

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 18, 2025

John Stapleton, P.E.  
Community Design Solutions  
9384 Valley View Dr. NW  
Albuquerque, NM 87114

**RE: Sonta Trails Unit 4 Apartments – Phase 3  
(Bldg 20, 21, and 22)  
Permanent C.O. – Accepted  
Engineer’s Certification Date: 07/16/2025  
Engineer’s Stamp Date: 6/03/2021  
Hydrology File: C10D001A**

Dear Mr. Stapleton:

PO Box 1293

Based on the Certification for Bldgs. 20, 21, and 22 received 7/17/2025 and site visit on 07/18/2025, this letter serves as an approval of the Engineering Certification from the Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

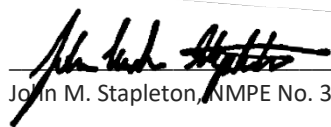
www.cabq.gov

Anthony Montoya, Jr., P.E. CFM  
Senior Engineer,  
Planning Department, Development Review Services

**DRAINAGE CERTIFICATION**

I, JOHN M. STAPLETON, NMPE, OF THE FIRM COMMUNITY DESIGN SOLUTIONS LLC (CDS), HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/01/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOHN M. STAPLETON, NMPE, OF THE FIRM CDS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 16, 2025, AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THIS CERTIFICATION WILL COVER PHASE 3 OF THIS PROJECT. PHASE 1 & 2 IS COMPLETE; ADDITIONAL PHASING WILL BE ADDRESSED IN FUTURE APPLICATIONS. GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

  
\_\_\_\_\_  
John M. Stapleton, NMPE No. 30170



07/16/2025  
Date



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Sonata Trails Unit 4 Apts Hydrology File # C10D001A

Legal Description: Tracts 1, 2, and 3, The Trails Unit 4

City Address, UPC, OR Parcel: NA

Applicant/Agent: Sonata Trails, LLC Contact: Kelly Calhoun  
Address: 6330 Riverside Plaza Lane, Albuquerque, NM 87120 Phone: 702.376.9478  
Email: kcalhoun@wcinm.com

Applicant/Owner: Community Design Solutions, LLC Contact: John Stapleton  
Address: 9384 Valley View Drive NW, Suite 100, Albuquerque, NM 87114 Phone: 505.545.9607  
Email: john.stapleton@cdsn.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT:  PLAT (#of lots) \_\_\_\_\_  RESIDENCE  
 DFT SITE  ADMIN SITE

RE-SUBMITTAL:  YES  NO

DEPARTMENT:  TRANSPORTATION  HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

### TYPE OF SUBMITTAL:

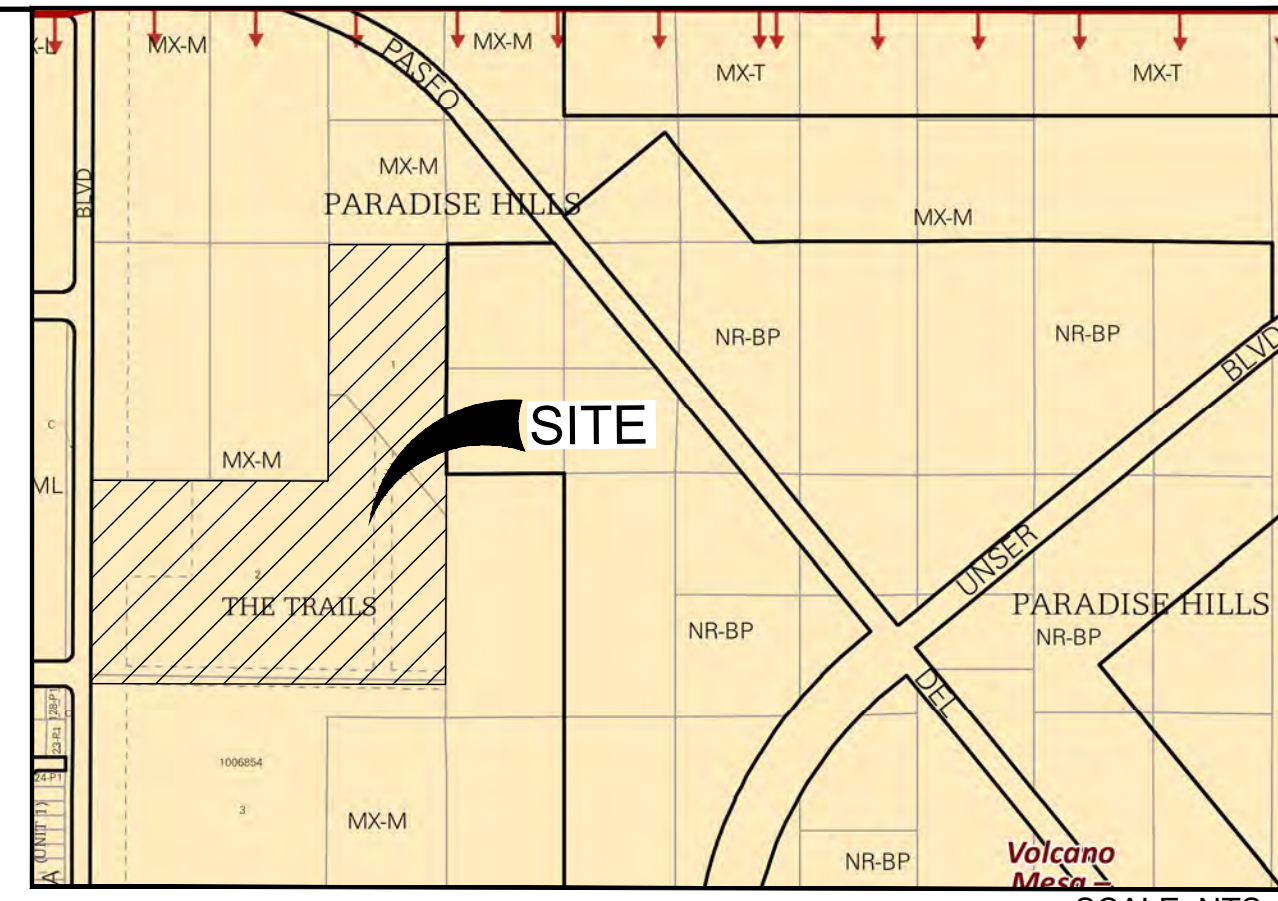
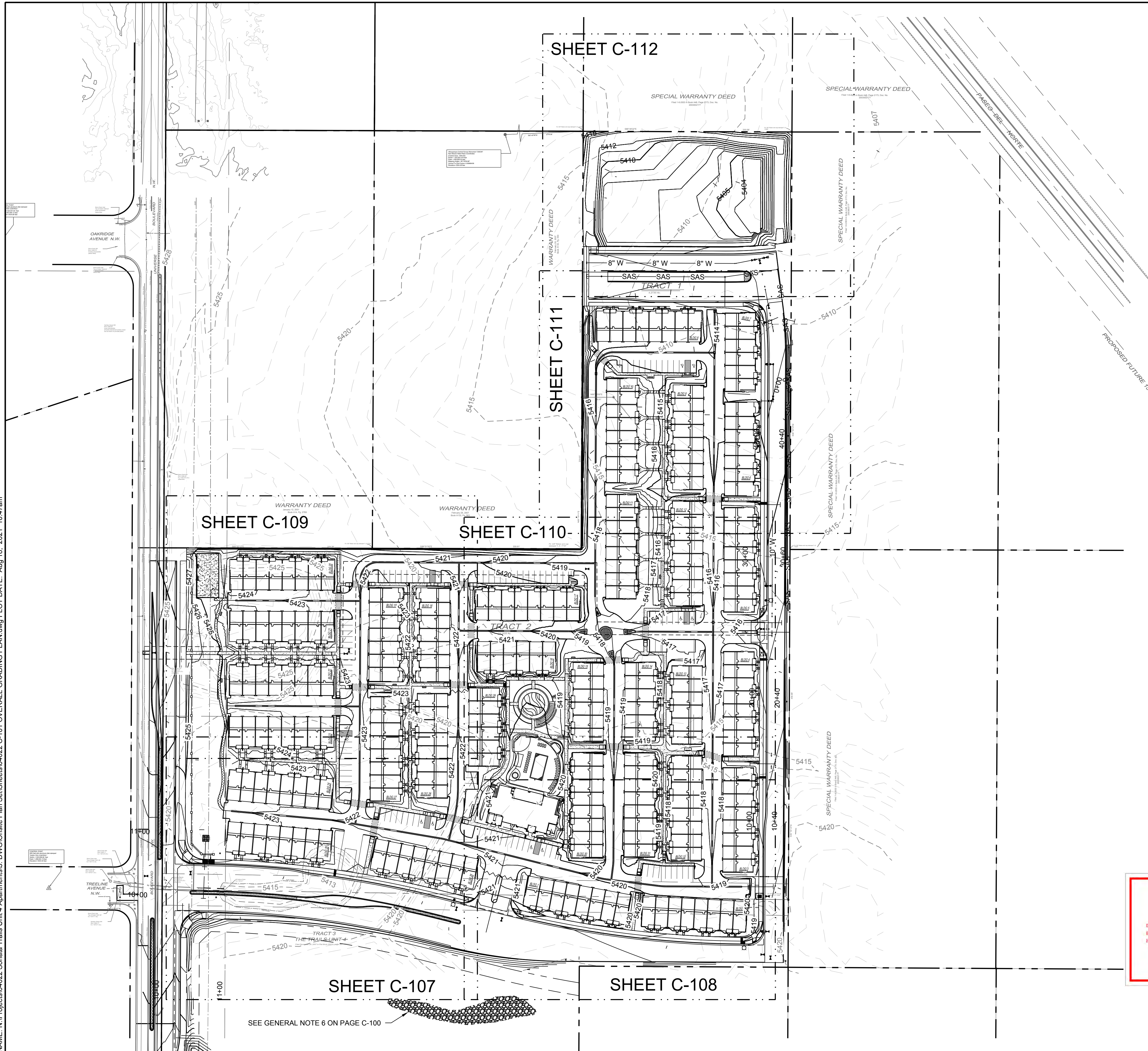
- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 07/16/2025

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments3. DWG\Onsite Plan Set\Sheets\04022 C-101 OVERALL GRADING PLAN.dwg PLOT DATE: Aug 18, 2021 10:47am



**GRADING NOTES**

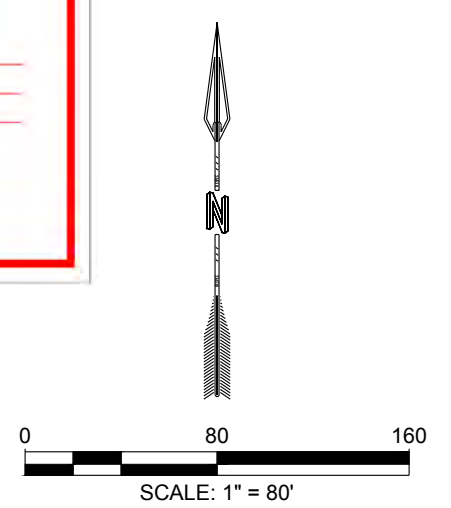
1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
8. ALL DISTURBED AREAS TO BE RE-SEEDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
9. ALL INFRASTRUCTURE CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE BUILT WITH PUBLIC WORK ORDER PLANS.
10. FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
11. GRADING SHALL NOT ENCROACH ON ADJACENT PROPERTIES.

**PNM NOTE**

1. CONTRACTOR TO COORDINATE A SITE WALKTHROUGH WITH PNM PRIOR TO CONSTRUCTION. CONTRACTOR TO KEEP ALL EQUIPMENT A MINIMUM OF 15 FEET AWAY FROM ALL PNM POWER LINES.

