

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 7, 2023

Sheldon Greer, P.E.
Respec
7770 Jefferson NE, Suite 200
Albuquerque, NM 87109

**RE: Sonta Trails Unit 4 Apartments – Phase 1
(Bldg 1, 15, 16, 26, 27, 28, 29, 30, & Clubhouse)
Permanent C.O. – Accepted
Engineer's Certification Date: 11/03/23
Engineer's Stamp Date: 06/03/21
Hydrology File: C10D001A**

Dear Mr. Greer:

PO Box 1293

Based on the Certification for Bldg 5 received 11/03/2023 and site visit on 11/07/2023, this letter serves as a "green tag" from Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

NM 87103

Sincerely,

Renée C. Brissette

www.cabq.gov

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



November 3, 2023

CABQ Development Review Services
Attn: Planning Department
600 Second Street NW
Albuquerque, NM 87102

DRAINAGE CERTIFICATE FOR THE SONATA TRAILS UNIT 4 APARTMENTS

RESPEC is requesting a Drainage Certificate for Phase I of the Sonata Trails Unit 4 Apartments project. This project is located near Universe Boulevard NW and Tree Line Avenue NW in Albuquerque, NM. Sonata Trails Unit 4 Apartments are a multi-family complex consisting of approximately 20 acres.

Grading for all phases of the project has been completed, including the completion of a storm drain system which outfalls into a water quality retention pond. Phase I will drain into the storm drain inlets, and outfall into the retention pond. Phases 2 and 3 have been graded already and are designed to drain into two temporary ponding facilities, each a depth of 2 feet, that provide erosion control during the interim period. In the case that the temporary erosion control ponds exceed capacity, the site is graded to allow excess flow to drain towards the retention pond as well. Survey for the site indicates that this retention pond has sufficient volume for the design flows.

7770 JEFFERSON STREET NE
SUITE 200
ALBUQUERQUE, NM 87109
505.243.2287



DRAINAGE CERTIFICATION

I, SHELDON GREER, NMPE, OF THE FIRM RESPEC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/01/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SHELDON GREER, NMPE, OF THE FIRM RESPEC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 26, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THIS CERTIFICATION WILL COVER PHASE 1 OF THIS PROJECT. PHASE 2 AND 3 WILL BE ADDRESSED IN FUTURE APPLICATIONS. GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED. MORE INFORMATION IS PROVIDED IN THE COVER LETTER.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Sheldon Greer, NMPE No. 17154

11/03/2023

Date

7770 Jefferson St., NE
SUITE #200
Albuquerque, NM 87109
505.268.2661



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Sonata Trails Unit 4 Apts **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tracts 1, 2, and 3, The Trails Unit 4
City Address: NA

Applicant: Sonata Trails, LLC **Contact:** Kelly Calhoun
Address: 6330 Riverside Plaza Lane, Albuquerque, NM 87120
Phone#: 702.376.9478 **Fax#:** _____ **E-mail:** kcalhoun@wcinm.com

Other Contact: RESPEC **Contact:** Sheldon Greer
Address: 7770 Jefferson Street NE, Suite 200, Albuquerque NM 87109
Phone#: 505.264.0472 **Fax#:** _____ **E-mail:** sheldon.greer@respec.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
_____ GRADING PLAN
_____ DRAINAGE REPORT
_____ DRAINAGE MASTER PLAN
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ STREET LIGHT LAYOUT
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

_____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
_____ SITE PLAN FOR SUB'D APPROVAL
_____ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

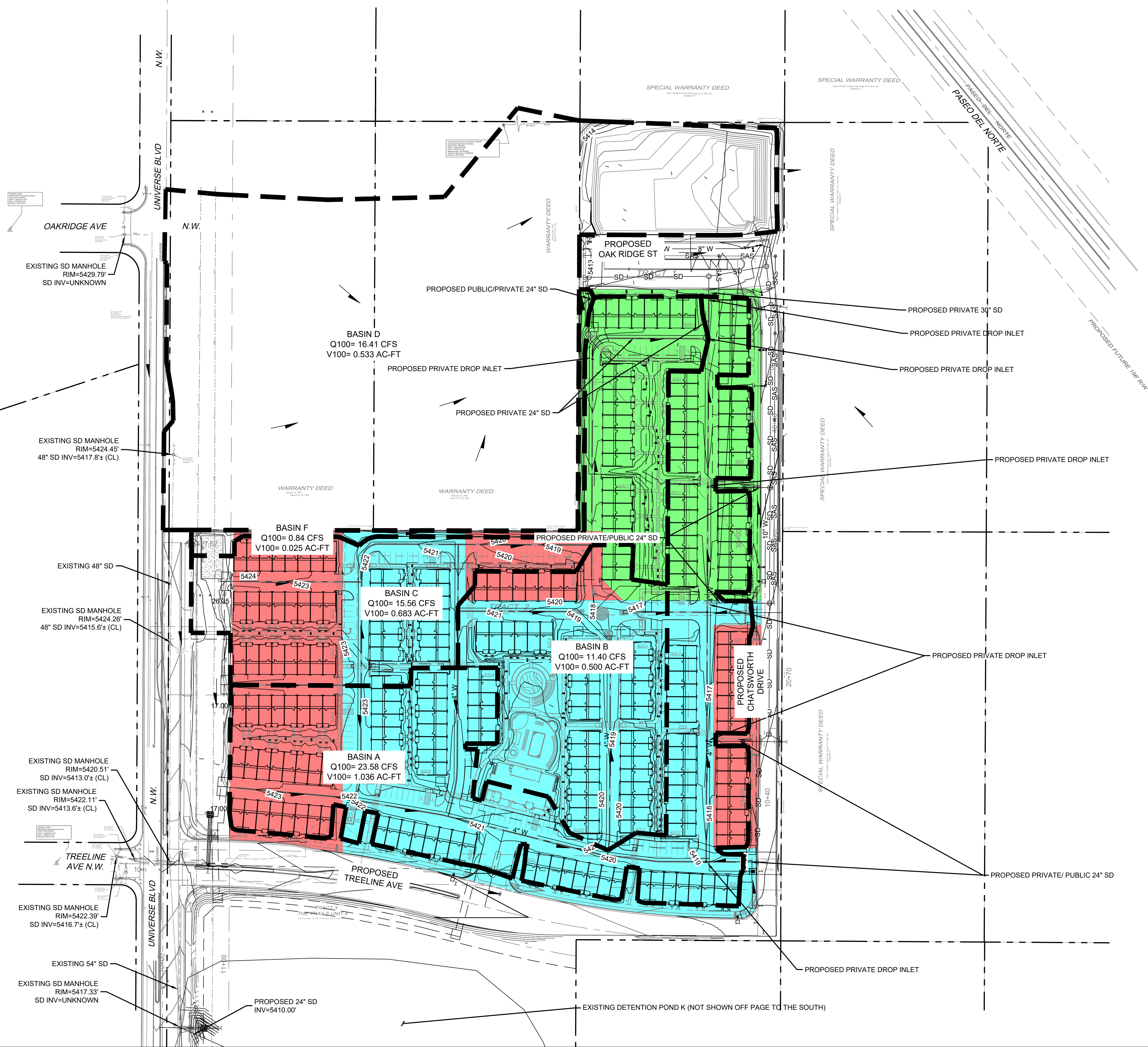
DATE SUBMITTED: 11/03/2023 **By:** Sheldon Greer

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\Grading & Drainage Cert\04022 Exhibit 2 Drainage Proposed Conditions. recover.dwg PLOT DATE: Nov 03, 2023 1:05pm



NOTE:
RUNOFF FROM PRIVATE PROPERTY THAT DISCHARGES DIRECTLY INTO THE RIGHT-OF-WAY
WILL BE EITHER SIDEWALK CULVERTS OR STORM DRAIN.

PHASE I: DRAINAGE CERTIFICATION

I, SHELDON GREER, NMPE, OF THE FIRM RESPEC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/01/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SHELDON GREER, NMPE, OF THE FIRM RESPEC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 26, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THIS CERTIFICATION WILL COVER PHASE 1 OF THIS PROJECT. PHASE 2 AND 3 WILL BE ADDRESSED IN FUTURE APPLICATIONS. GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED. MORE INFORMATION IS PROVIDED IN THE COVER LETTER.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHELDON E. GREER, P.E. 17154
11/3/2023
DATE



PHASE II

PHASE III

LEGEND

- PROPERTY BOUNDARY
- BASIN BOUNDARY
- EXISTING STORM DRAIN
- FLOW ARROW
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN
- CONCEPTUAL FUTURE STORM DRAIN

