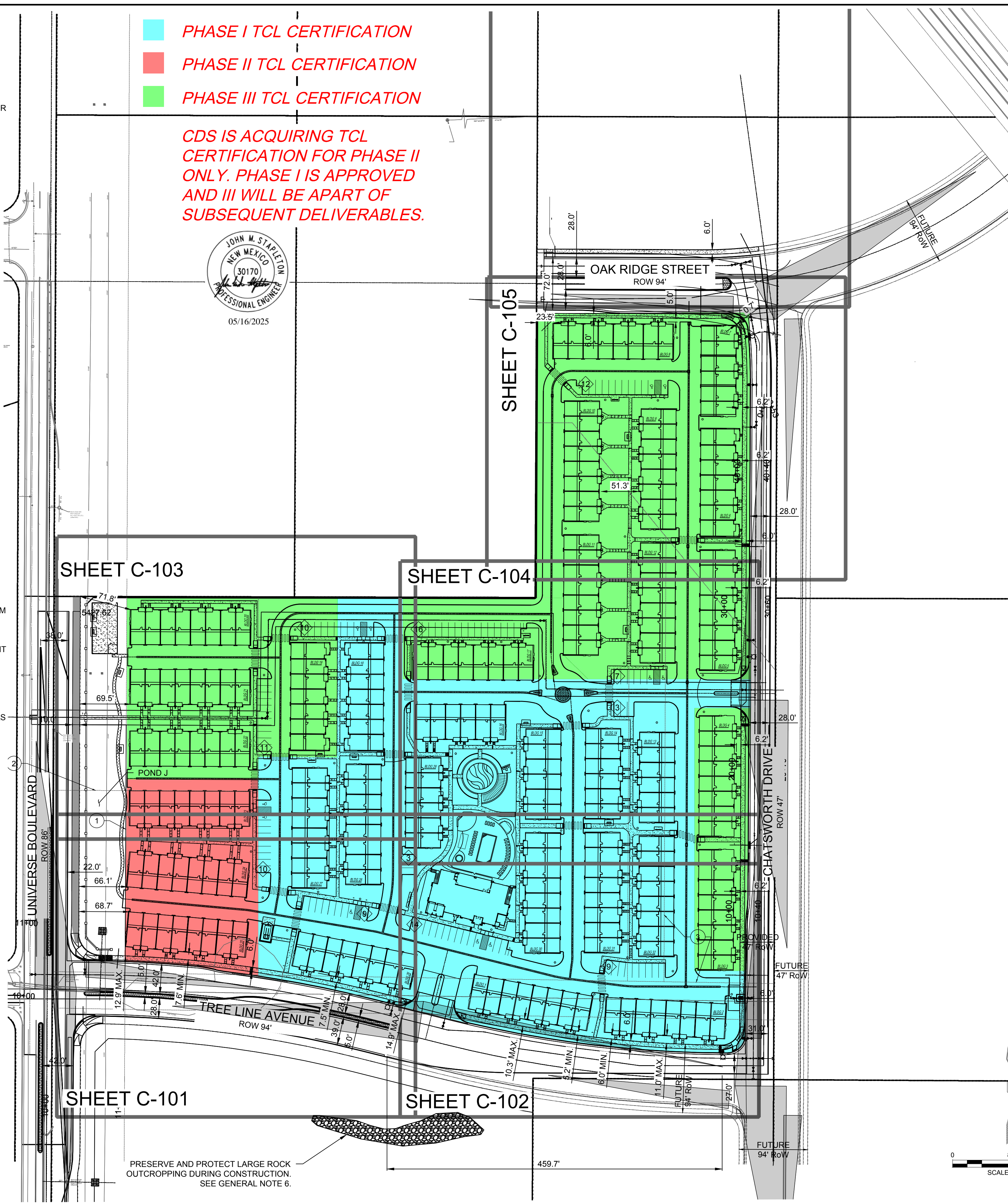
LANDSCAPE	REQUIRED	PROVIDED
	10% NET LOT AREA	25% NET LOT AREA
OPEN SPACE	REQUIRED	PROVIDED
150 SQ. FT. / >3BR UNIT	10,950 SQ. FT.	
125 SQ. FT. / 2BR UNIT	21,000 SQ. FT.	
100 SQ. FT. / 1BR UNIT	700 SQ. FT.	
TOTAL	32,650 SQ. FT.	45,000 SQ. FT.