**LEGEND**

GRADING LIMITS	—
MAJOR CONTOUR	—4985—
MINOR CONTOUR	—
EXISTING MAJOR CONTOUR	---4985---
EXISTING MINOR CONTOUR	---
MATCHLINE	—•••—
SLOPE ARROW	-1.5% -51.2%
SIDEWALK CULVERT	▨



DESIGNED BY <b>RESPEC</b>	BE	DATE 6.03.2021
DRAWN BY <b>RESPEC</b>	SG	
CHECKED BY <b>RESPEC</b>		
DATE		

COMMUNITY DESIGN SOLUTIONS  
8971 JEFFERSON STREET SUITE 101  
WWW.RESPEC.COM PHONE: 850.253.9718

STAMP  
**JEREMY W. SHELL**  
NEW MEXICO  
26341  
PROFESSIONAL ENGINEER  
6/03/2021

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

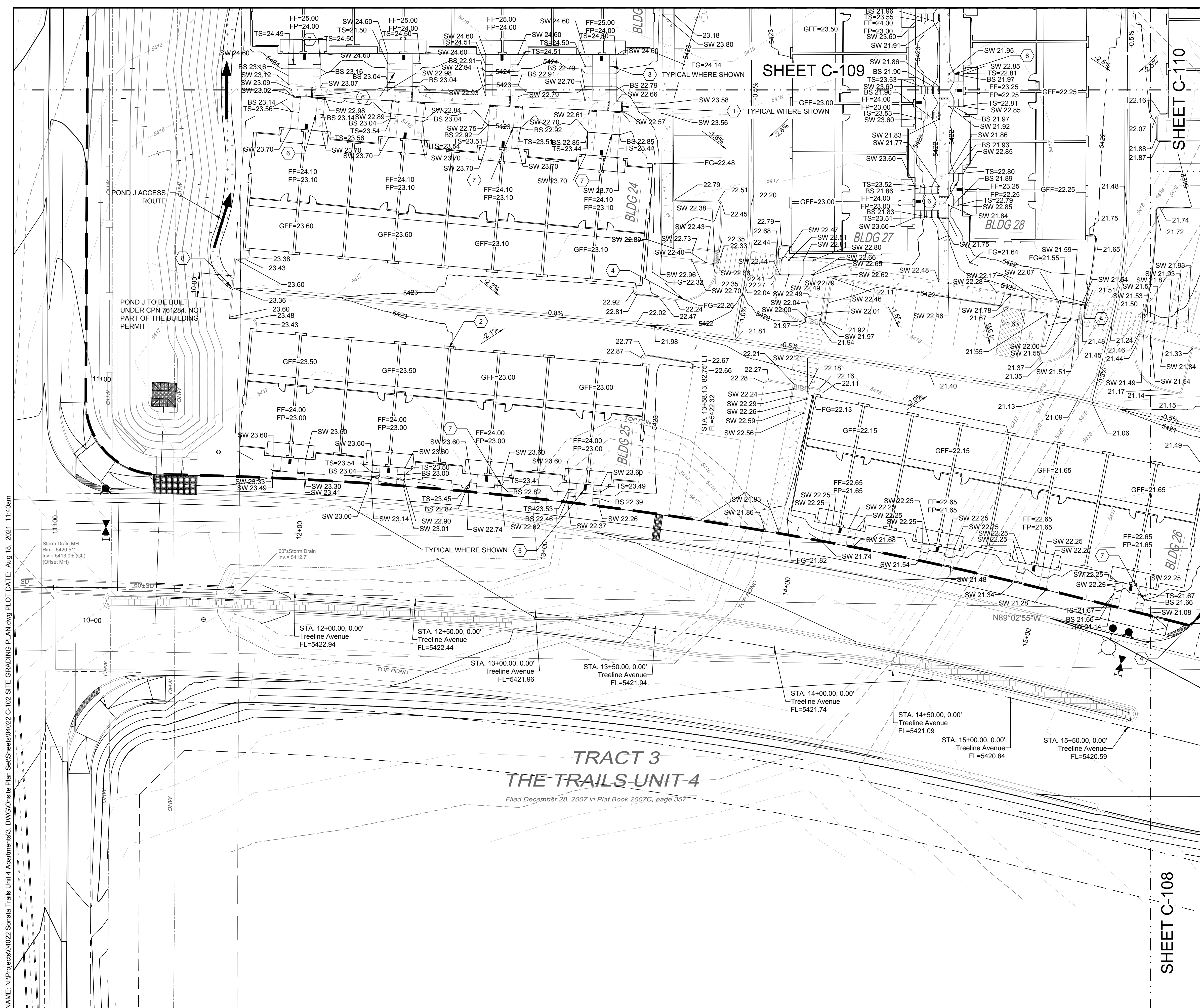
**nm811**  
Know what's Below. Call before you dig.

PROJECT NAME:  
**SONATA TRAILS UNIT 4 APARTMENTS**

SHEET TITLE:  
**OVERALL GRADING PLAN**

SUBMITTED FOR:  
**CONSTRUCTION**

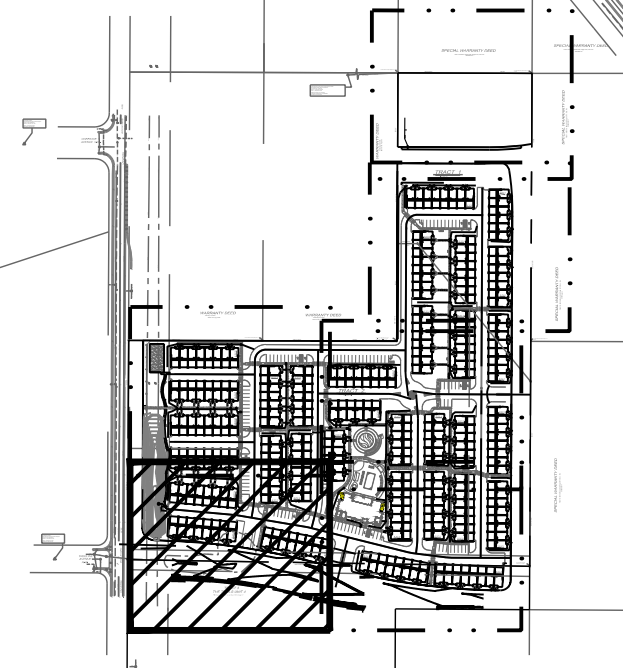
SHEET NUMBER:  
**C-106**



**SHEET C-109**

**SHEET C-110**

**SHEET C-108**



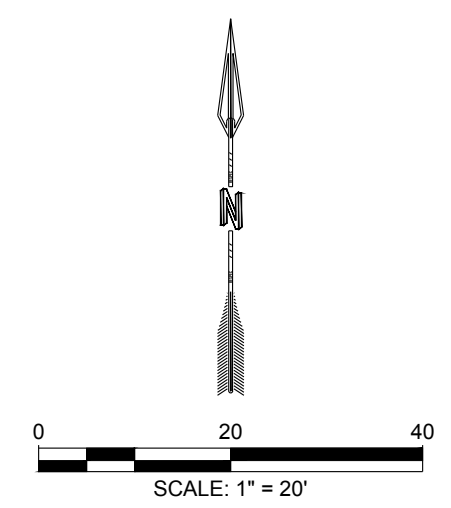
**KEY MAP** SCALE: NTS

- LEGEND**
- GRADING LIMITS
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - MATCHLINE
  - SLOPE ARROW
  - SIDEWALK CULVERT

- SPOT ELEVATION SYMBOLS**
1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
  - 20.00 FLOWLINE
  - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
  - BW 20.00 BOTTOM WALL
  - TW 20.00 TOP WALL
  - SW 20.00 SIDEWALK
  - FG 20.00 FINISHED GROUND
  - BS 20.00 BOTTOM STEP
  - TS 20.00 TOP STEP

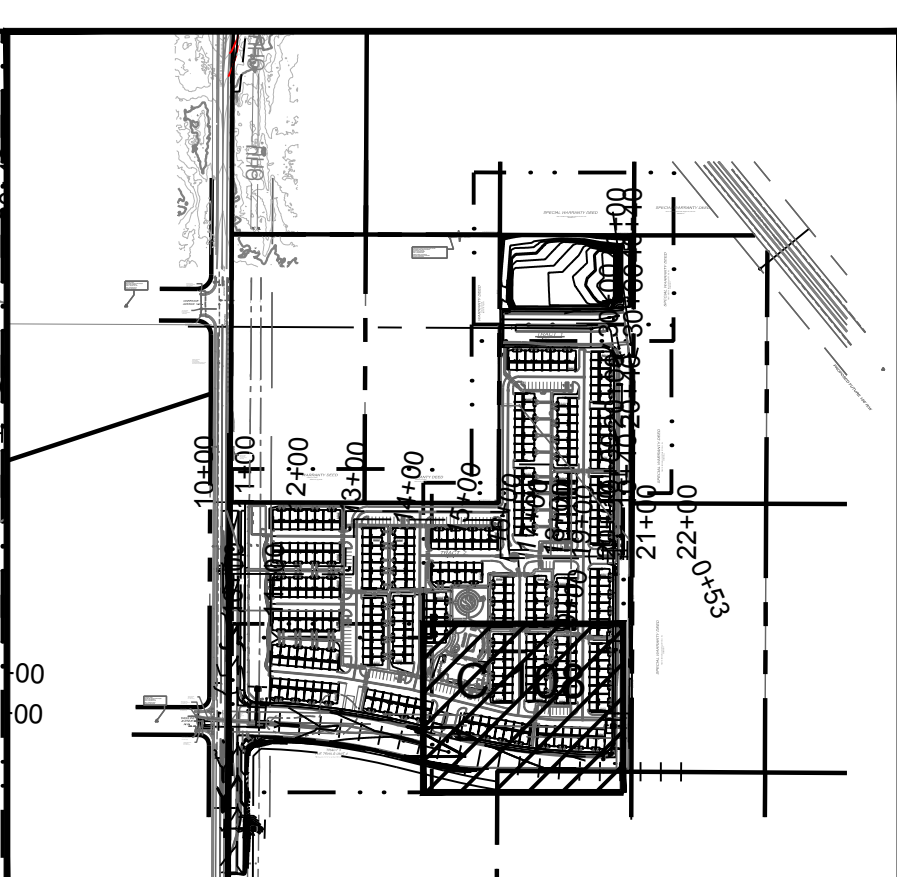
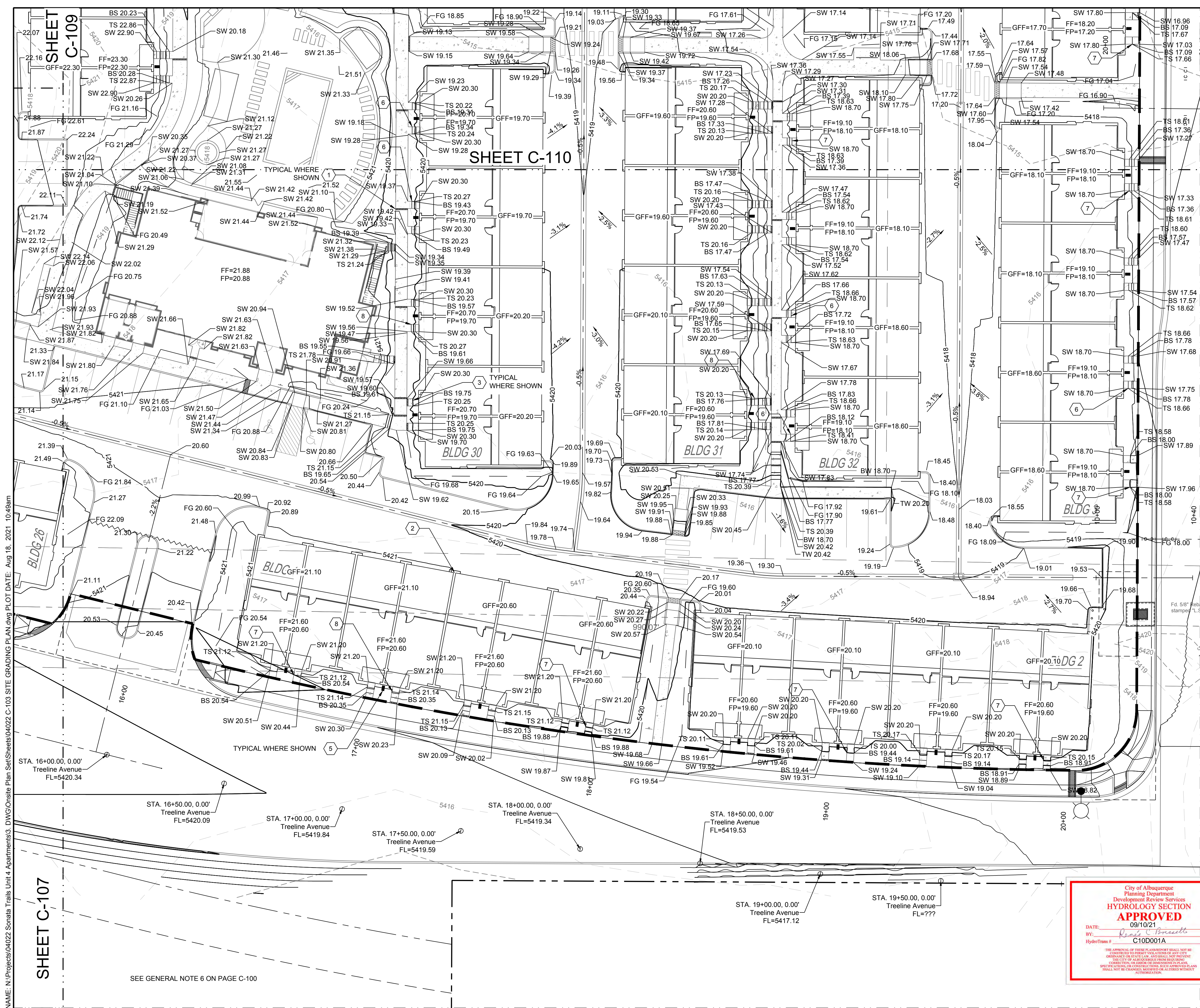
- KEYED NOTES**
- | I.D.# | DESCRIPTION  |
|-------|--|
| 1     | NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.               |
| 2     | WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.                         |
| 3     | 6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN. |
| 4     | 1" CURB OPENING. SEE DETAIL SHEET C-500.                                     |
| 5     | CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.                               |
| 6     | 5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.                            |
| 7     | 7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.                            |
| 8     | ROLL CURB. SEE DETAIL 4 SHEET C-500.   |