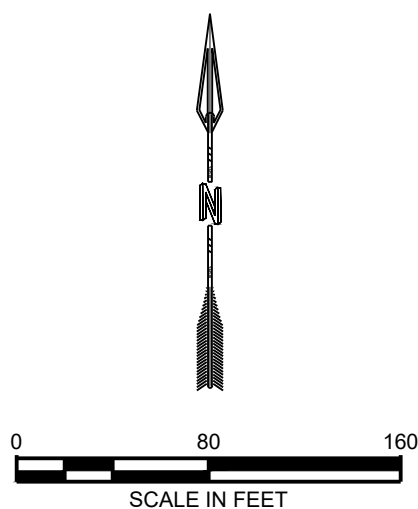


EXHIBIT 2 PROPOSED BASINS

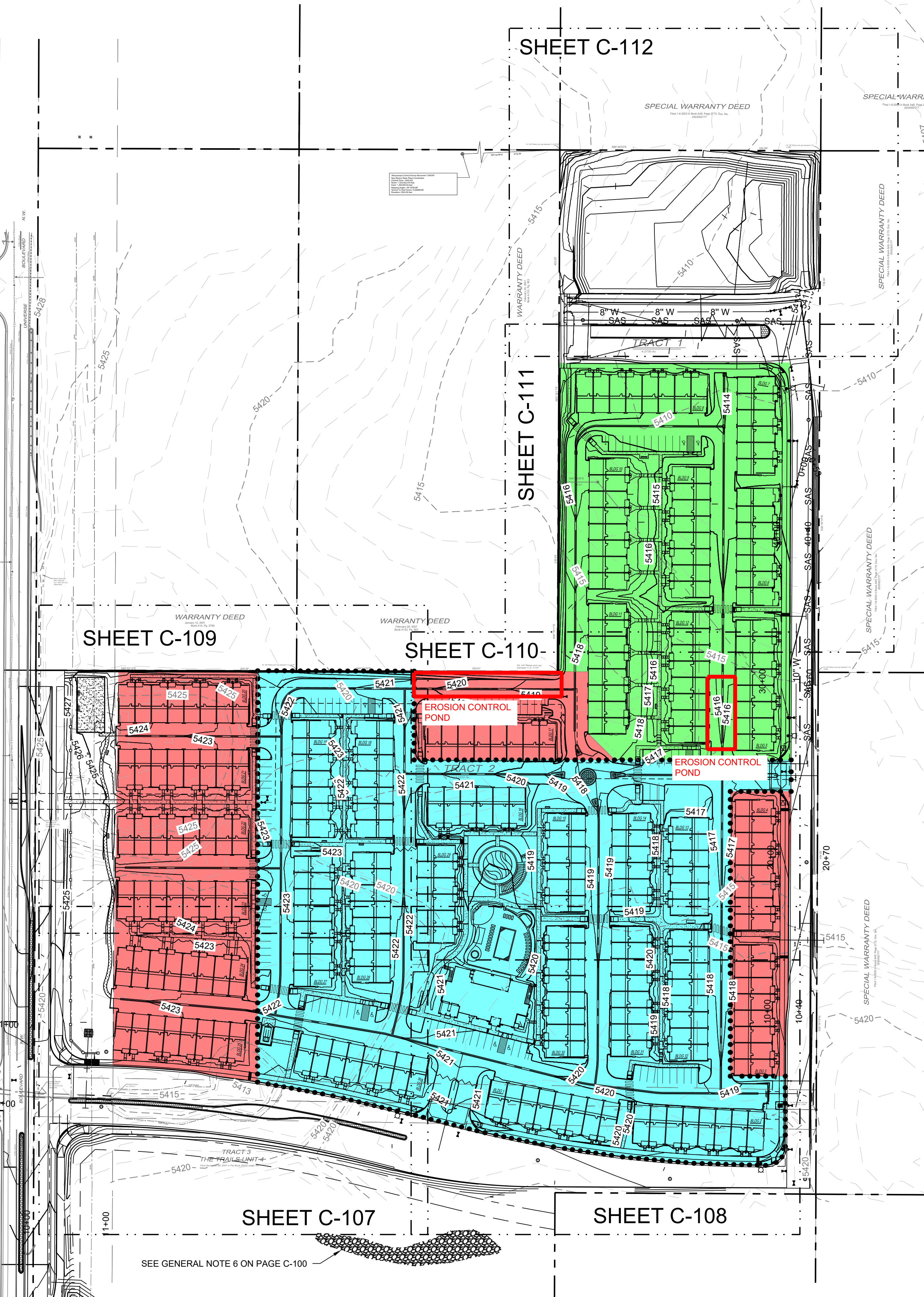


RESPEC

COMMUNITY DESIGN SOLUTIONS
5971 JEFFERSON STREET SUITE 101
ALBUQUERQUE, NEW MEXICO 87109
WWW.RESPEC.COM PHONE: (505)253-9718

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments3. DWG\Onsite Plan Set\Sheets\Grading & Drainage C-101 OVERALL GRADING PLAN.dwg PLOT DATE: Nov 03, 2023 1:05pm

© Copyright 2023 RESPEC - All Rights Reserved



PHASE I: DRAINAGE CERTIFICATION

I, SHELDON GREER, NMPE, OF THE FIRM RESPEC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/01/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SHELDON GREER, NMPE, OF THE FIRM RESPEC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 26, 2023 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THIS CERTIFICATION WILL COVER PHASE 1 OF THIS PROJECT. PHASE 2 AND 3 WILL BE ADDRESSED IN FUTURE APPLICATIONS. GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED. MORE INFORMATION IS PROVIDED IN THE COVER LETTER.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

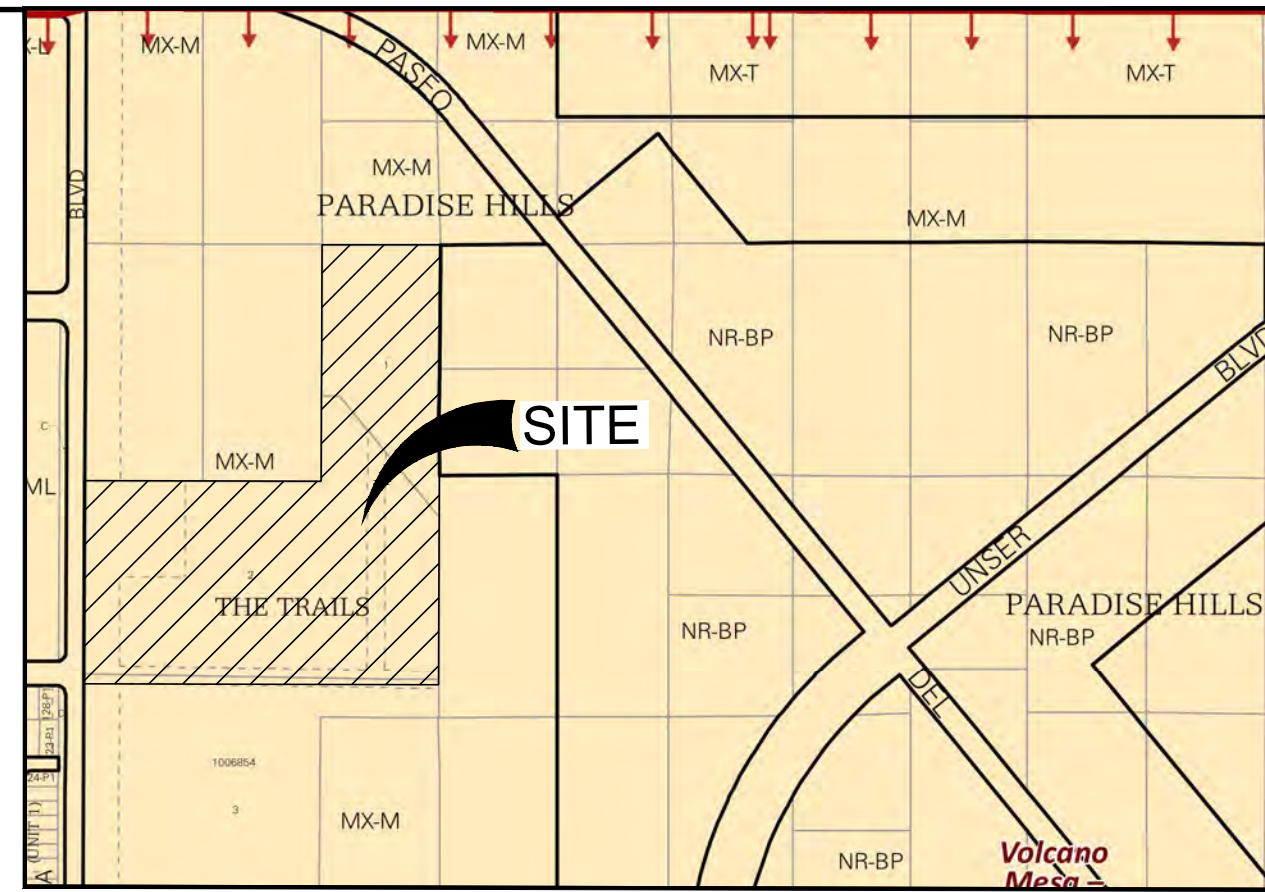

SHELDON E. GREER, P.E. 17154

11/3/2023
DATE



 PHASE II

 PHASE III



LOCATION MAP
ZONE ATLAS MAP C-10-Z

SCALE: NTS

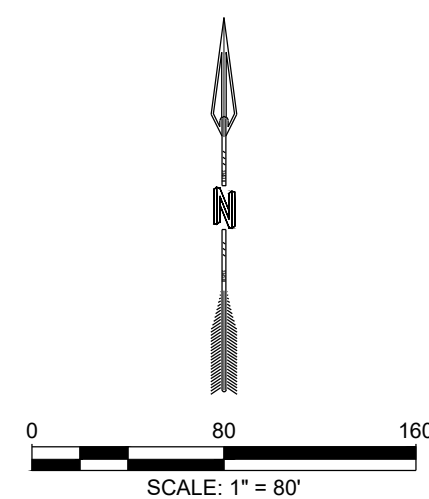
GRADING NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
- ALL INFRASTRUCTURE CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE BUILT WITH PUBLIC WORK ORDER PLANS.
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
- GRADING SHALL NOT ENCROACH ON ADJACENT PROPERTIES.