TOTAL UNITS:	248 UNITS
4 BR:	6 UNITS
3 BR:	67 UNITS
2 BR:	168 UNITS
1 BR:	7 UNITS

- GENERAL NOTES:**
- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A WORK ORDER.
 - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 6 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - THE LIGHT POLE LOCATIONS ARE CONCEPTUAL AND ARE NOT MEANT FOR BUILDING PURPOSES. REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING.
 - SIDEWALKS TO EACH UNIT ARE 3' IN WIDTH. ALL OTHER SIDEWALKS PROVIDING CONNECTIVITY THROUGHOUT THE SITE ARE 4' AND 5'. THE ONLY EXCEPTION IS A 6' SIDEWALK CONNECTION FROM THE TREE LINE AND CHATSWORTH RIGHT-OF-WAY TO THE CLUBHOUSE AS SHOWN.
 - IF ANY USES OR DEVELOPMENT STANDARDS ARE SILENT ON THIS SITE PLAN, PROVISIONS OF THE IDO SHALL APPLY.
 - THE LARGE ROCK OUTCROPPING SOUTH OF TREE LINE SHALL BE PRESERVED AND PROTECTED FROM CONSTRUCTION IMPACTS. A TEMPORARY BARRICADE SHALL BE ERRECTED AROUND THE ROCK OUTCROPPING AT THE TIME OF CONSTRUCTION TO PROTECT IT FROM HEAVY EQUIPMENT. ALTERNATIVELY, CONSTRUCTION ACTIVITIES SHALL BE KEPT A MINIMUM OF 20 FEET FROM THE ROCK OUTCROPPING.

- PHASE I TCL CERTIFICATION
- PHASE II TCL CERTIFICATION
- PHASE III TCL CERTIFICATION

CDS IS ACQUIRING TCL CERTIFICATION FOR PHASE II ONLY. PHASE I IS APPROVED AND III WILL BE APART OF SUBSEQUENT DELIVERABLES.



PROJECT NUMBER: _____
 APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO if yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCWUA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Code Enforcement	Date
Environmental Health Department <i>Completed Location only 4/1/20</i>	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
AMAFCA	Date
* Environmental Health, if necessary	

- PNM NOTES:**
- ALL METALLIC OBJECTS WITHIN THE PNM EASEMENT ALONG THE WESTERN BOUNDARY SHALL BE GROUNDED TO PREVENT ELECTRIC SHOCK.
 - ALL TREES WITHIN THE PNM EASEMENT SHALL NOT BE TALLER THAN 14 FEET IN HEIGHT AT MATURITY TO PREVENT INTERFERENCE WITH THE 115 KV TRANSMISSION LINE.

- LEGEND:**
- PROPERTY BOUNDARY
 - ⊗ NUMBER OF PARKING SPACES
 - ♿ ADA PARKING SYMBOL
 - ▨ CONCRETE SIDEWALK
 - ▨ CRUSHER FINE TRAIL
 - ▨ MEDIAN CONCRETE
 - ▨ ASPHALT TRAIL
 - ▨ SIDEWALK ADA RAMP
 - ▨ SIDEWALK ADA PARKING RAMP
 - ▨ CROSS-WALK
 - LIGHT POLE
 - ▨ CLEAR SIGHT TRIANGLE

EASEMENT NOTES

I.D.#	DESCRIPTION
1	EXISTING 100' PLAINS ELECTRIC EASEMENT TO REMAIN.
2	EXISTING TEMPORARY DRAINAGE EASEMENT TO BE VACATED.
3	EXISTING 50' PUBLIC ROADWAY, SEWER, AND WATER EASEMENT TO BE VACATED.



DESIGNED	DRAWN	CHECKED

RESPEC COMMUNITY DESIGN SOLUTIONS
 5900 UNIVERSITY BLVD. SUITE 100
 ALBUQUERQUE, NM 87105
 WWW.RESPEC.COM PHONE: (505)253-9797