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 09/10/21  
 BY: *Ronald C. Brantley*  
 HydroTrans # C10D001A



NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\04022 C-102 SITE GRADING PLAN.dwg PLOT DATE: Aug 18, 2021 1:14:08m

<p>DESIGNED BY: RESPEC          DRAWN BY: BE          CHECKED BY: SG          DATE: 6.03.2021</p> <p>COMMUNITY DESIGN SOLUTIONS          8971 JEFFERSON STREET SUITE 101          WWW.RESPEC.COM PHONE: 855.923.9718</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION		
NO.	DESCRIPTION				
<p>STAMP</p>					
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>					
<p>PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS</p>					
<p>SHEET TITLE: SITE GRADING PLAN</p>					
<p>SUBMITTED FOR: CONSTRUCTION</p>					
<p>SHEET NUMBER: C-107</p>					



**LEGEND**

GRADING LIMITS	---
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	- - - 4985 - - -
EXISTING MAJOR CONTOUR	— 4985 —
EXISTING MINOR CONTOUR	- - - 4985 - - -
SLOPE ARROW	-1.5% -51.2%
SIDEWALK CULVERT	—

- 20.00 FLOWLINE
- 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- BW 20.00 BOTTOM WALL
- TW 20.00 TOP WALL
- SW 20.00 SIDEWALK
- FG 20.00 FINISHED GROUND
- BS 20.00 BOTTOM STEP
- TS 20.00 TOP STEP

**KEYED NOTES**

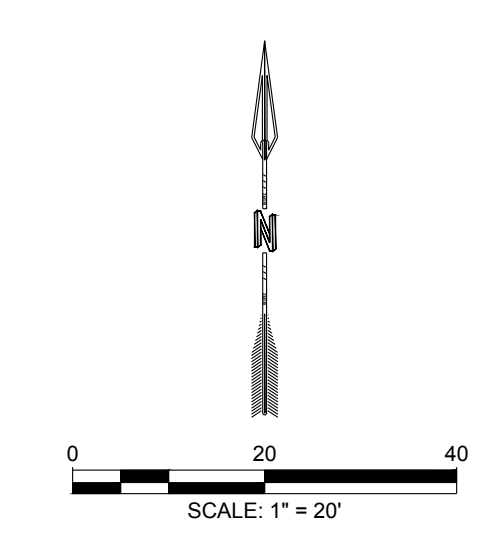
I.D.#	DESCRIPTION
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2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.

- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
  - GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.

SHEET C-109  
 SHEET C-110  
 SHEET C-107  
 NAME: N:\Projects\04022\_Sonata Trails Unit 4 Apartments\3\_DWG\Onsite Plan Set\Sheets\04022\_C-108 SITE GRADING PLAN.dwg PLOT DATE: Aug 18, 2021 10:49am  
 © Copyright 2021 RESPEC - All Rights Reserved

DESIGNED BY: BE DRAWN BY: BE CHECKED BY: SG DATE: 6.03.2021	 RESPEC COMMUNITY DESIGN SOLUTIONS 8971 JEFFERSON STREET SUITE 101 WWW.RESPEC.COM PHONE: 855.923.9718	REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> </tr> </table>	NO.	DESCRIPTION			STAMP  JEREMY W. SHELL NEW MEXICO 26341 PROFESSIONAL ENGINEER 6/03/2021
NO.	DESCRIPTION						
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED							
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS							
SHEET TITLE: SITE GRADING PLAN							
SUBMITTED FOR: CONSTRUCTION							
SHEET NUMBER: C-108							

City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 09/10/21  
 BY: *Rosa C. Brissett*  
 Hydrology # C10D001A  
THE APPROVAL OF THESE PLANS DOES NOT CONSTITUTE AN ENDORSEMENT BY ANY CITY OR AGENCY OF ANY DESIGN OR CONSTRUCTION. THE CITY OF ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREIN. THE CITY OF ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREIN. THE CITY OF ALBUQUERQUE DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED HEREIN.



# WARRANTY DEED

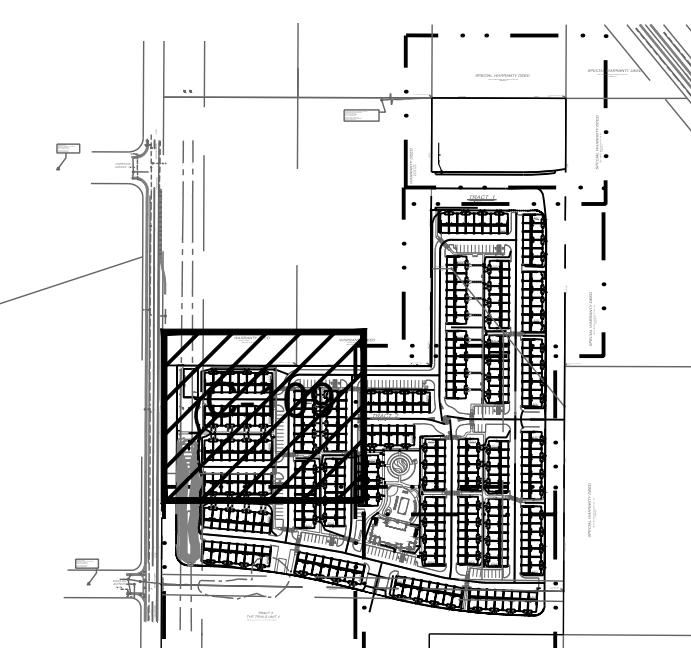
January 12, 2001  
Book A14, Pg. 2769

# WARRANTY

February 26, 2007  
Book A133, Pg. 563



SHEET C-110



### KEY MAP

SCALE: NTS

- LEGEND**
- GRADING LIMITS
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - SLOPELINE
  - SLOPE ARROW
  - SIDEWALK CULVERT

### SPOT ELEVATION SYMBOLS

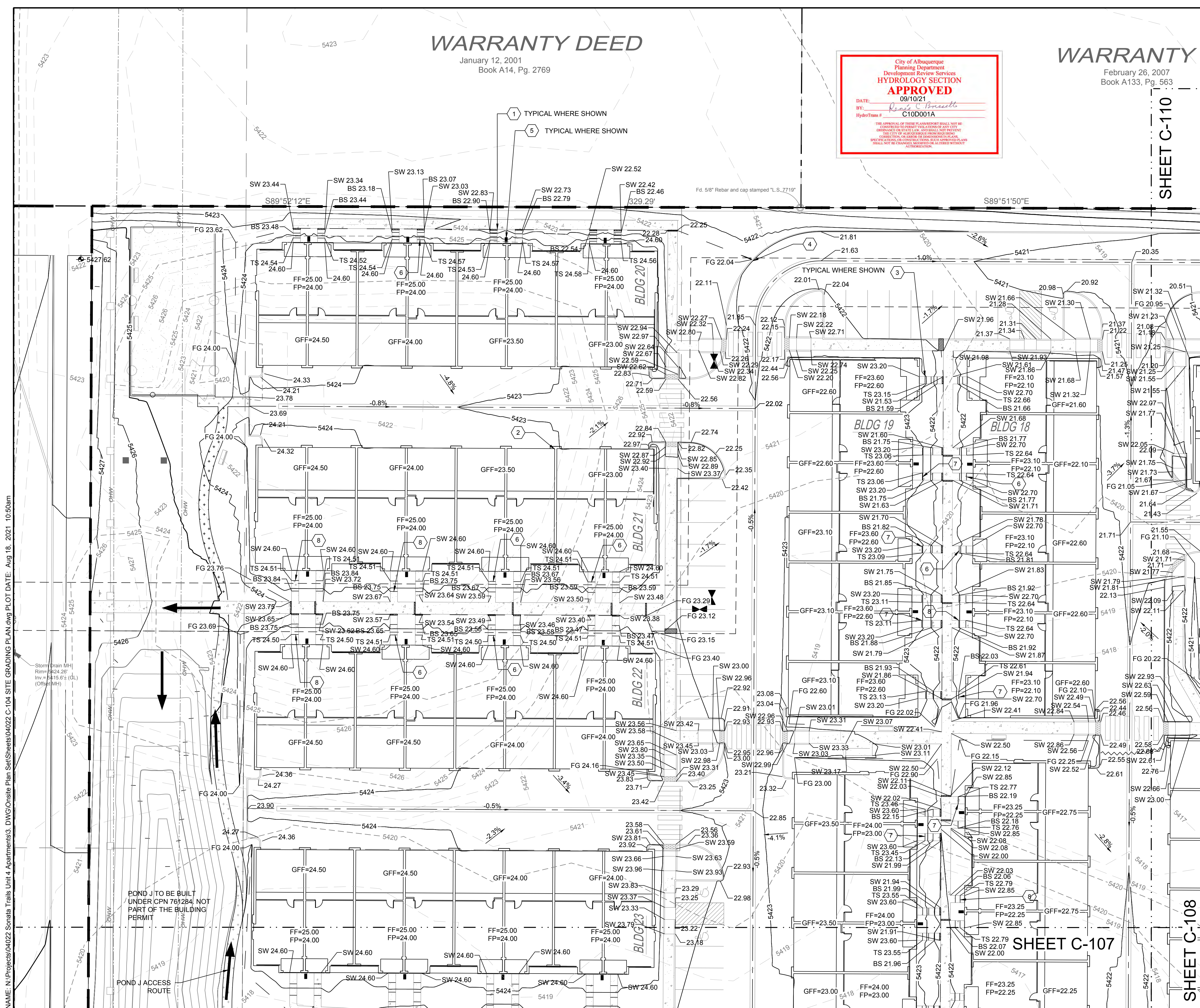
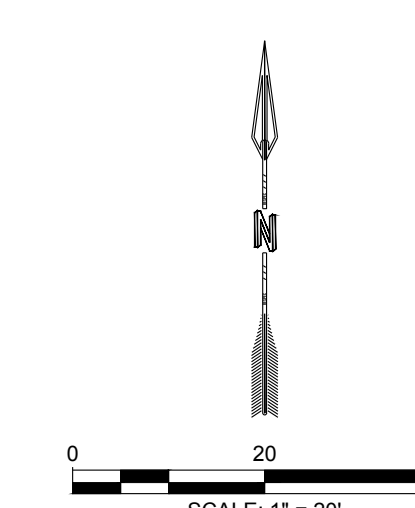
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
- 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- BW 20.00 BOTTOM WALL
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### KEYED NOTES

I.D.#	DESCRIPTION
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### GENERAL NOTES

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- GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.



SHEET C-108

SHEET C-107

NAME: N:\Projects\04022\Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\04022 C-109 SITE GRADING PLAN.dwg PLOT DATE: Aug 18, 2021 10:56am

DESIGNED BY: BE  
DRAWN BY: SG  
CHECKED BY: SG  
DATE: 6.03.2021

RESPEC COMMUNITY DESIGN SOLUTIONS  
18971 JEFFERSON STREET SUITE 101  
DALLAS, TEXAS 75244  
WWW.RESPEC.COM PHONE: (972) 253-9718

STAMP: JEREMY W. SHELL  
NEW MEXICO  
26341  
PROFESSIONAL ENGINEER  
6/03/2021

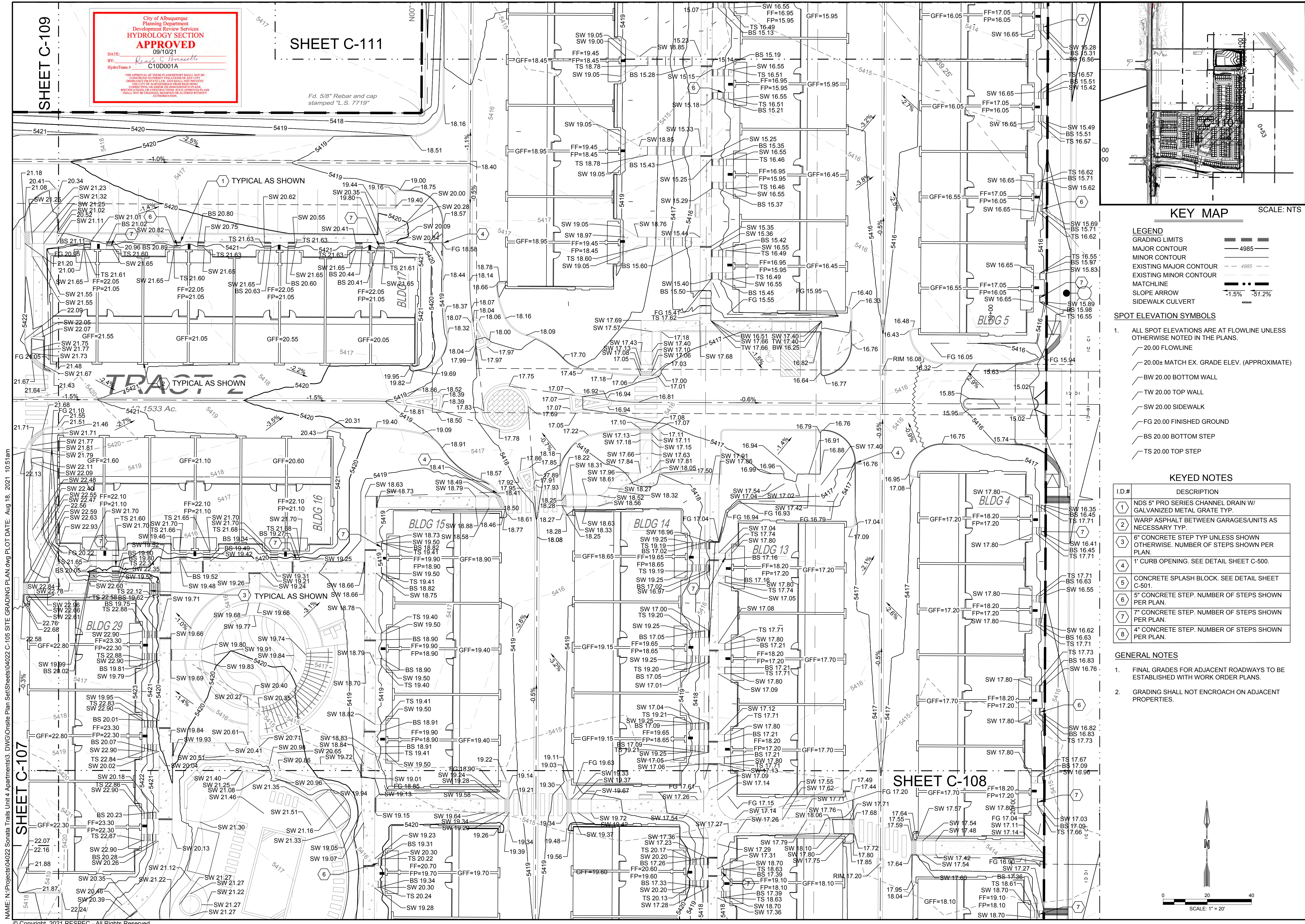
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PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: SITE GRADING PLAN