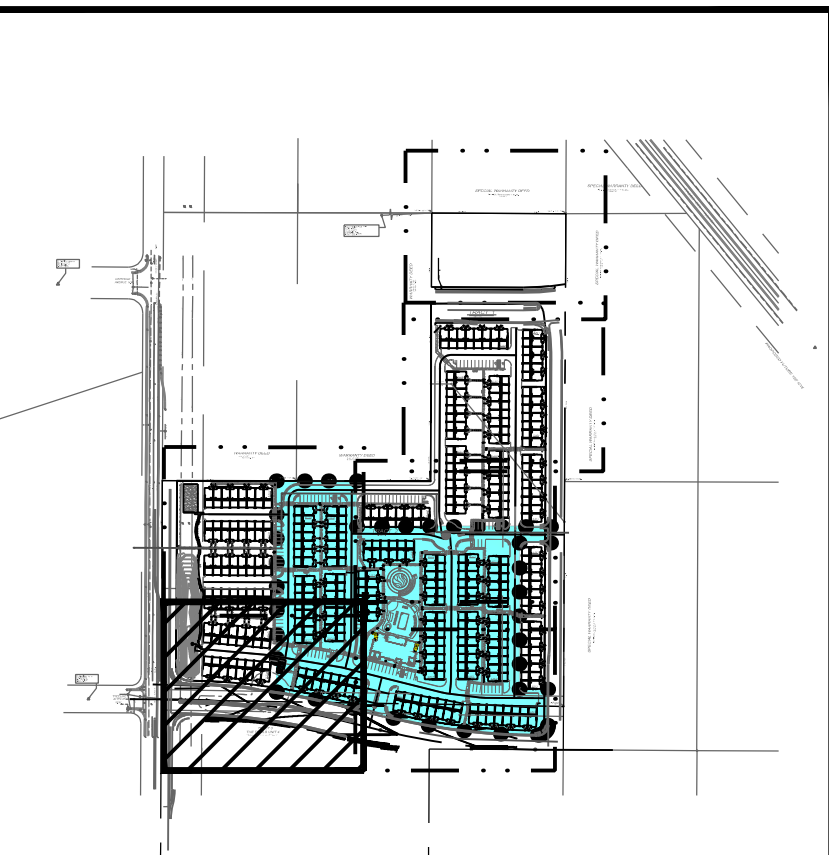
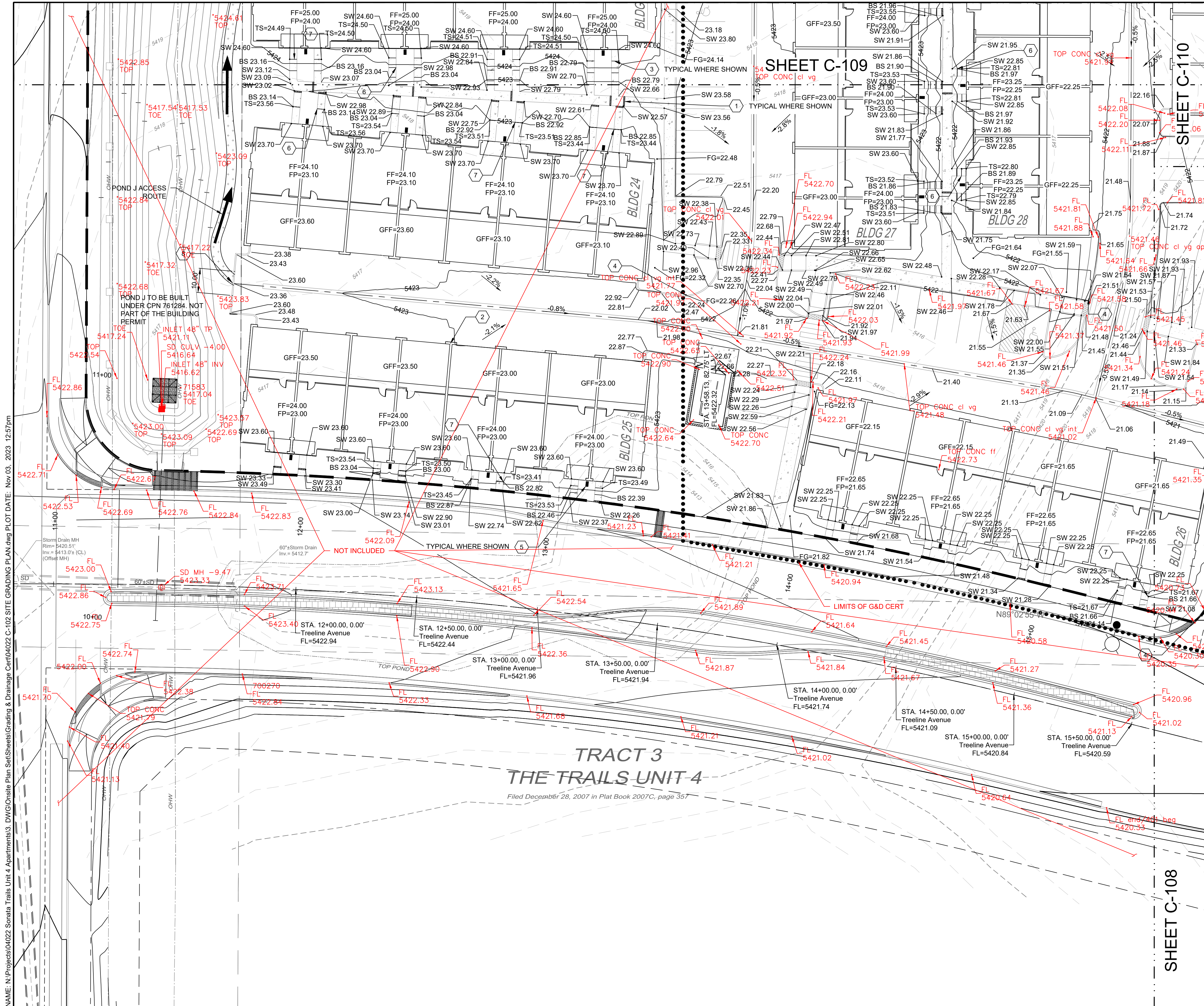
PNM NOTE

- CONTRACTOR TO COORDINATE A SITE WALKTHROUGH WITH PNM PRIOR TO CONSTRUCTION. CONTRACTOR TO KEEP ALL EQUIPMENT A MINIMUM OF 15 FEET AWAY FROM ALL PNM POWER LINES.

LEGEND	
GRADING LIMITS	
MAJOR CONTOUR	-4985-
MINOR CONTOUR	-4985-
EXISTING MAJOR CONTOUR	-4985-
EXISTING MINOR CONTOUR	-4985-
MATCHLINE	
SLOPE ARROW	-1.5% -51.2%
SIDEWALK CULVERT	



DESIGNED BY DRAWN BY CHECKED BY DATE	REVISION
RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 DALLAS, TEXAS 75231 WWW.RESPEC.COM PHONE: 956.253.9718	
STAMP  6/03/2021 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED  Know what's below. Call before you dig.	
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS	
SHEET TITLE: OVERALL GRADING PLAN	
SUBMITTED FOR: CONSTRUCTION	
SHEET NUMBER: C-106	



LEGEND

GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	---
SIDEWALK CULVERT	---

- SPOT ELEVATION SYMBOLS
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP

KEYED NOTES

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	ROLL CURB. SEE DETAIL 4 SHEET C-500.