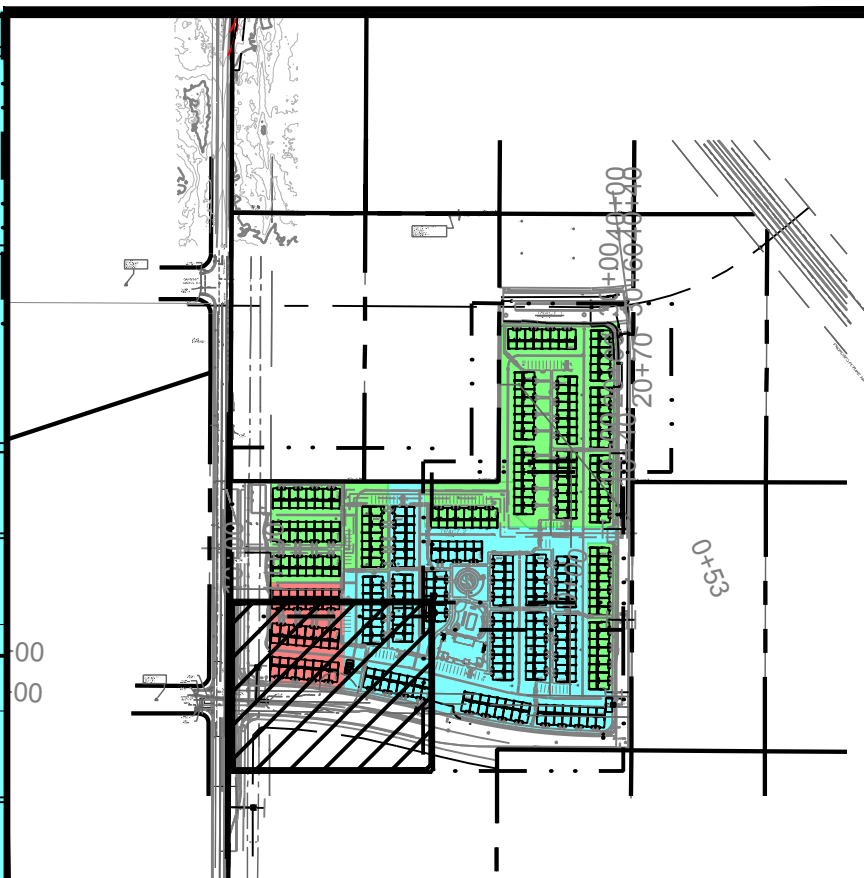
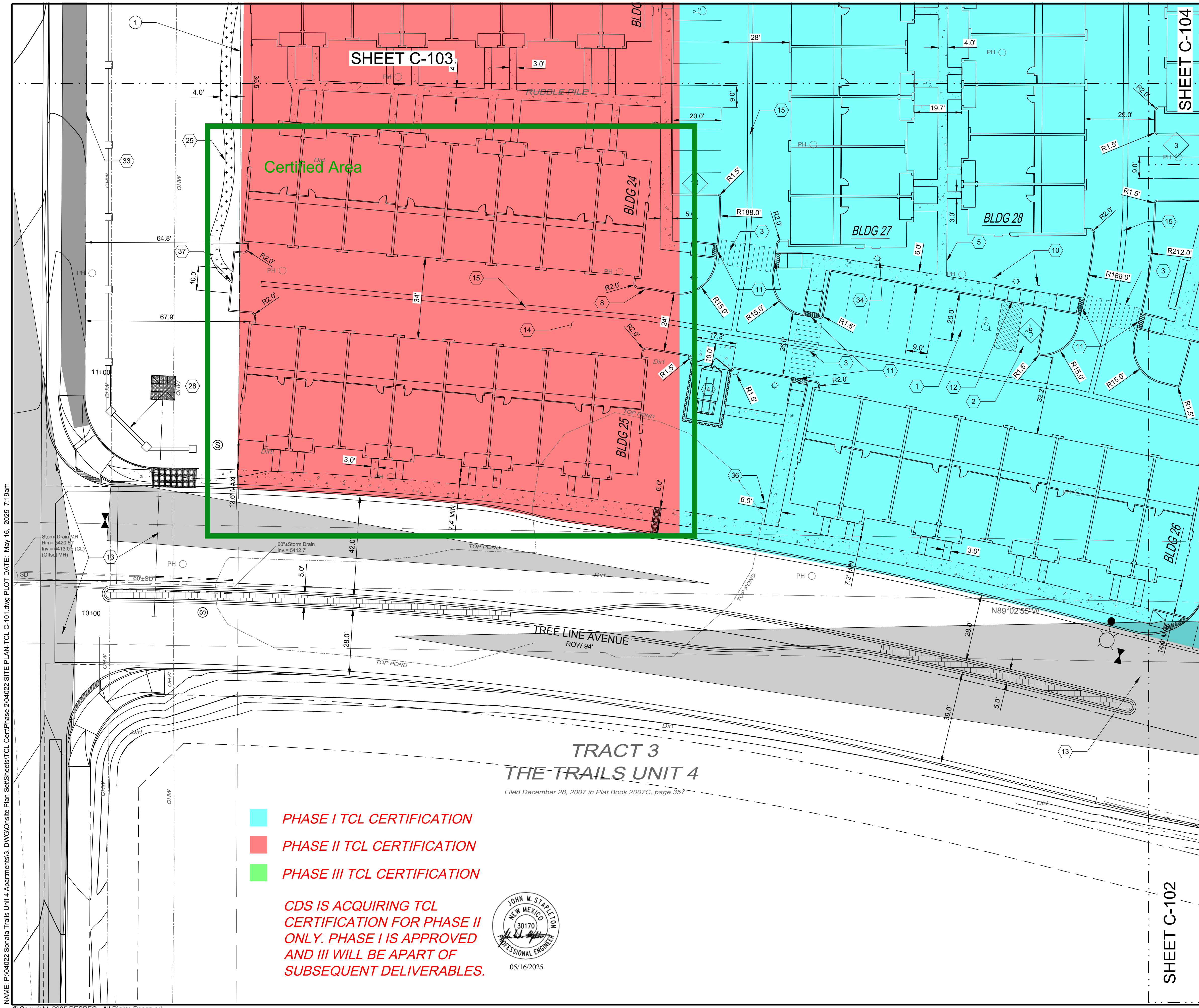
STAMP