SUBMITTED FOR: CONSTRUCTION

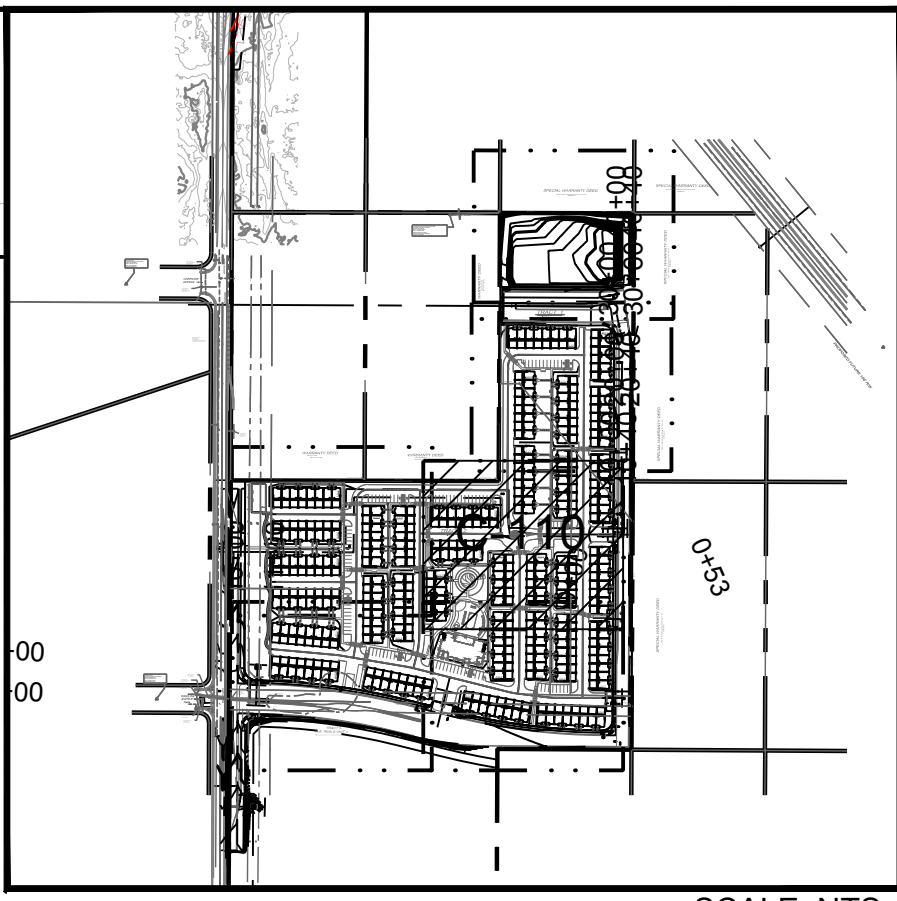
SHEET NUMBER: C-109



City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 09/10/21  
 BY: *Ryan C. Brissett*  
 HydroTrans # C10D001A

**SHEET C-111**

Fd. 5/8" Rebar and cap stamped "L.S. 7719"



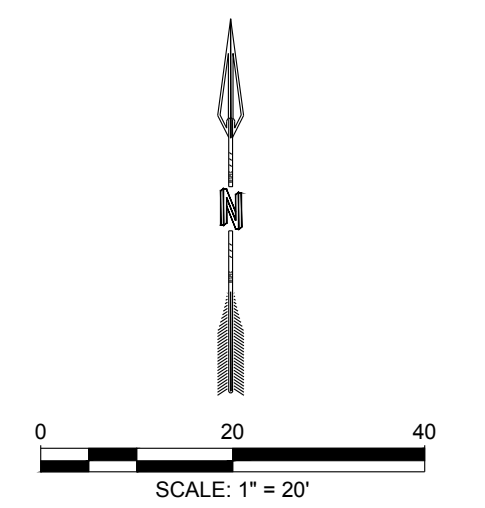
**KEY MAP** SCALE: N.T.S.

- LEGEND**
- GRADING LIMITS
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - MATCHLINE
  - SLOPE ARROW
  - SIDEWALK CULVERT

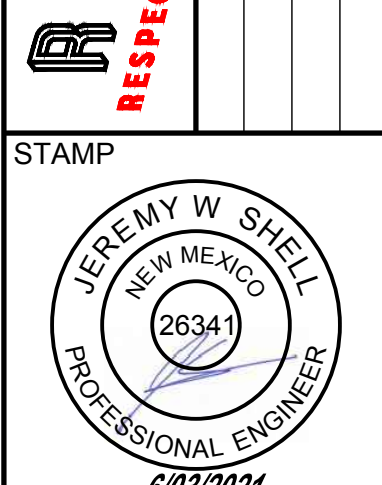
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DESIGNED BY	DRAWN BY	CHECKED BY	DATE
RESPEC	RESPEC	RESPEC	6.03.2021



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED



PROJECT NAME: **SONATA TRAILS UNIT 4 APARTMENTS**

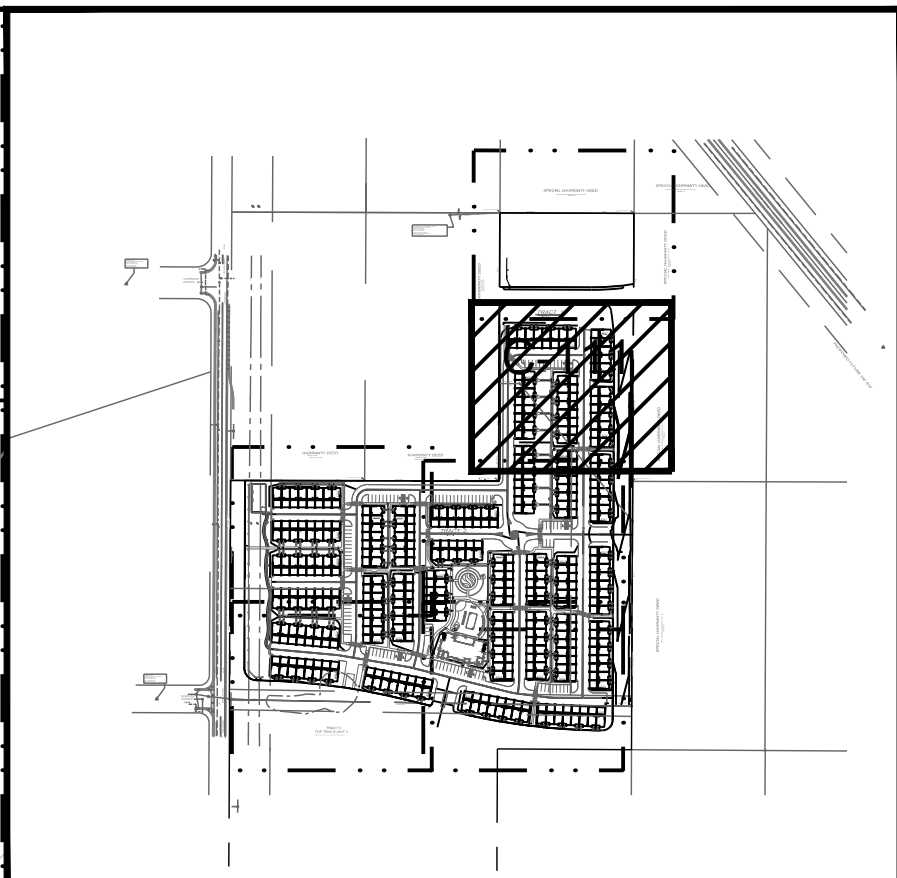
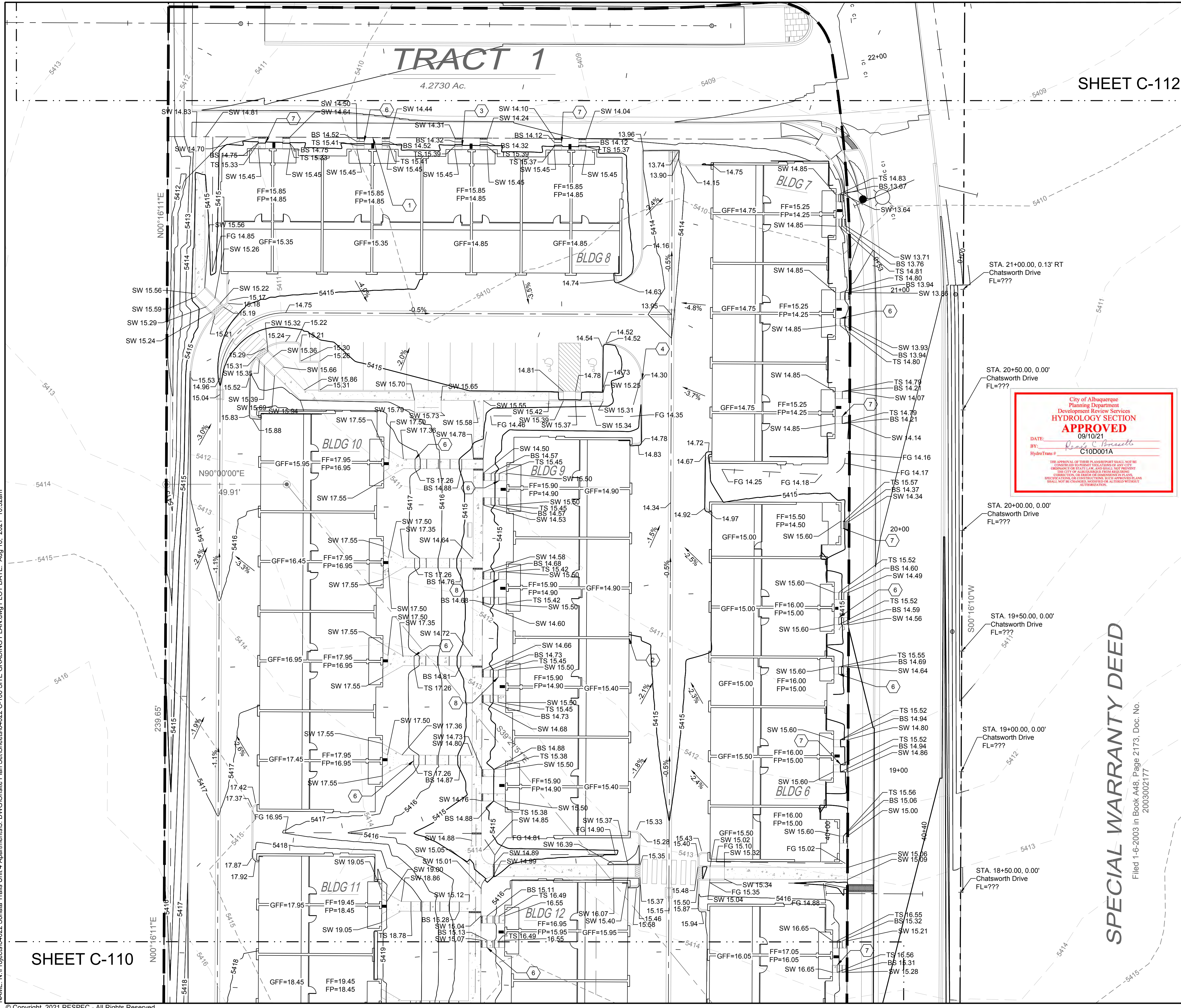
SHEET TITLE: **SITE GRADING PLAN**

CONSTRUCTION

SHEET NUMBER: **C-110**

NAME: N:\Projects\04022\_Sonata Trails Unit 4 Apartments\3\_DWG\Onsite Plan Set\Sheets\04022\_C-105 SITE GRADING PLAN.dwg PLOT DATE: Aug 18, 2021 10:51am





**LEGEND**

GRADING LIMITS	---
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	- - - 4985 - - -
EXISTING MAJOR CONTOUR	— 4985 —
EXISTING MINOR CONTOUR	- - - 4985 - - -
MATCHLINE	—•••••
SLOPE ARROW	—1.5% -51.2%
SIDEWALK CULVERT	—•••••

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City of Albuquerque  
 Planning Department  
 Development Review Services  
**HYDROLOGY SECTION**  
**APPROVED**  
 DATE: 09/10/21  
 BY: *Debra C. Brummett*  
 HydroTrans # C10D001A

**KEYED NOTES**

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.

- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
  - GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.

**SPECIAL WARRANTY DEED**

Filed 1-6-2003 in Book A48, Page 2173, Doc. No. 2003002177

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: SITE GRADING PLAN

CONSTRUCTION

SHEET NUMBER: C-111

DESIGNED BY: RESPEC  
 DRAWN BY: RESPEC  
 CHECKED BY: RESPEC  
 DATE: 6.03.2021

RESPEC COMMUNITY DESIGN SOLUTIONS  
 8971 JEFFERSON STREET SUITE 101  
 WWW.RESPEC.COM PHONE: 855.925.9718

STAMP: JEREMY W. SHELL  
 NEW MEXICO  
 26341  
 PROFESSIONAL ENGINEER  
 6/3/2021

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nm811  
 Know what's Below.  
 Call before you dig.

REVISION

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\04022 C-109 SITE GRADING PLAN.dwg PLOT DATE: Aug 18, 2021 10:52am

SHEET C-110

SHEET C-112

NAME: P:\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\Grading & Drainage Cert\Phase 3\04022 Exhibit 2 Drainage Proposed Conditions.dwg PLOT DATE: Jul 16, 2025 2:02pm

NOTE:  
 RUNOFF FROM PRIVATE PROPERTY THAT DISCHARGES DIRECTLY INTO THE RIGHT-OF-WAY  
 WILL BE EITHER SIDEWALK CULVERTS OR STORM DRAIN.

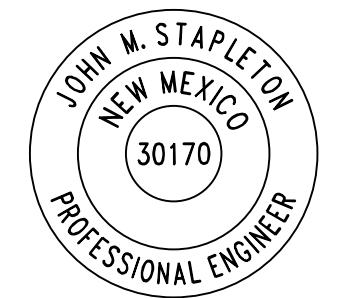
- PHASE 1 - APPROVED 11/07/2023
- PHASE 2 - APPROVED 05/20/2025

**PHASE 3: DRAINAGE CERTIFICATION**

I, JOHN M. STAPLETON, NMPE, OF THE FIRM CDS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/01/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY JOHN M. STAPLETON, NMPE, OF THE FIRM CDS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON JULY 16, 2025 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THIS CERTIFICATION WILL COVER PHASE 3 OF THIS PROJECT. PHASE 1 AND 2 ARE COMPLETED AND ADDITIONAL PHASING WILL BE ADDRESSED IN FUTURE APPLICATIONS. GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED. MORE INFORMATION IS PROVIDED IN THE COVER LETTER.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

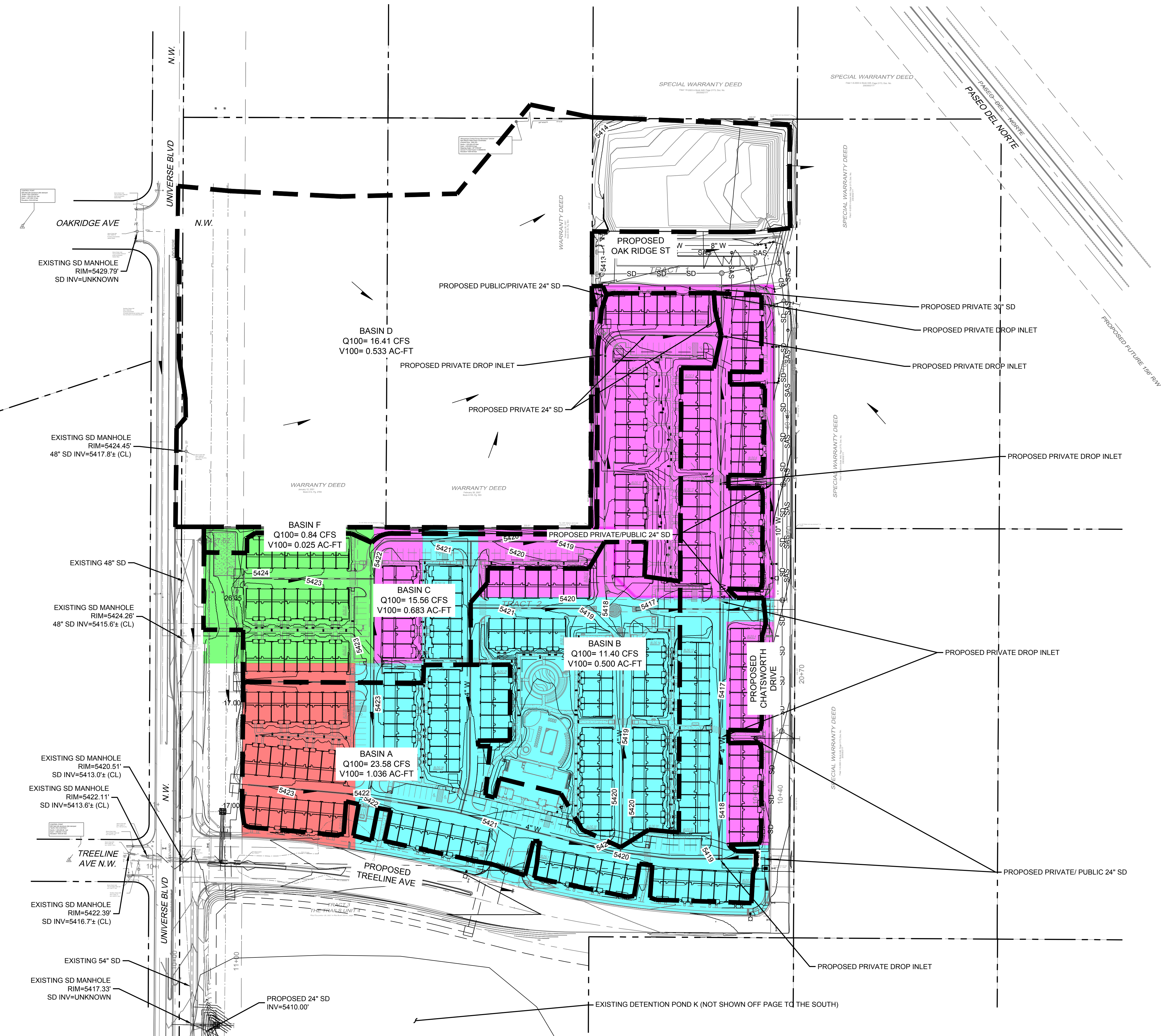
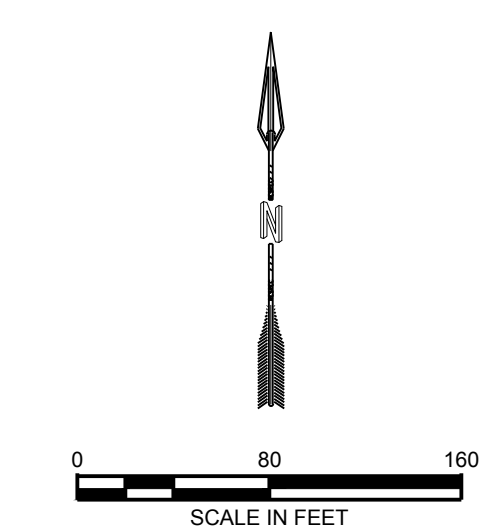
*John M. Stapleton*  
 JOHN M. STAPLETON, P.E. 30170



07/16/2025  
 DATE

**ADDITIONAL PHASING LEGEND**

- PROPERTY BOUNDARY
- BASIN BOUNDARY
- EXISTING STORM DRAIN
- FLOW ARROW
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN
- CONCEPTUAL FUTURE STORM DRAIN

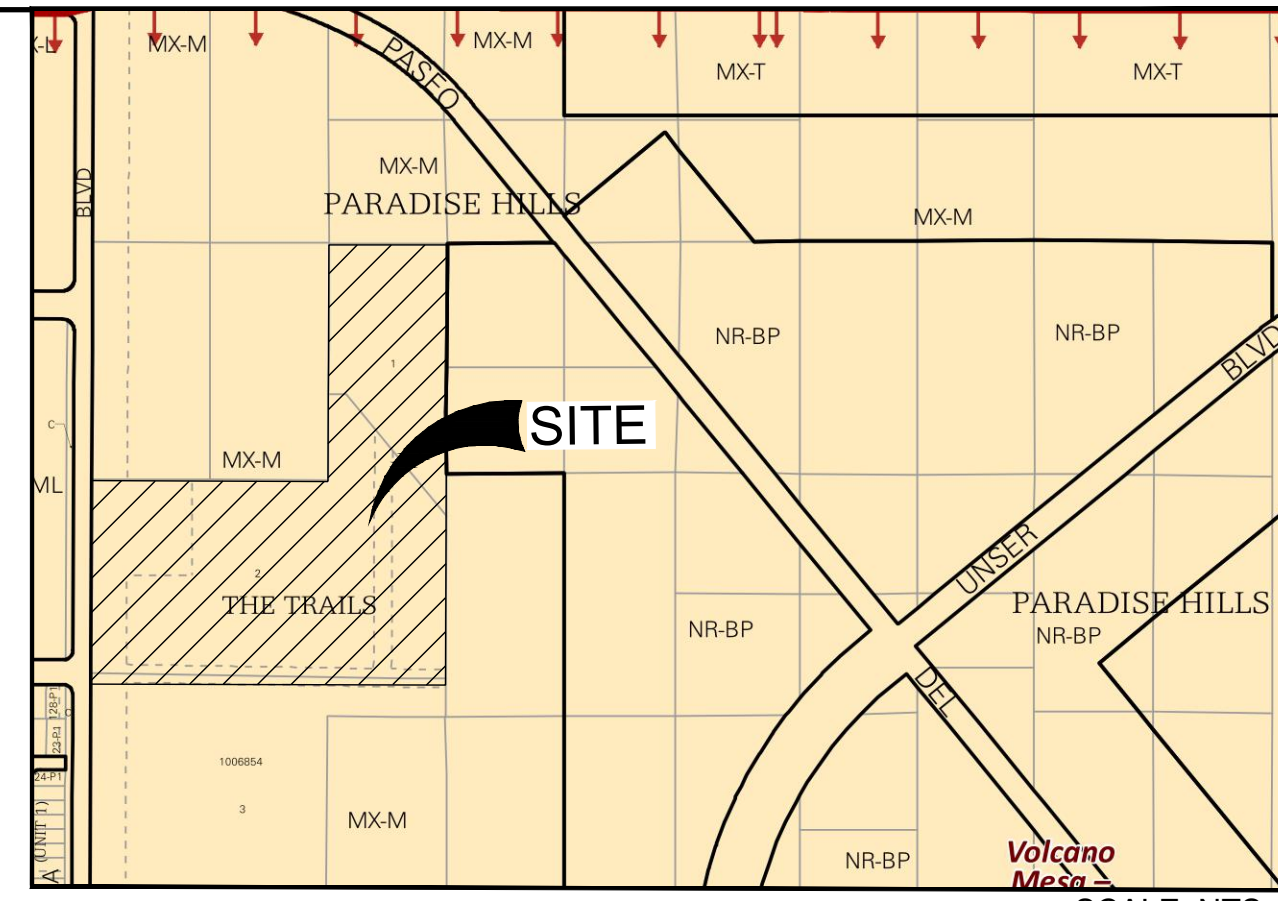
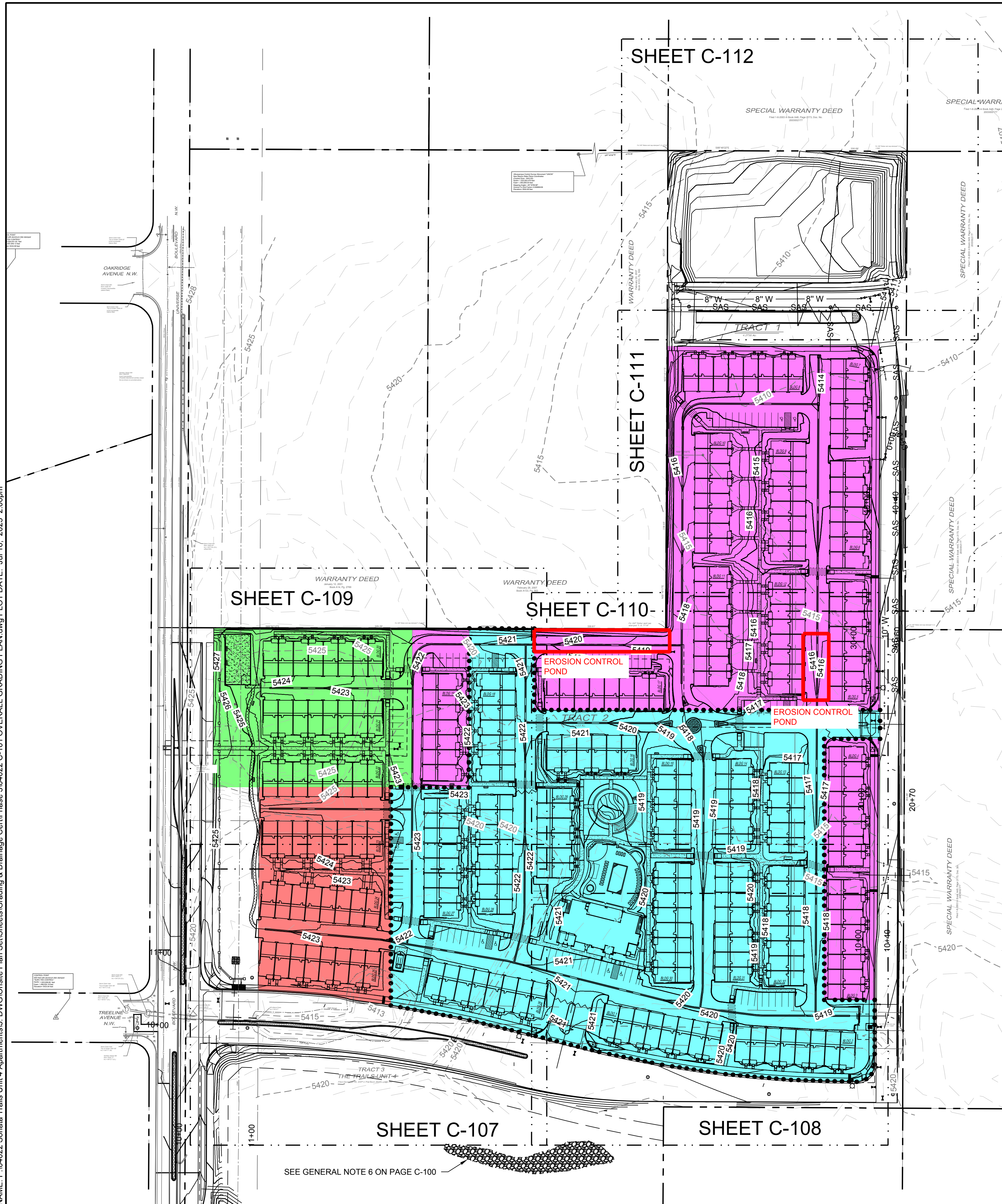