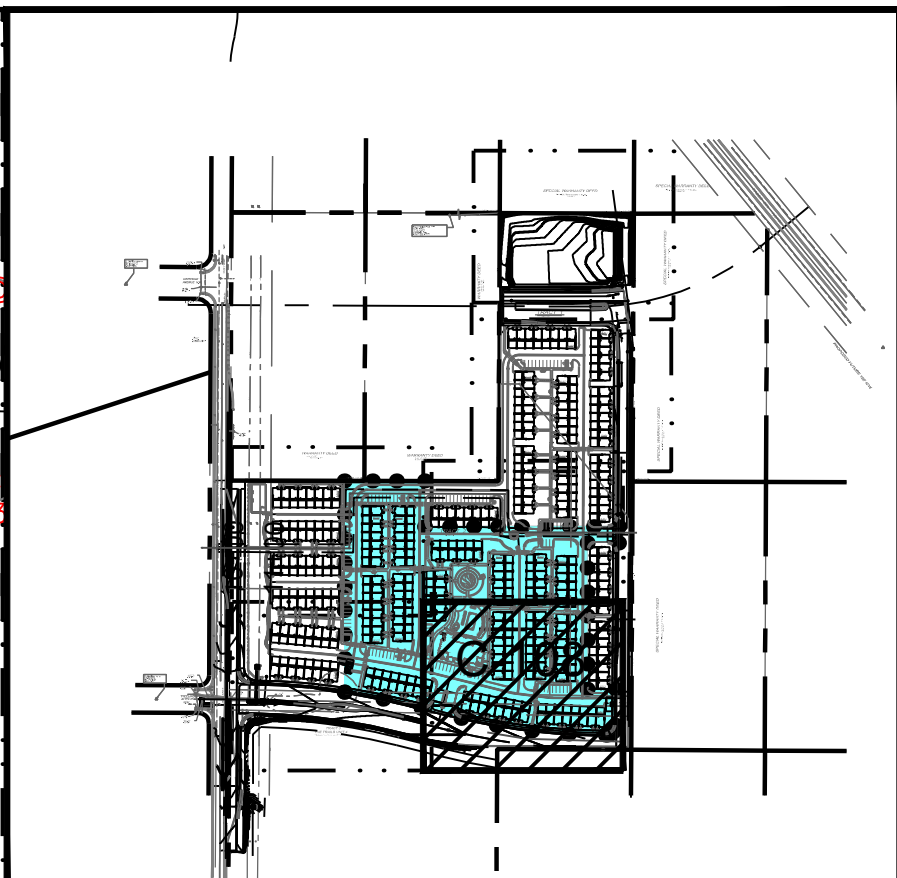
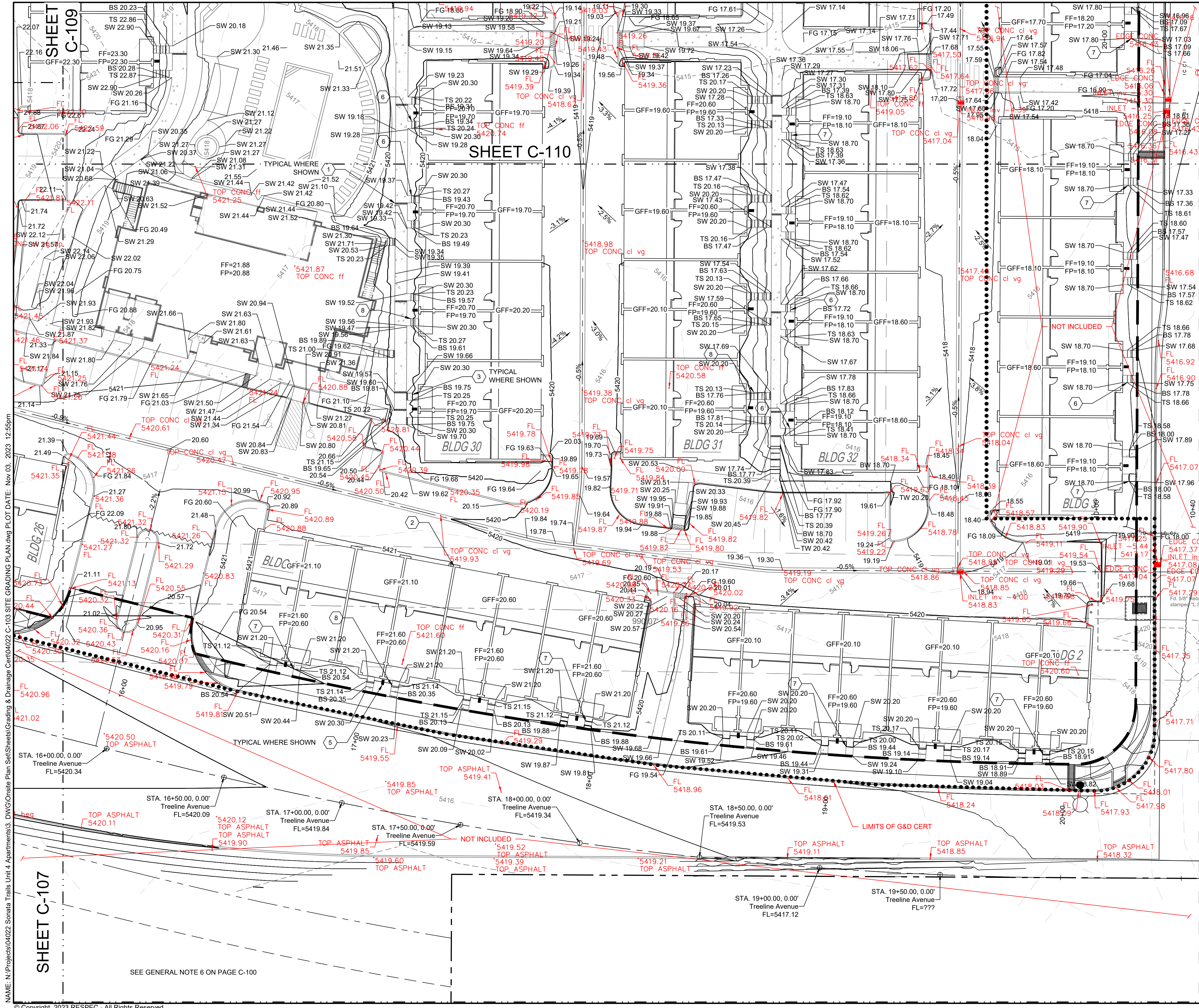
LIMITS OF DRAINAGE CERT

SEE SHEET C-106 FOR DRAINAGE CERTIFICATION

0 20 40
SCALE: 1" = 20'

NAME: N:\Projects\040222 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\Grading & Drainage Cert\040222 C-102 SITE GRADING PLAN.dwg PLOT DATE: Nov 03, 2023 12:57pm

DESIGNED BY DRAWN BY CHECKED BY DATE	REVISION
RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 DENVER, CO 80231 WWW.RESPEC.COM PHONE: 303.531.7118	
STAMP JEREMY W. SHELL NEW MEXICO 26341 PROFESSIONAL ENGINEER 6/03/2021	
PROJECT NAME: SHEET TITLE: SUBMITTED FOR:	SONATA TRAILS UNIT 4 APARTMENTS SITE GRADING PLAN CONSTRUCTION
SHEET NUMBER:	C-107



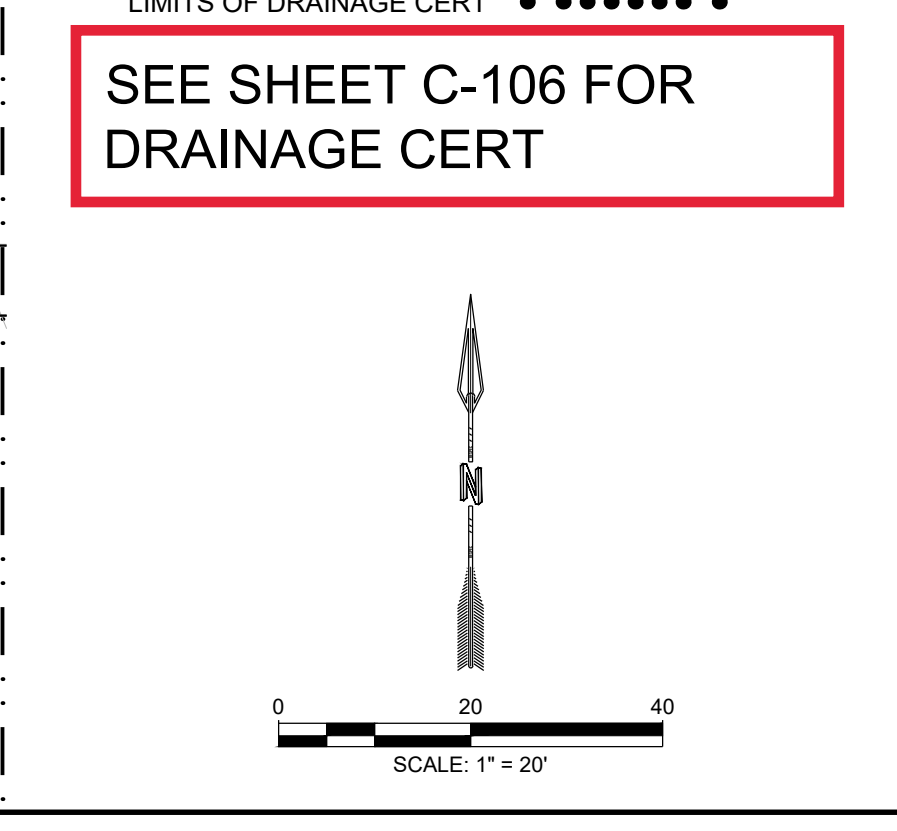
- LEGEND**
- GRADING LIMITS
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - MATCHLINE
 - SLOPE ARROW
 - SIDEWALK CULVERT

- KEYED NOTES**
- | I.D.# | DESCRIPTION |
|-------|--|
| 1 | NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP. |
| 2 | WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP. |
| 3 | 6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN. |
| 4 | 1" CURB OPENING. SEE DETAIL SHEET C-500. |
| 5 | CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501. |
| 6 | 5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN. |
| 7 | 7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN. |
| 8 | 4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN. |

- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
 - GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.