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: OVERALL SITE PLAN

SHEET NUMBER: C-100



KEY MAP SCALE: NTS

KEYED NOTES

I.D.#	DESCRIPTION
1	9'X20' PARKING SPACE TYP.
2	9'X20' ADA PARKING SPACE TYP.
3	CROSS-WALK STRIPING TYP. SEE DETAIL 1 SHEET C-500.
4	REFUSE ENCLOSURE WITH COMPACTOR. SEE DETAIL 15 SHEET C-501.
5	CONCRETE SIDEWALK TYP.
8	CONCRETE HEADER CURB TYP. SEE DETAIL 3 SHEET C-500.
10	ADA PARKING SIGN. SEE DETAIL 5 SHEET C-500.
11	ADA RAMP TYPE A TYP. SEE DETAIL 6 SHEET C-500.
12	ADA RAMP TYPE B TYP. SEE DETAIL 7 SHEET C-500.
13	CLEAR SIGHT TRIANGLE.
14	ASPHALT PAVEMENT TYP. SEE DETAIL 8 SHEET C-500.
15	ALLEY GUTTER. SEE DETAIL 9 SHEET C-500.
25	4' CRUSHER FINE TRAIL.
28	MONUMENT SIGN.
33	10' ASPHALT PATH.
34	LIGHT POLE TYP. LOCATIONS ARE CONCEPTUAL ONLY. REFER TO ELECTRICAL SITE PLAN.
36	NO TRESPASSING SIGN.
37	ROLL CURB. SEE DETAIL 4 SHEET C-500.

EASEMENT NOTES

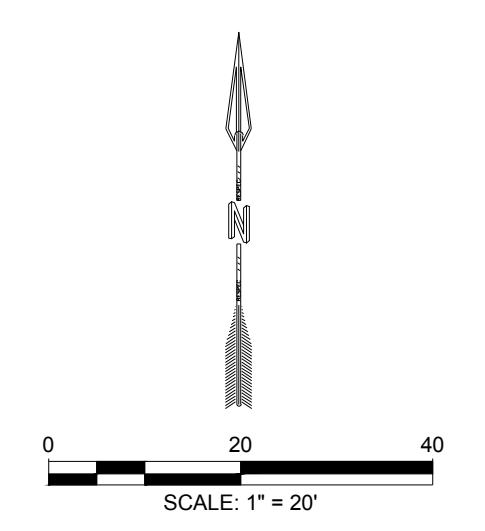
I.D.#	DESCRIPTION
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- PHASE III TCL CERTIFICATION

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**TRACT 3
THE TRAILS UNIT 4**
Filed December 28, 2007 in Plat Book 2007C, page 357



DESIGNED: _____ DRAWN: _____ CHECKED: _____ DATE: 10.19.2020	REVISION _____ _____ _____
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.</p>	
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS	
SHEET TITLE: SITE PLAN	
SHEET NUMBER: C-101	

NAME: P:\04022_Sonata Trails Unit 4 Apartments\3_DWG\Site\Plan Set\Sheets\TCL_Cert\Phase 2\04022_Site Plan\TCL_C-101.dwg PLOT DATE: May 16, 2025 7:18am