**EXHIBIT 2 PROPOSED BASINS**



**RESPEC**  
 COMMUNITY DESIGN SOLUTIONS  
 5971 JEFFERSON STREET SUITE 101  
 ALBUQUERQUE, NEW MEXICO 87109  
 WWW.RESPEC.COM PHONE:  
 (505)253-9718

NAME: P:04022 Sonata Trails Unit 4 Apartments3.DWG Onsite Plan Set(Sheets)Grading & Drainage-CentPhase 3:04022 C-101 OVERALL GRADING PLAN.dwg PLOT DATE: Jul 16, 2025 2:08pm



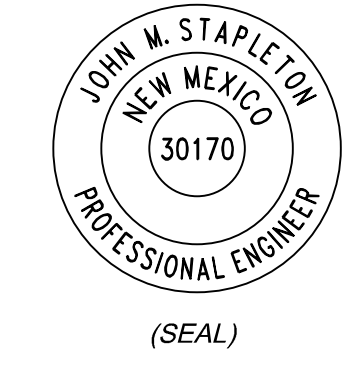
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■ PHASE 3: DRAINAGE CERTIFICATION

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*John M. Stapleton*  
 JOHN M. STAPLETON, P.E. 301170  
 07/16/2025  
 DATE



■ ADDITIONAL PHASING

GRADING NOTES

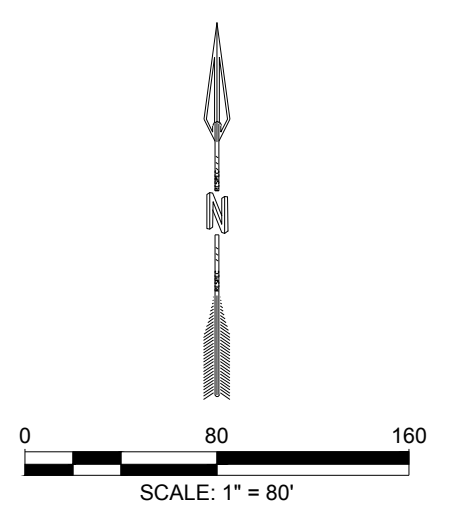
1. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
2. FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
3. STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
4. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
5. GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
6. REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
7. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
8. ALL DISTURBED AREAS TO BE RE-SEEDED PER LANDSCAPE PLAN PROVIDED BY OTHERS.
9. ALL INFRASTRUCTURE CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY SHALL BE BUILT WITH PUBLIC WORK ORDER PLANS.
10. FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
11. GRADING SHALL NOT ENCROACH ON ADJACENT PROPERTIES.

PNM NOTE

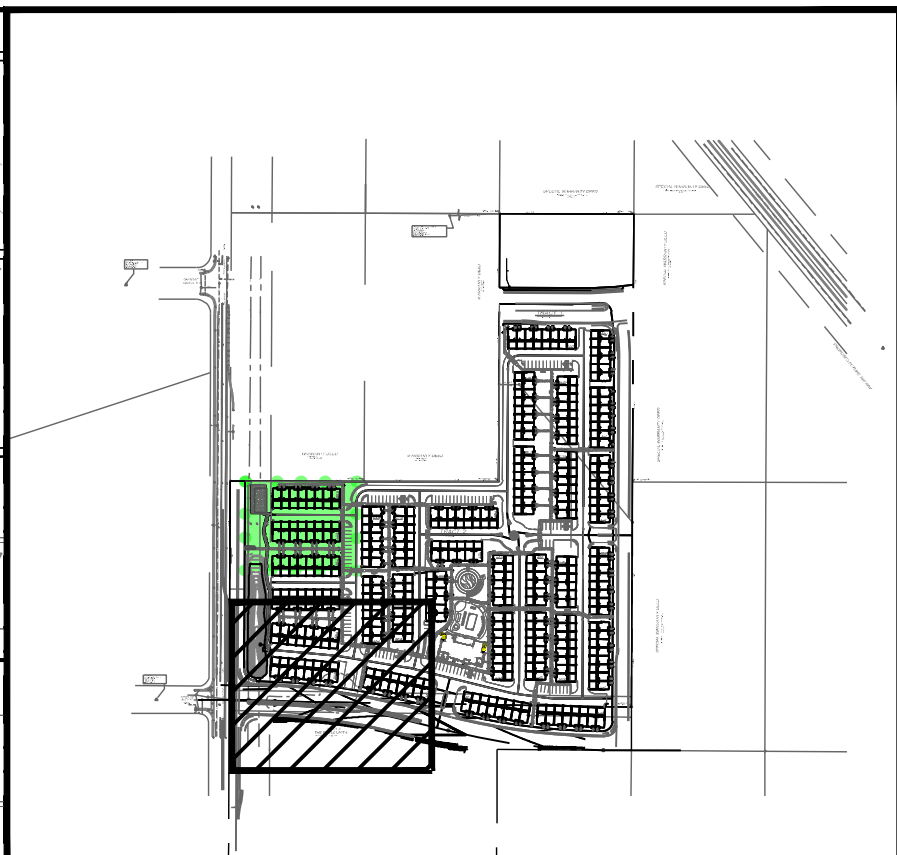
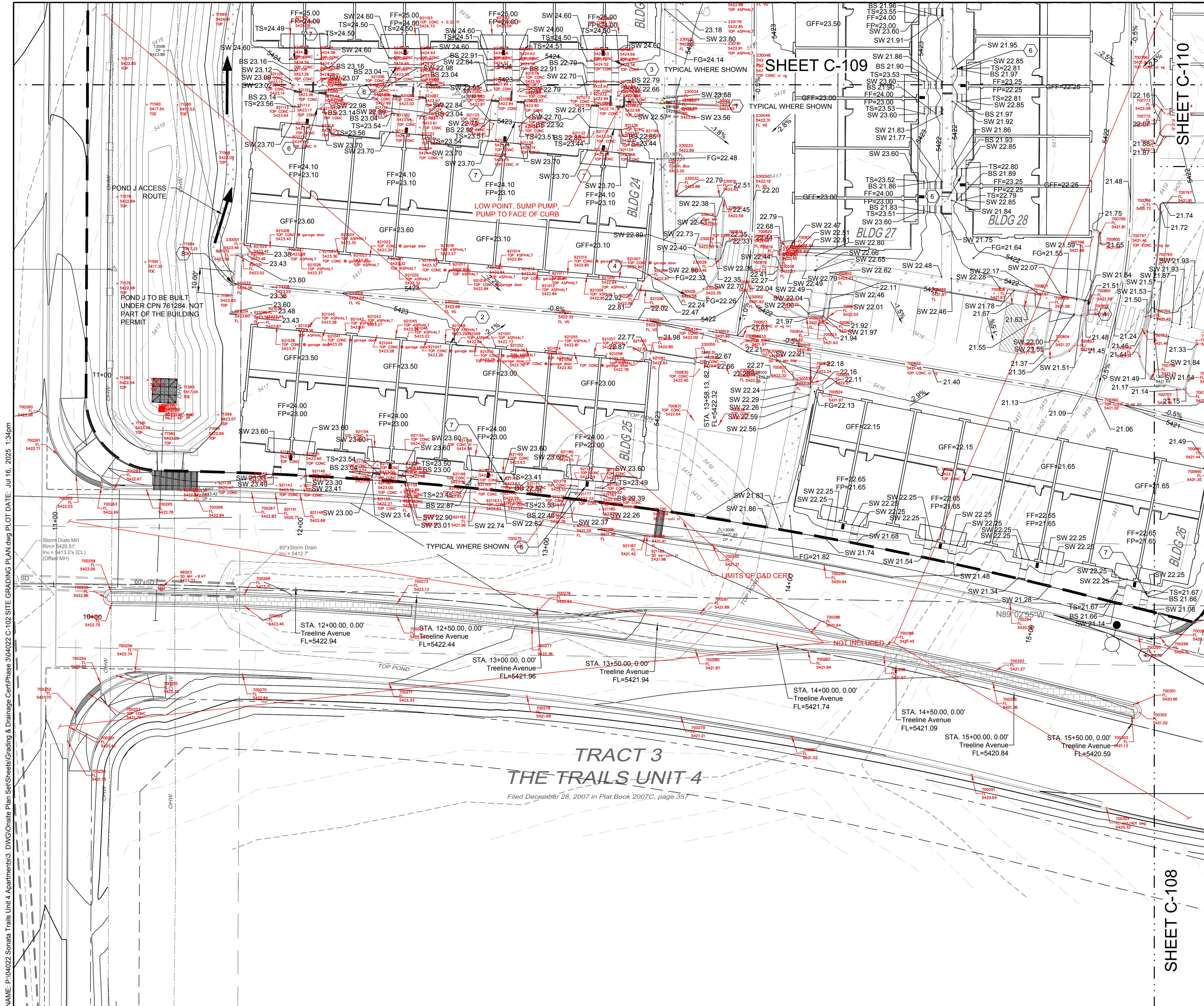
1. CONTRACTOR TO COORDINATE A SITE WALKTHROUGH WITH PNM PRIOR TO CONSTRUCTION. CONTRACTOR TO KEEP ALL EQUIPMENT A MINIMUM OF 15 FEET AWAY FROM ALL PNM POWER LINES.