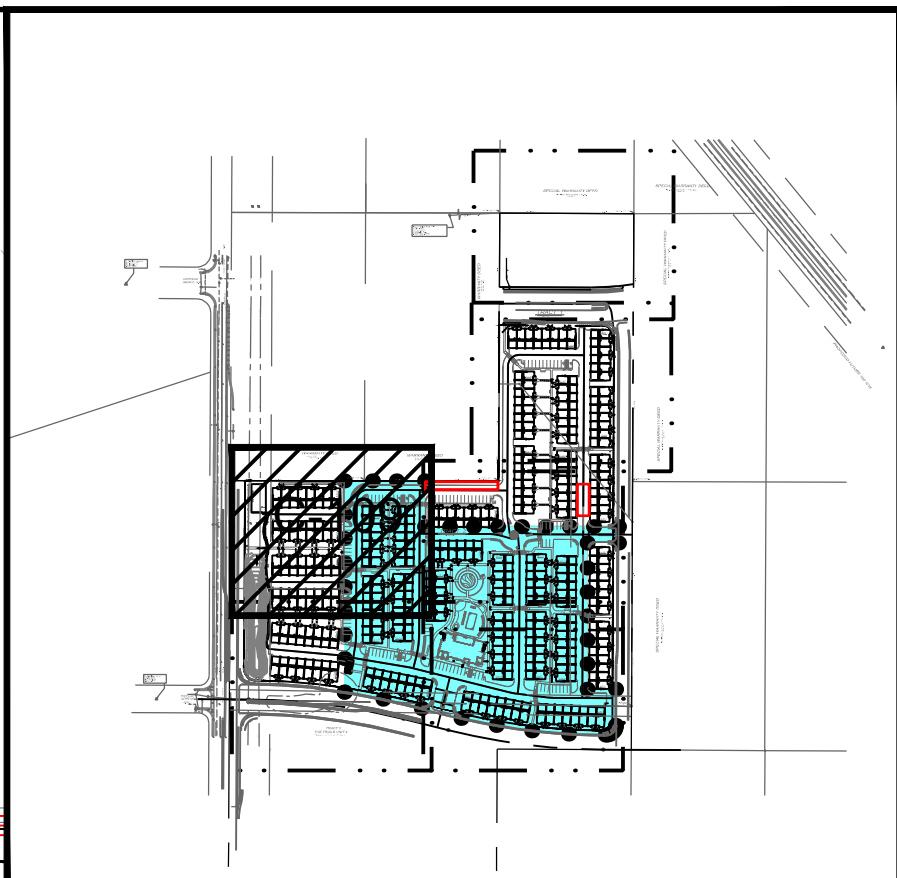
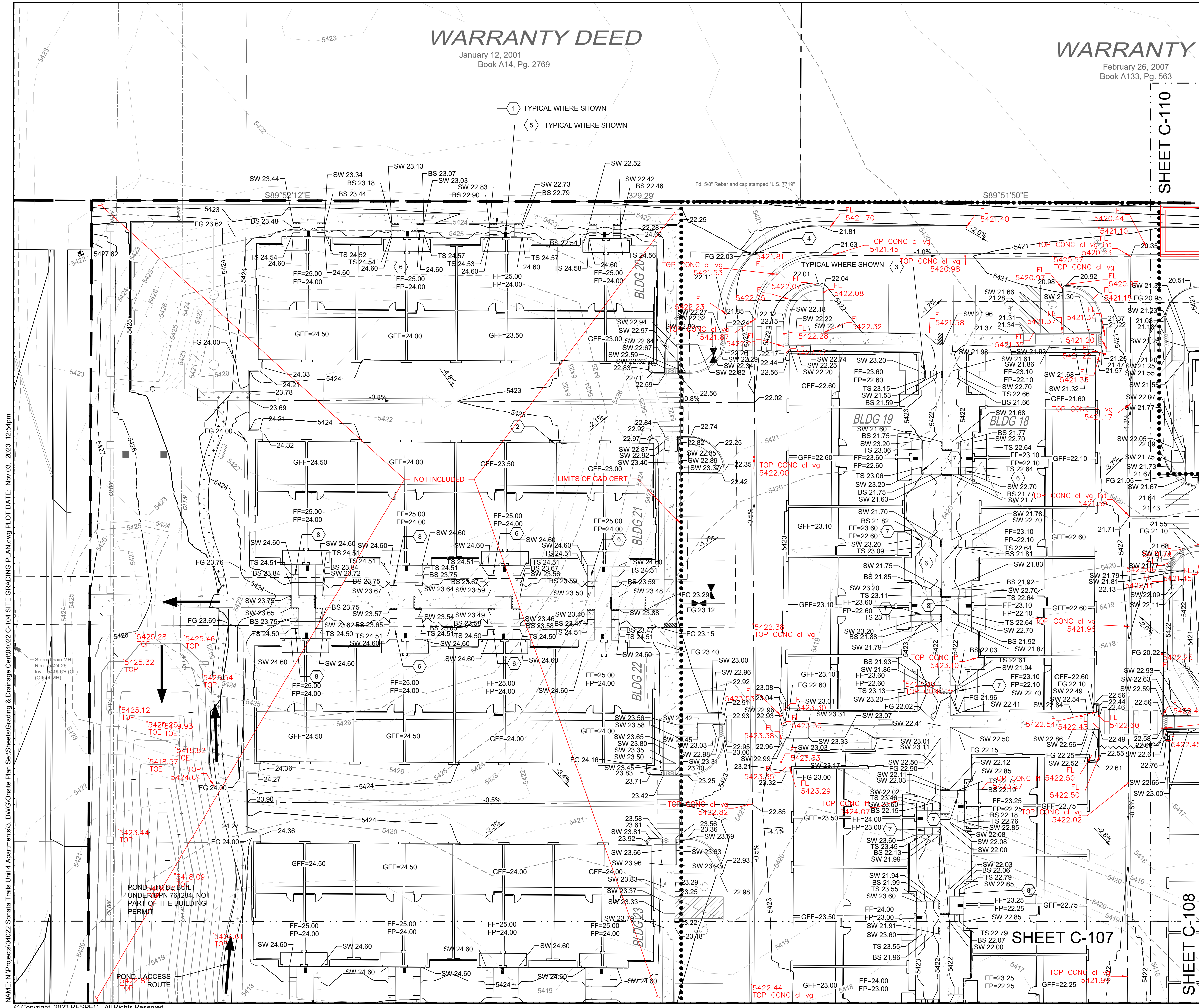
LIMITS OF DRAINAGE CERT

SEE SHEET C-106 FOR DRAINAGE CERT



DESIGNED BY DRAWN BY CHECKED BY DATE	REVISION
RESPEC COMMUNITY DESIGN SOLUTIONS 3971 JEFFERSON STREET SUITE 101 DENVER, CO 80202 WWW.RESPEC.COM PHONE: 303.293.7118	
STAMP JEREMY W. SHELL NEW MEXICO 26341 PROFESSIONAL ENGINEER 6/03/2021	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED	
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS	
SHEET TITLE: SITE GRADING PLAN	
SUBMITTED FOR: CONSTRUCTION	
SHEET NUMBER: C-108	

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\Grading & Drainage\CD\04022 C-108 SITE GRADING PLAN.dwg PLOT DATE: Nov 03, 2023 12:55pm

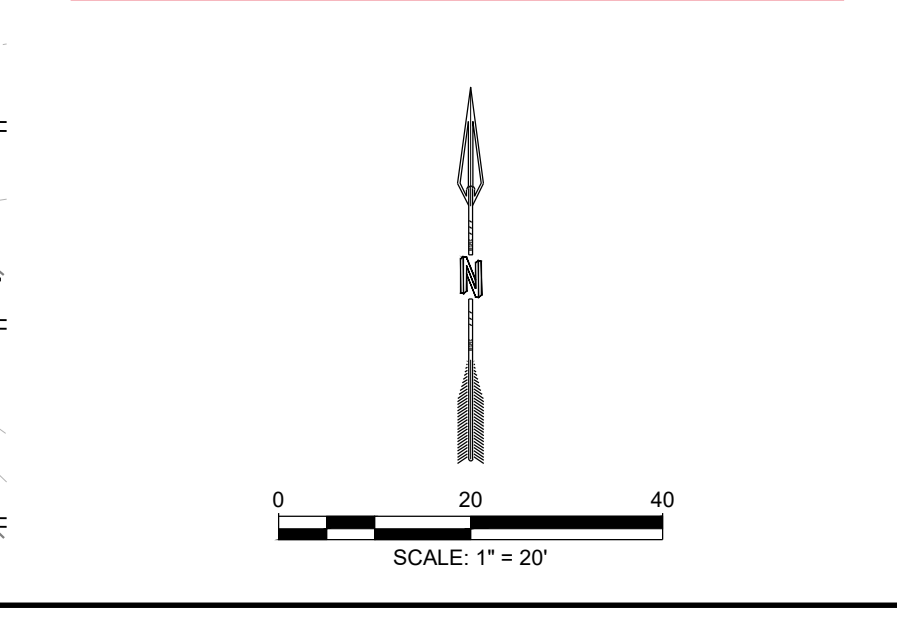


- LEGEND**
- GRADING LIMITS
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - MATCHLINE
 - SLOPE ARROW
 - SIDEWALK CULVERT
- SPOT ELEVATION SYMBOLS**
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP

KEYED NOTES

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.

- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
 - GRADING SHALL NOT ENCR OACH ON ADJACENT PROPERTIES.
- LIMITS OF DRAINAGE CERT
- SEE SHEET C-106 FOR DRAINAGE CERT**



NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\Grading & Drainage\Car040222 C-104 SITE GRADING PLAN.dwg PLOT DATE: Nov 03, 2023 12:54pm

© Copyright 2023 RESPEC - All Rights Reserved

DESIGNED BY: BE
DRAWN BY: SG
CHECKED BY: SG
DATE: 6.03.2021

REVISION

RESPEC
COMMUNITY DESIGN SOLUTIONS
5971 JEFFERSON STREET SUITE 101
DENVER, CO 80231
WWW.RESPEC.COM PHONE: 303.553.7118

RESPEC

STAMP
JEREMY W. SHELL
NEW MEXICO
26341
PROFESSIONAL ENGINEER
6/03/2021

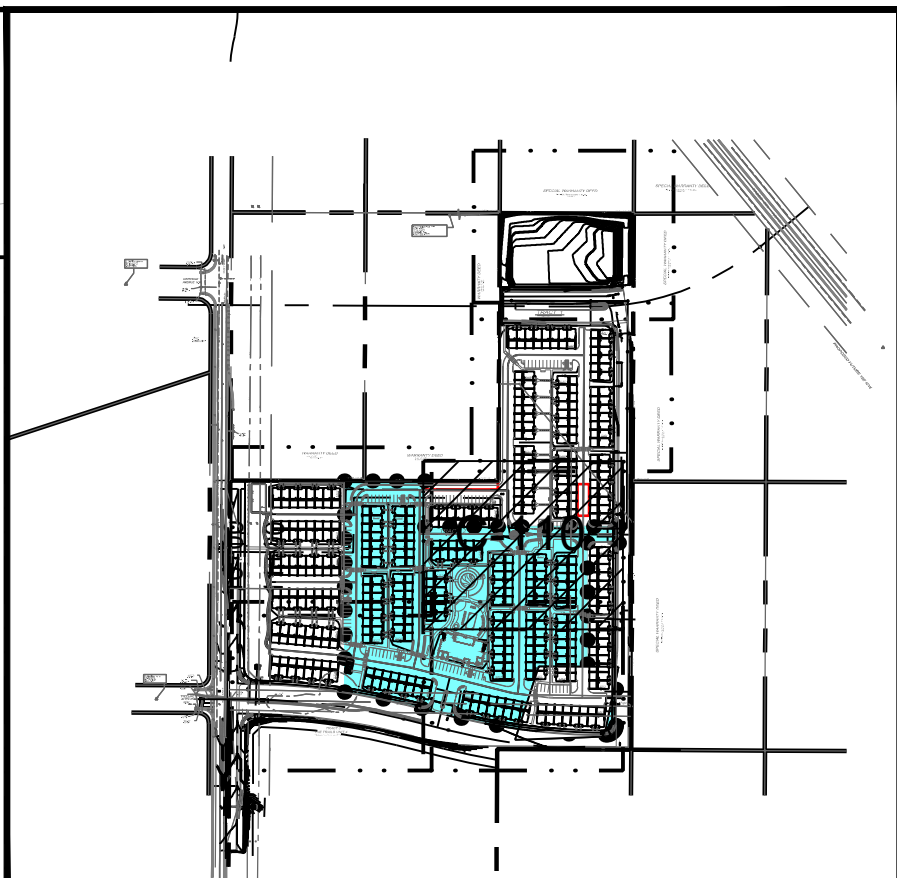
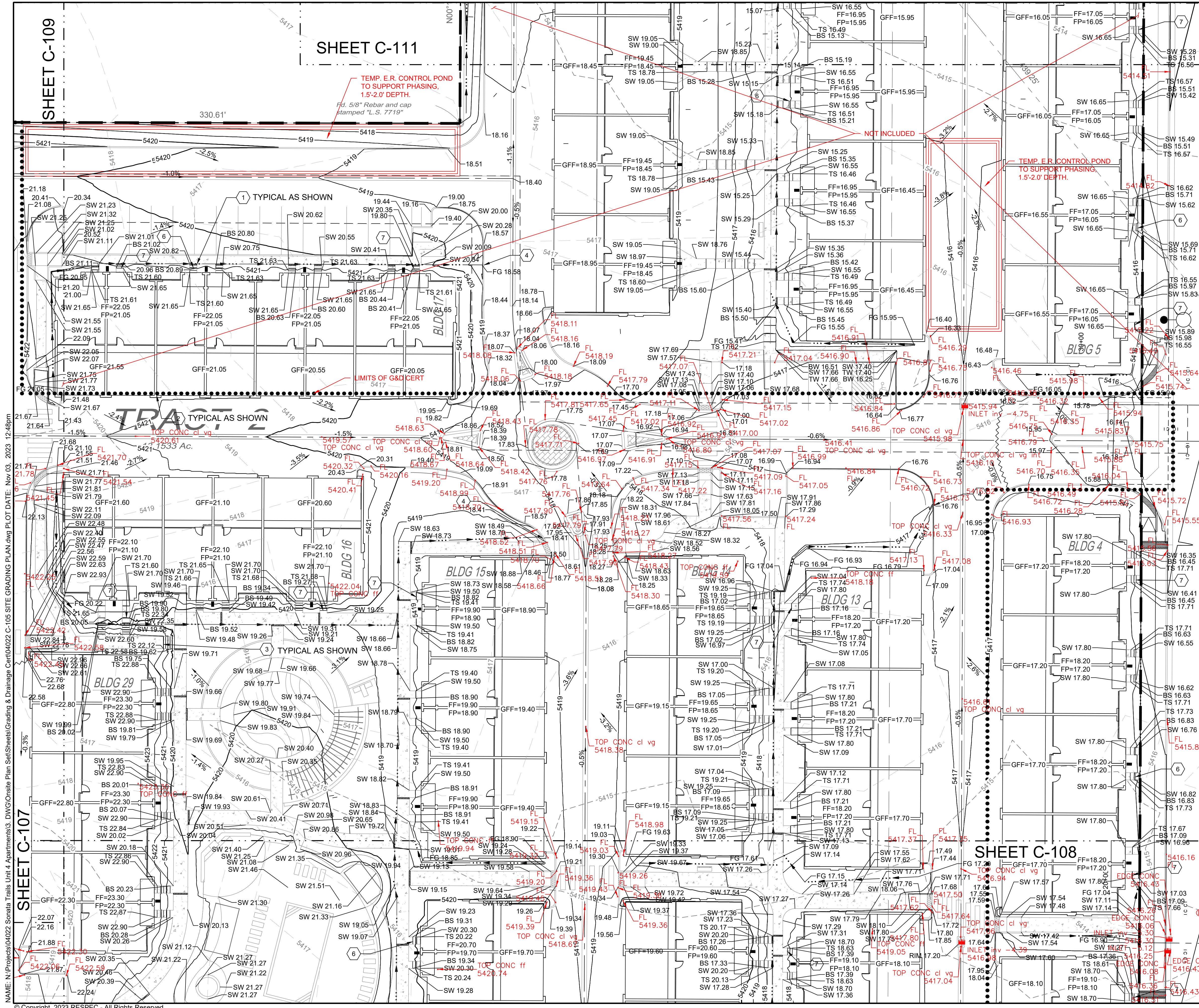
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

Know what's below. Call before you dig.

PROJECT NAME:
SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE:
SITE GRADING PLAN

SHEET NUMBER:
C-109

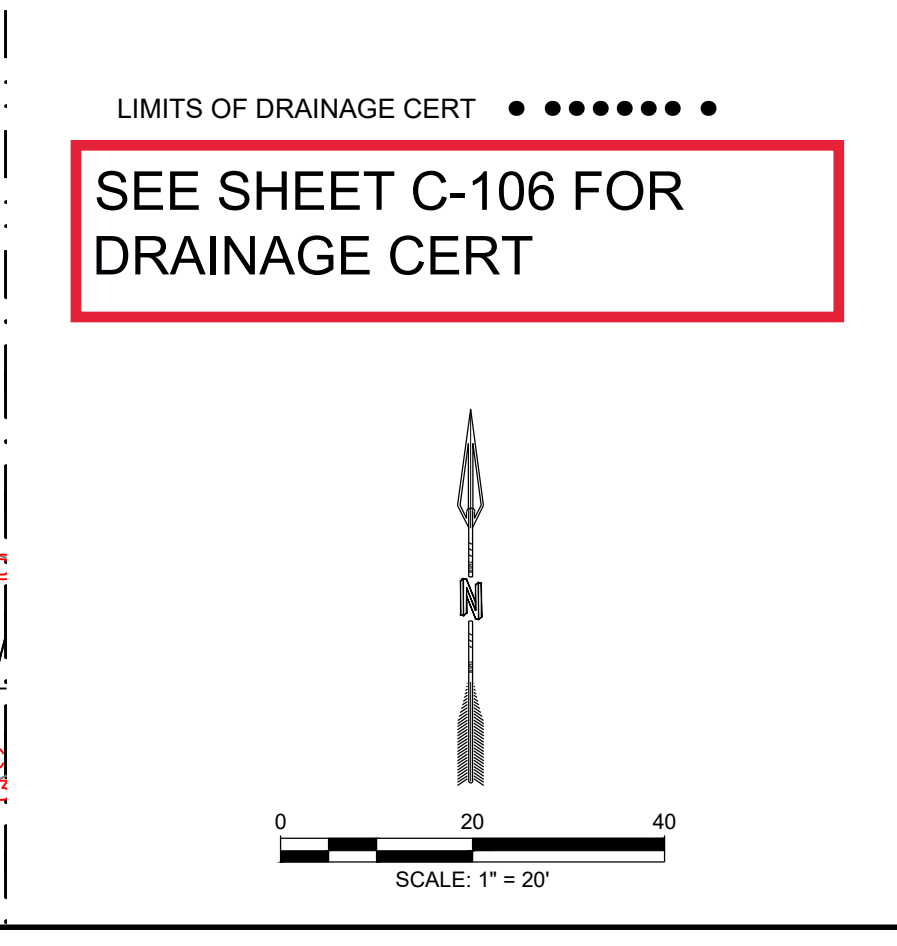


LEGEND	
GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	---
SIDEWALK CULVERT	---

- SPOT ELEVATION SYMBOLS**
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP

KEYED NOTES	
I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.

- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
 - GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.



DESIGNED BY
DRAWN BY
CHECKED BY
DATE

RESPEC
COMMUNITY DESIGN SOLUTIONS
5971 JEFFERSON STREET SUITE 101
DALLAS, TEXAS 75231
WWW.RESPEC.COM PHONE: (972) 393-7118

REVISION

STAMP
JEREMY W. SHELL
NEW MEXICO
26341
PROFESSIONAL ENGINEER
6/03/2021

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

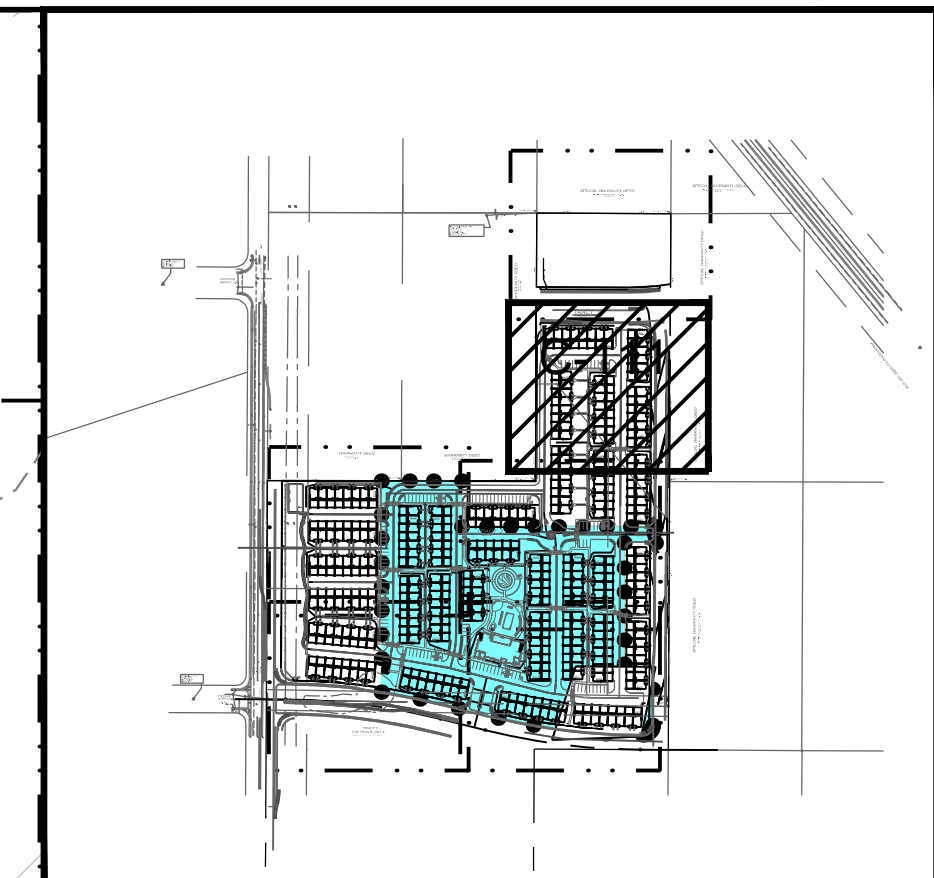
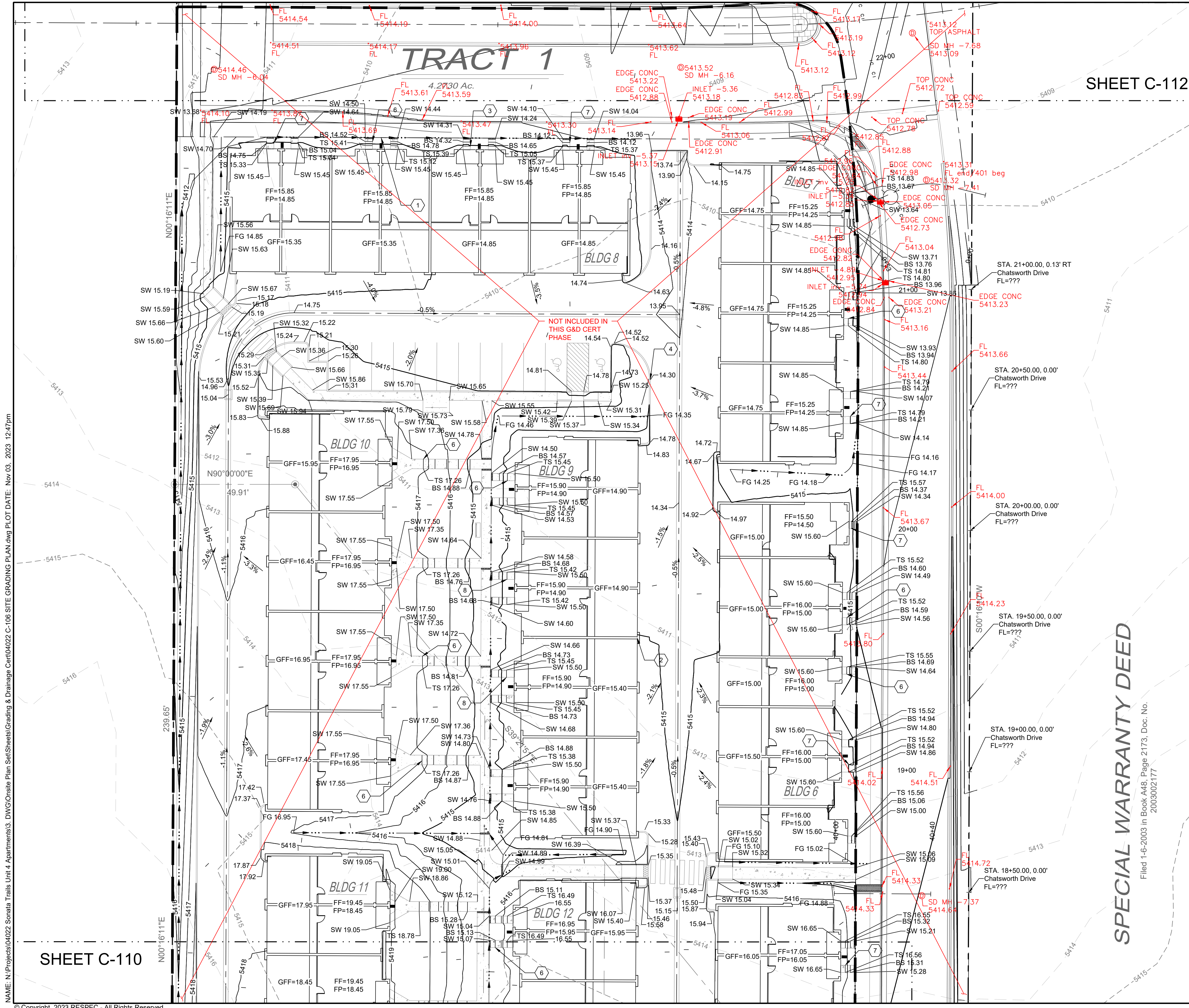
nm811
Know what's below.
Call before you dig.

PROJECT NAME:
SONATA TRAILS UNIT 4
APARTMENTS

SHEET TITLE:
SITE GRADING PLAN

SUBMITTED FOR:
CONSTRUCTION

SHEET NUMBER:
C-110



- LEGEND**
- GRADING LIMITS
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - MATCHLINE
 - SLOPE ARROW
 - SIDEWALK CULVERT
- SPOT ELEVATION SYMBOLS**
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP

- KEYED NOTES**
- | I.D.# | DESCRIPTION |
|-------|--|
| 1 | NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP. |
| 2 | WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP. |
| 3 | 6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN. |
| 4 | 1" CURB OPENING. SEE DETAIL SHEET C-500. |
| 5 | CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501. |
| 6 | 5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN. |
| 7 | 7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN. |
| 8 | 4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN. |
- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
 - GRADING SHALL NOT ENCR OACH ON ADJACENT PROPERTIES.
- LIMITS OF DRAINAGE CERT

SEE SHEET C-106 FOR DRAINAGE CERTIFICATION

REVISION

DESIGNED BY	DRAWN BY	CHECKED BY	DATE
RESPEC	RESPEC	RESPEC	6.03.2021

STAMP

JEREMY W. SHELL
NEW MEXICO
26341
PROFESSIONAL ENGINEER
6/03/2021

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

nm811
Know what's below.
Call before you dig.

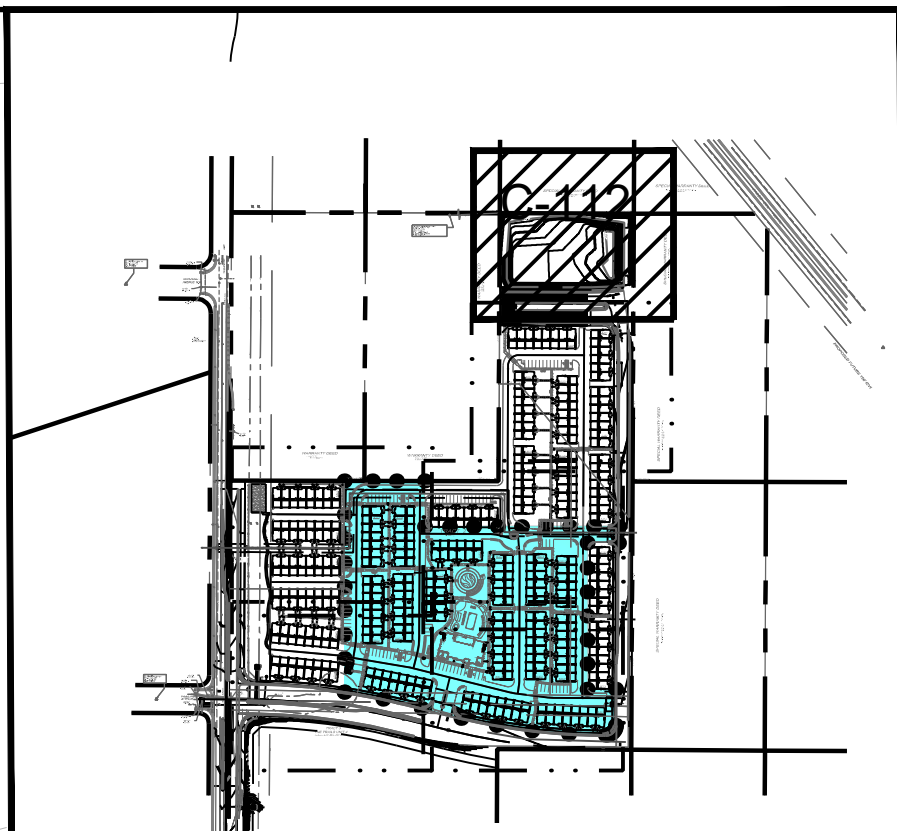
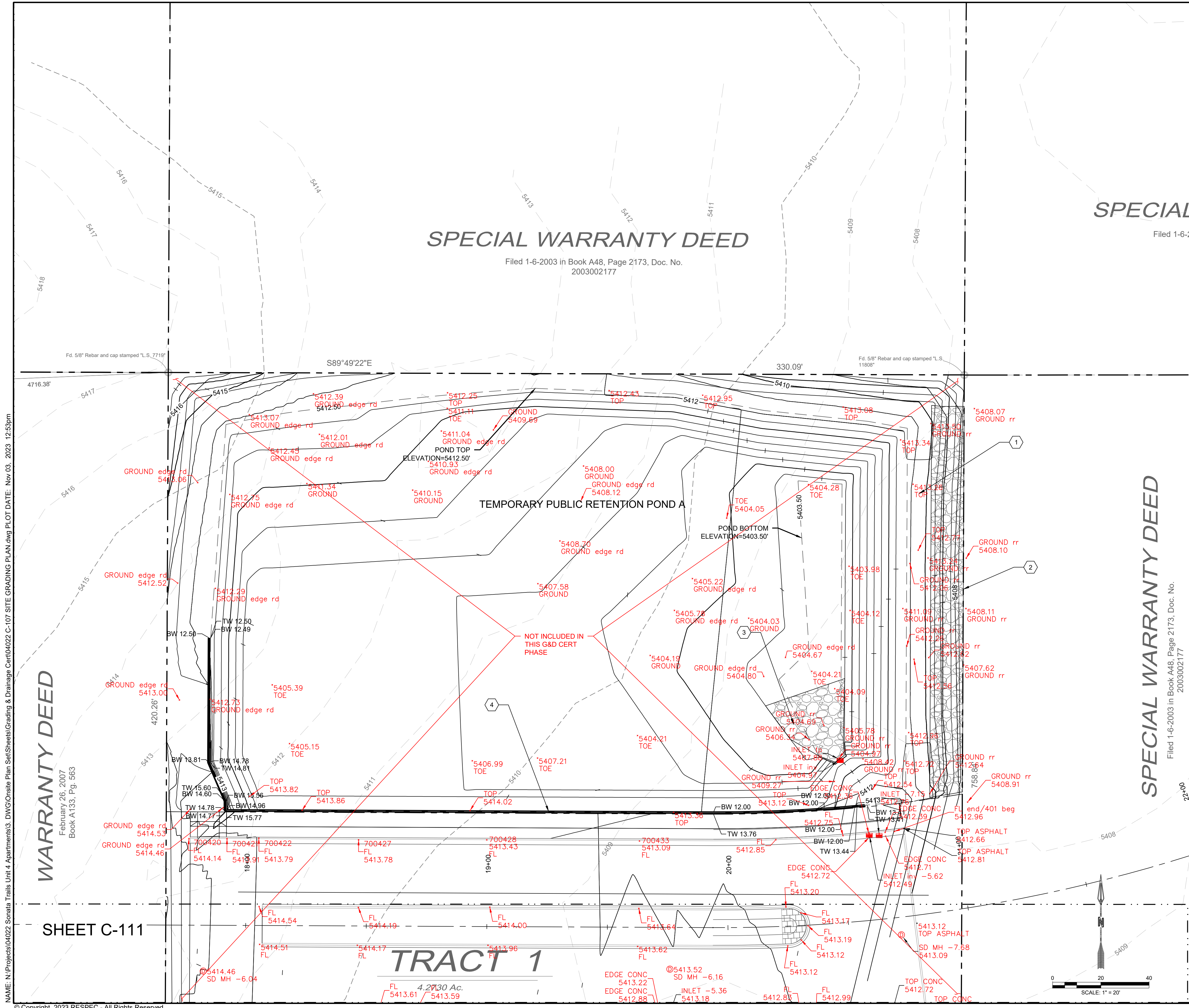
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: SITE GRADING PLAN

SUBMITTED FOR: CONSTRUCTION

SHEET NUMBER: C-111

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\Grading & Drainage Cert\04022 C-106 SITE GRADING PLAN.dwg PLOT DATE: Nov 03, 2023 12:47pm



- LEGEND**
- GRADING LIMITS
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR
 - MATCHLINE
 - SLOPE ARROW
 - SIDEWALK CULVERT
- SPOT ELEVATION SYMBOLS**
- 1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - 20.00 FLOWLINE
 - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
 - BW 20.00 BOTTOM WALL
 - TW 20.00 TOP WALL
 - SW 20.00 SIDEWALK
 - FG 20.00 FINISHED GROUND
 - BS 20.00 BOTTOM STEP
 - TS 20.00 TOP STEP

- KEYED NOTES**
- | I.D.# | DESCRIPTION |
|-------|--|
| 1 | 1' OVERFLOW WEIR. TOP OF POND ELEVATION = 5412.50'. TOP OF WEIR ELEVATION = 5411.50'. |
| 2 | RIP RAP D50=8" DOWNSTREAM OF OVERFLOW WEIR. |
| 3 | RIP RAP D50=8" POND RUNDOWN. |
| 4 | CMU RETAINING WALL. RETAINING WALL HEIGHT VARIES FROM 0'-6". SEE SHEET C-501 FOR DETAIL. |
- RIPRAP NOTES:**
- ALL RIP-RAP SHALL CONSIST OF 9" OF RIP-RAP OVER 8" OF FILTER MATERIAL.
 - RIP-RAP SHALL CONSIST OF CRUSHED ROCK MEETING THE FOLLOWING GRADATION, OR ENGINEER APPROVED EQUIVALENT.
- | MAX. DIMENSION | % SMALLER |
|----------------|-----------|
| 12" | 100 |
| 9" | 50-60 |
| 6" | 35-45 |
| 3" | 10 |
- GRANULAR BASE FILTER MATERIAL**
- FILTER MATERIAL SHALL CONSIST OF CRUSHED BASALT ROCK MEETING THE FOLLOWING GRADATION, OR ENGINEER APPROVED EQUIVALENT.
- | U.S. STANDARD SIEVE SIZE | PASSING BY WEIGHT |
|--------------------------|-------------------|
| 1" | 100 |
| 3/4" | 45-65 |
| #4 | 25-45 |
| #40 | 0-20 |
| #200 | 0-5 |
- FILTER MATERIAL SHALL BE PLACED UNDER THE RIP-RAP CHANNEL PAVEMENT AS SHOWN HEREON. THE SUBGRADES SHALL BE PROCESSED TO A 12" MIN. DEPTH AND COMPACTED TO 95% MIN. RELATIVE DENSITY PER ASTM D 1557. THE FILTER MATERIAL SHALL BE TAMPED AND SHAPED TO FORM A SMOOTH, EVEN, AND FIRM FOUNDATION FOR THE OVERLYING RIP-RAP. THE CONTRACTOR'S OPERATIONS AND METHODS OF PLACING SHALL PREVENT SEGREGATION OF THE MATERIALS. THE FILTER MATERIAL SHALL BE PLACED AND TAMPED IN THE VOIDS OF THE RIP-RAP.
- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
 - GRADING SHALL NOT ENCROACH ON ADJACENT PROPERTIES.
- LIMITS OF DRAINAGE CERT**

SEE SHEET C-106 FOR DRAINAGE CERT

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\Grading & Drainage Cert\04022 C-107 SITE GRADING PLAN.dwg PLOT DATE: Nov 03, 2023 12:53pm

DESIGNED BY
DRAWN BY
CHECKED BY
DATE

RESPEC
COMMUNITY DESIGN SOLUTIONS
5971 JEFFERSON STREET SUITE 101
DALLAS, TEXAS 75237
WWW.RESPEC.COM PHONE 952.523.7118

REVISION

STAMP

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

PROJECT NAME:

SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE:

SITE GRADING PLAN

SUBMITTED FOR:

CONSTRUCTION

SHEET NUMBER:

C-112