LEGEND

GRADING LIMITS	—
MAJOR CONTOUR	—4985—
MINOR CONTOUR	—4985—
EXISTING MAJOR CONTOUR	- - -4985 - - -
EXISTING MINOR CONTOUR	- - -4985 - - -
MATCHLINE	—•••—
SLOPE ARROW	-1.5% -51.2%
SIDEWALK CULVERT	▨



<p>DESIGNED BY: RESPEC                  DRAWN BY: BE                  CHECKED BY: SG                  DATE: 6.03.2021</p> <p>RESPEC                  COMMUNITY DESIGN SOLUTIONS                  5971 JEFFERSON STREET, SUITE 101                  ALBUQUERQUE, NM 87110                  WWW.RESPEC.COM PHONE: (505)533-9191</p>	<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50px; height: 20px;"> </td> <td style="width: 50px; height: 20px;"> </td> </tr> <tr> <td style="width: 50px; height: 20px;"> </td> <td style="width: 50px; height: 20px;"> </td> </tr> <tr> <td style="width: 50px; height: 20px;"> </td> <td style="width: 50px; height: 20px;"> </td> </tr> </table>						
<p>STAMP</p> <div style="text-align: center;"> <p>6/03/2021</p> </div> <p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p> <div style="text-align: center;"> </div>	<p>PROJECT NAME:                  SONATA TRAILS UNIT 4 APARTMENTS</p>						
<p>SHEET TITLE:                  OVERALL GRADING PLAN</p>	<p>SHEET NUMBER:                  C-106</p>						



**LEGEND**

GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	-1.5% -51.2%
SIDEWALK CULVERT	---

- SPOT ELEVATION SYMBOLS**
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
  - 20.00 FLOWLINE
  - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
  - BW 20.00 BOTTOM WALL
  - TW 20.00 TOP WALL
  - SW 20.00 SIDEWALK
  - FG 20.00 FINISHED GROUND
  - BS 20.00 BOTTOM STEP
  - TS 20.00 TOP STEP

**KEYED NOTES**

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	ROLL CURB. SEE DETAIL 4 SHEET C-500.

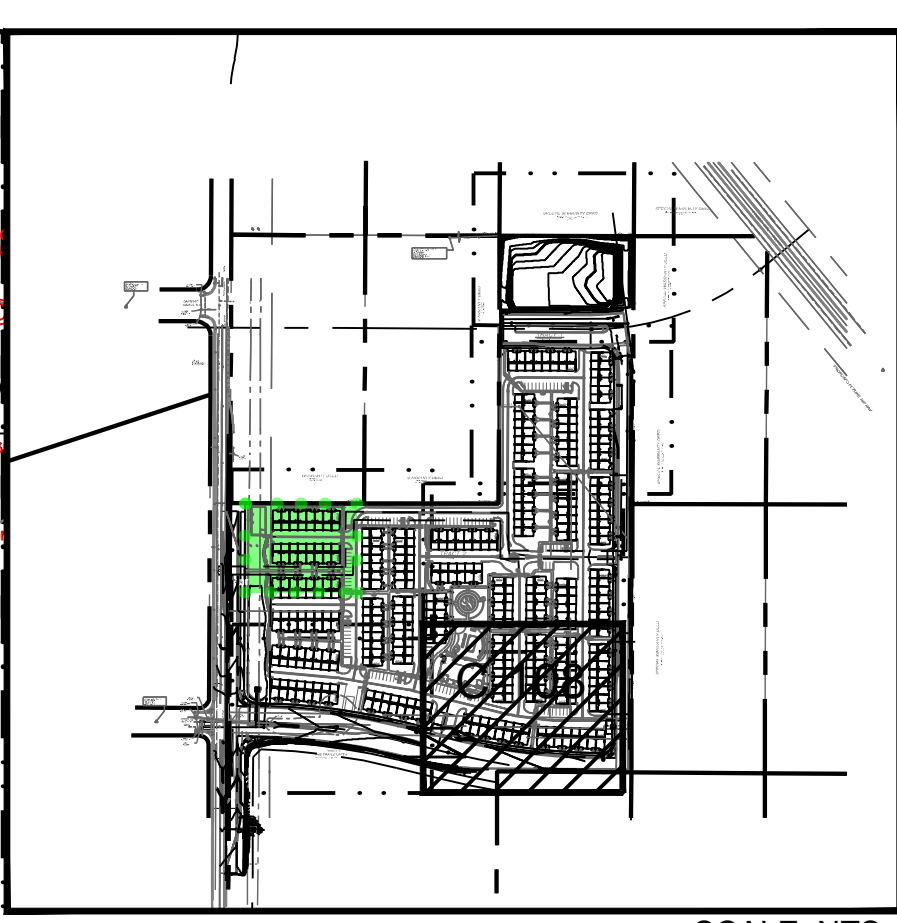
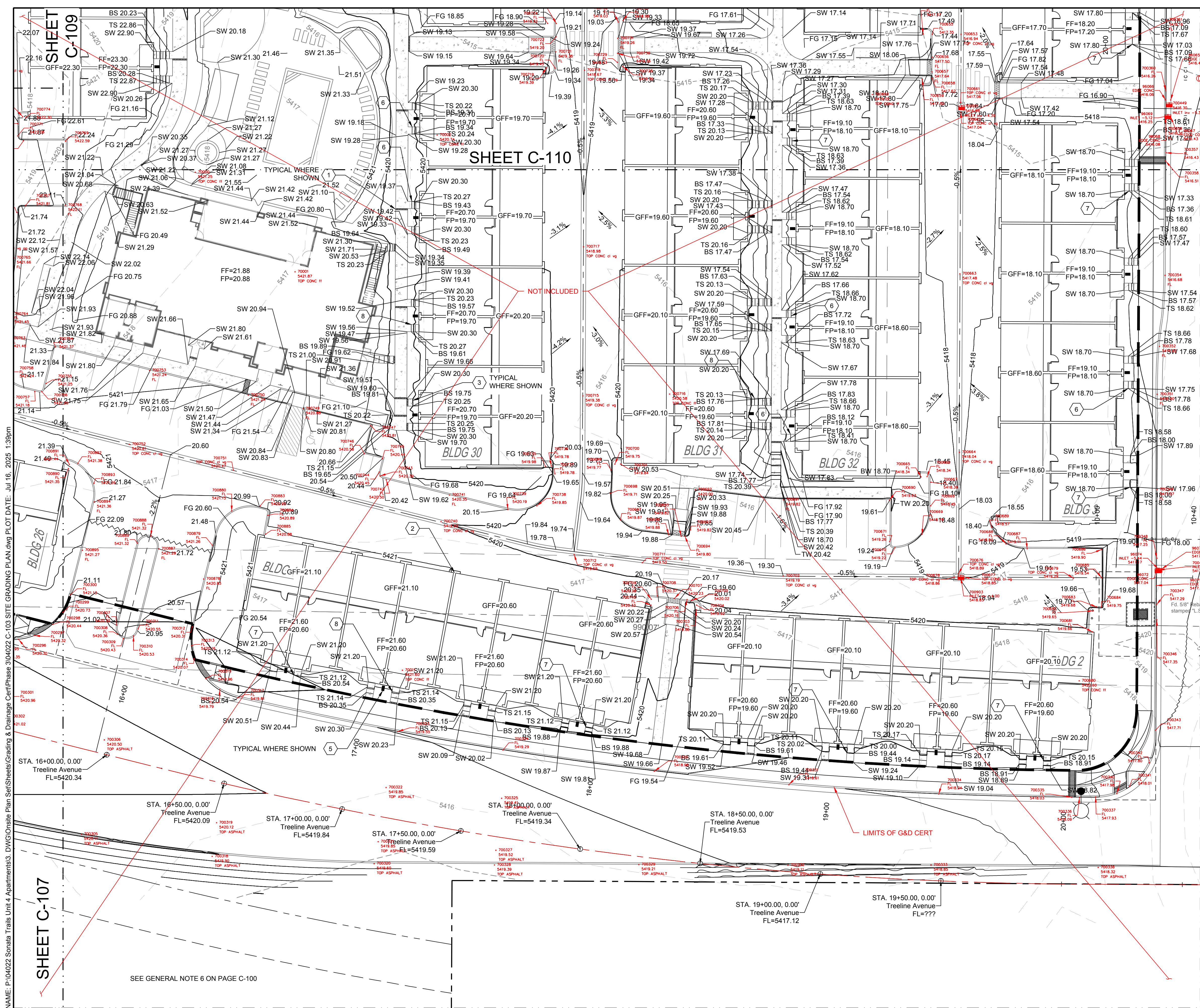
LIMITS OF DRAINAGE CERT ●●●●●●

**SEE SHEET C-106 FOR DRAINAGE CERTIFICATION**

NAME: P:04022 Sonata Trails Unit 4 Apartments3.DWG:Onsite Plan Set(Sheets)Grading & Drainage-CentPhase 3:04022 C-102 SITE GRADING PLAN.dwg PLOT DATE: Jul 16, 2025 1:34pm

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<p>DESIGNED BY: BE</p> <p>DRAWN BY: BE</p> <p>CHECKED BY: SG</p> <p>DATE: 6.03.2021</p>	<p>REVISION</p>
<p>RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET, SUITE 101 DALLAS, TX 75231 WWW.RESPEC.COM PHONE: (505)253-9191</p>	
<p>STAMP</p>	
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p> <p>Know what's Below. Call before you dig.</p>	
<p>PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS</p>	
<p>SHEET TITLE: SITE GRADING PLAN</p>	
<p>SUBMITTED FOR: CONSTRUCTION</p>	
<p>SHEET NUMBER: C-107</p>	



**LEGEND**

GRADING LIMITS	---
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	- - - 4985 - - -
EXISTING MAJOR CONTOUR	— 4985 —
EXISTING MINOR CONTOUR	- - - 4985 - - -
MATCHLINE	— • • • —
SLOPE ARROW	↘ -1.5% ↘
SIDEWALK CULVERT	====

- ↘ 20.00 FLOWLINE
- ↘ 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- ↘ BW 20.00 BOTTOM WALL
- ↘ TW 20.00 TOP WALL
- ↘ SW 20.00 SIDEWALK
- ↘ FG 20.00 FINISHED GROUND
- ↘ BS 20.00 BOTTOM STEP
- ↘ TS 20.00 TOP STEP

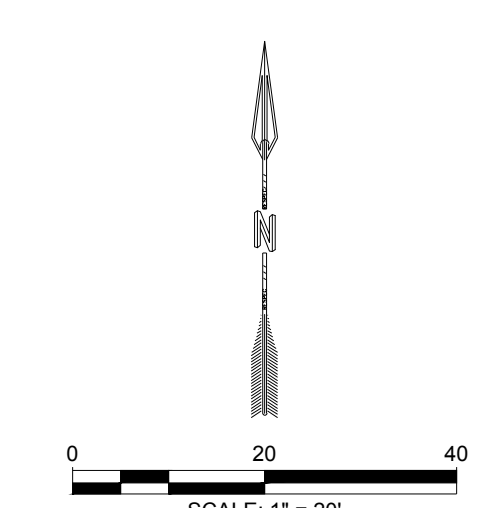
**KEYED NOTES**

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
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- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
  - GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.

LIMITS OF DRAINAGE CERT ●●●●●●●●

SEE SHEET C-106 FOR DRAINAGE CERT



NAME: P:04022 Sonata Trails Unit 4 Apartments3. DWG:Onsite Plan Set(Sheets)Grading & Drainage CentPhase 3:04022 C-108 SITE GRADING PLAN.dwg PLOT DATE: Jul 16, 2025 1:39pm

DESIGNED BY: BE DRAWN BY: BE CHECKED BY: SG DATE: 6.03.2021	<p>RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET, SUITE 101 DENVER, CO 80231 WWW.RESPEC.CO PHONE: (303)553-9191</p>	REVISION <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DESCRIPTION							STAMP 
NO.	DESCRIPTION										
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS											
SHEET TITLE: SITE GRADING PLAN											
SUBMITTED FOR: CONSTRUCTION											
SHEET NUMBER: C-108											

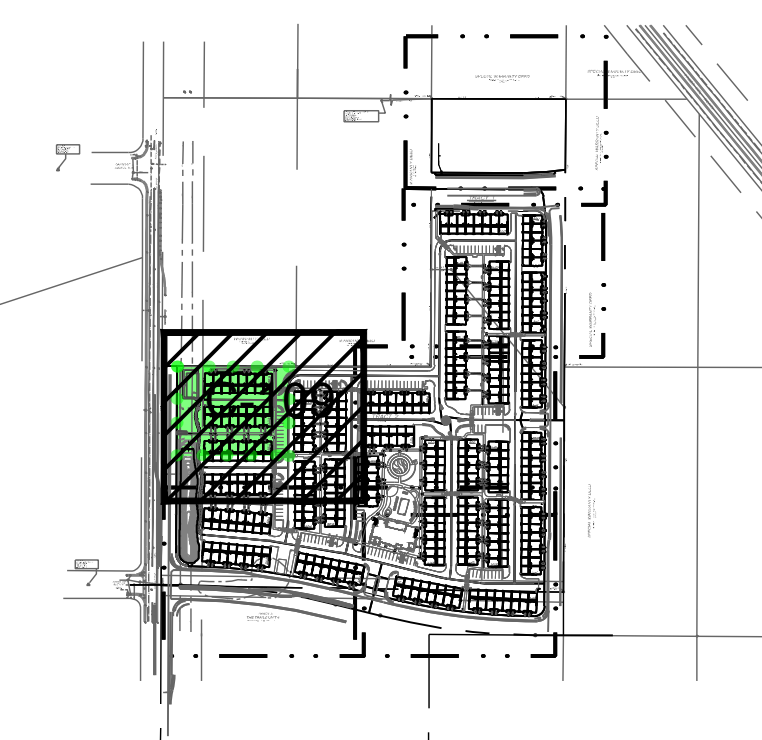
# WARRANTY DEED

January 12, 2001  
Book A14, Pg. 2769

# WARRANTY

February 26, 2007  
Book A133, Pg. 563

SHEET C-110



KEY MAP SCALE: NTS

- LEGEND**
- GRADING LIMITS
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - MATCHLINE
  - SLOPE ARROW
  - SIDEWALK CULVERT

### SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
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- FG 20.00 FINISHED GROUND
- BS 20.00 BOTTOM STEP
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### KEYED NOTES

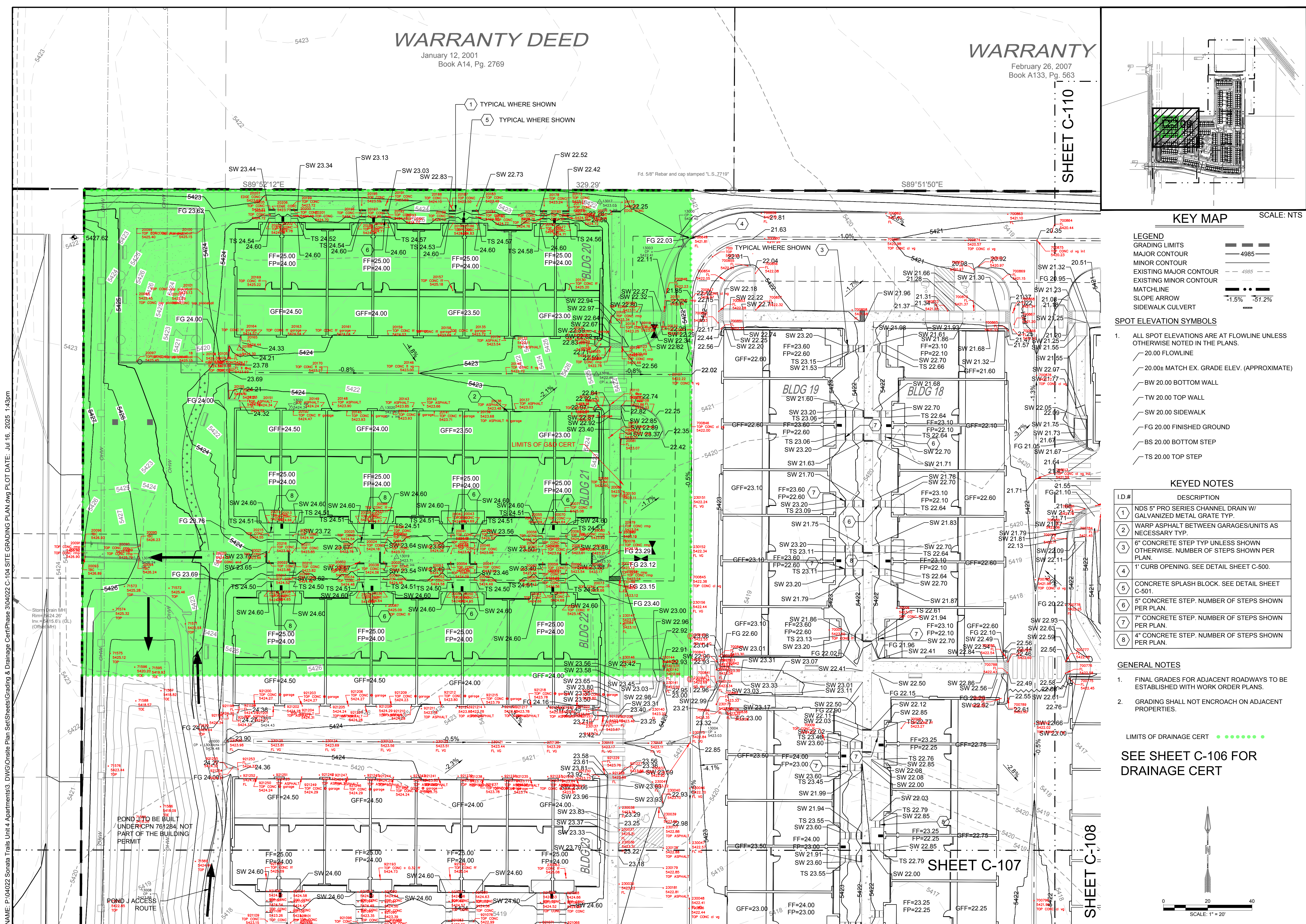
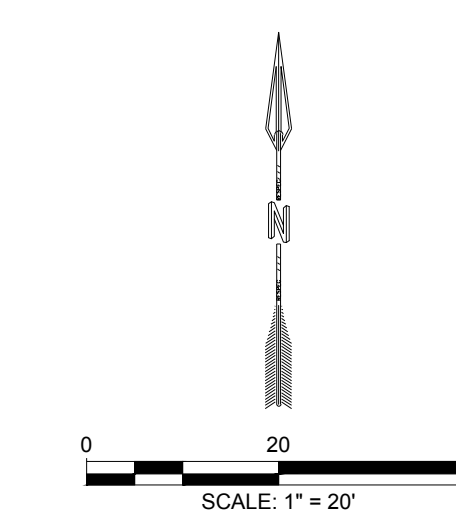
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### GENERAL NOTES

- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
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LIMITS OF DRAINAGE CERT

SEE SHEET C-106 FOR DRAINAGE CERT



NAME: P:\04022 Sonata Trails Unit 4 Apartments3 - DWG\Onsite Plan Set\Sheets\Grading & Drainage\CentPhase 3\04022 C-104 SITE GRADING PLAN.dwg PLOT DATE: Jul 16, 2025 1:43pm

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DESIGNED BY: BE  
DRAWN BY: BE  
CHECKED BY: SG  
DATE: 6.03.2021

**RESPEC**  
COMMUNITY DESIGN SOLUTIONS  
5971 JEFFERSON STREET, SUITE 101  
DENVER, CO 80231  
WWW.RESPEC.COM PHONE: (505)553-9191

STAMP

**JEREMY W. SHELL**  
NEW MEXICO  
26341  
PROFESSIONAL ENGINEER  
6/03/2021

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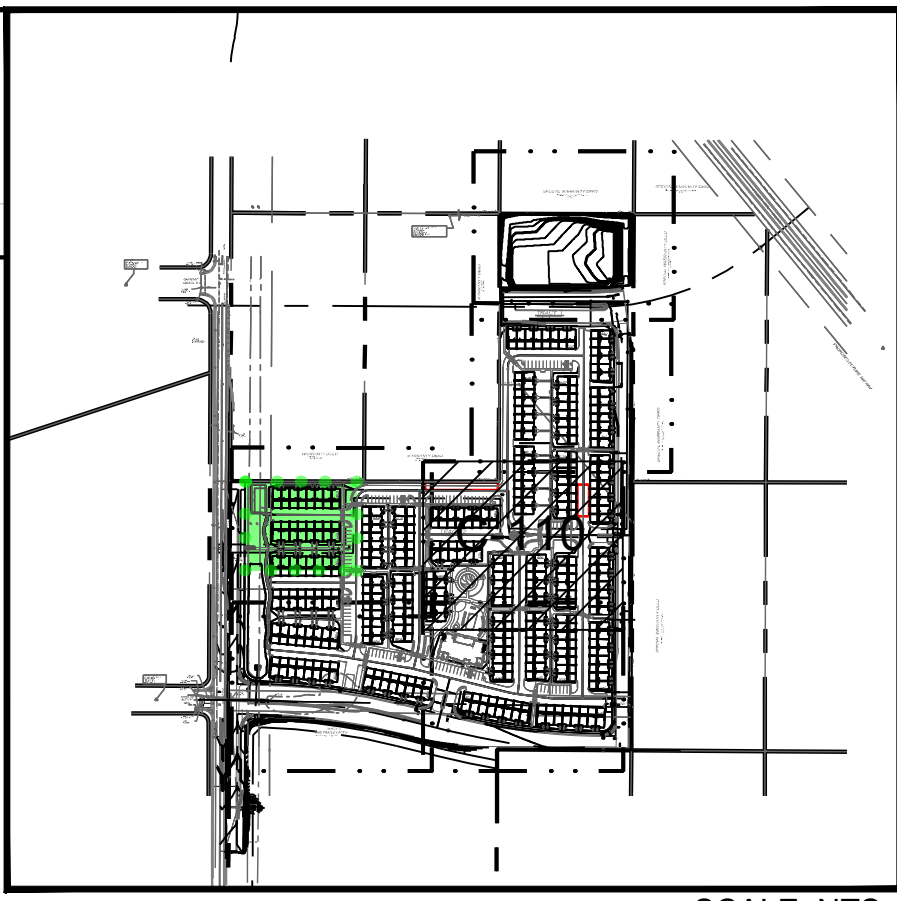
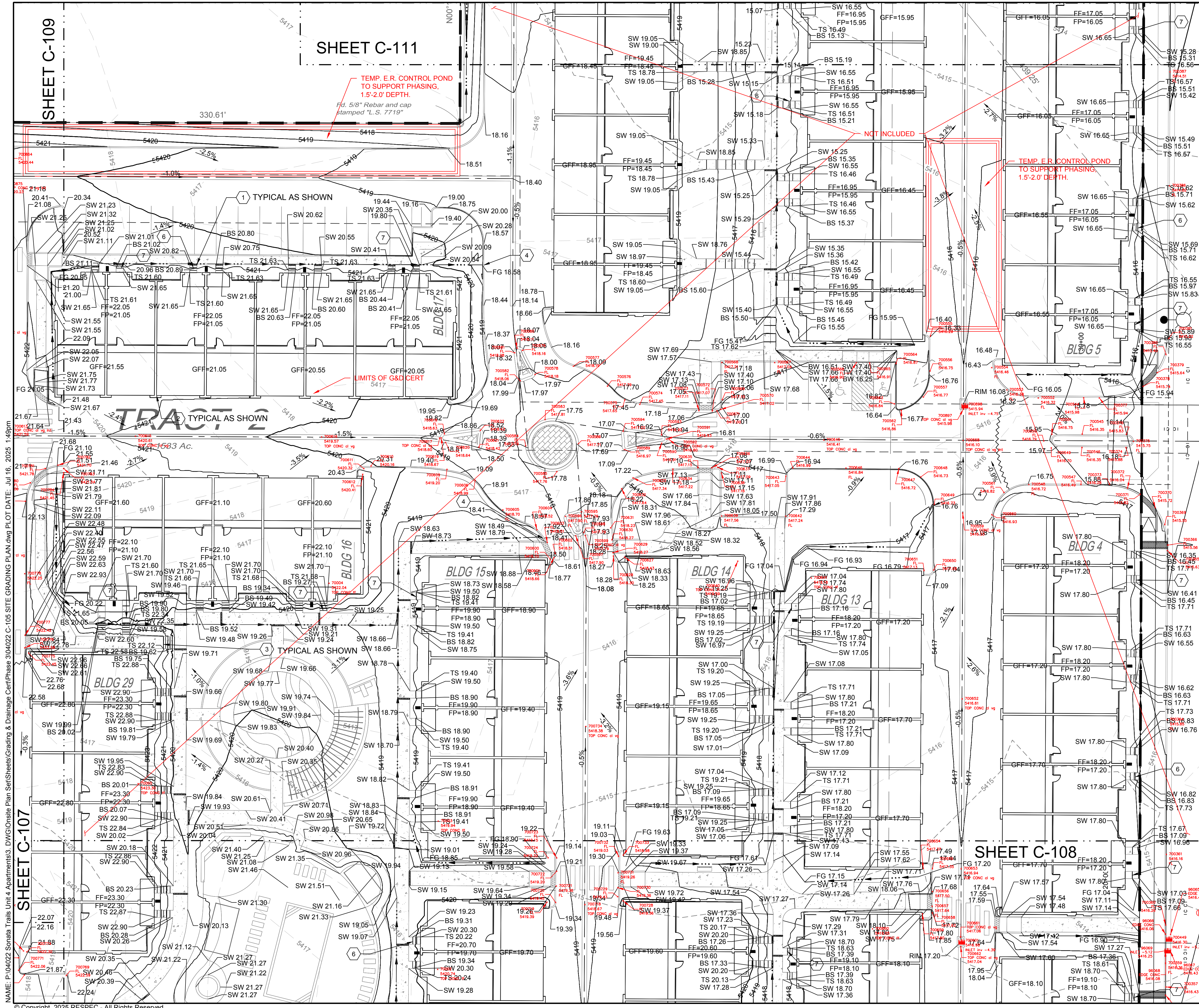
**nm811**  
Know what's Below. Call before you dig.

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: SITE GRADING PLAN

SHEET NUMBER: CONSTRUCTION

C-109



- LEGEND**
- GRADING LIMITS
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - MAPLINE
  - SLOPE ARROW
  - SIDEWALK CULVERT
- SPOT ELEVATION SYMBOLS**
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    - FG 20.00 FINISHED GROUND
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- KEYED NOTES**
- | I.D.# | DESCRIPTION  |
|-------|--|
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| 2     | WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.                         |
| 3     | 6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN. |
| 4     | 1" CURB OPENING. SEE DETAIL SHEET C-500.                                     |
| 5     | CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.                               |
| 6     | 5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.                            |
| 7     | 7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.                            |
| 8     | 4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.                            |

- GENERAL NOTES**
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  2. GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.

LIMITS OF DRAINAGE CERT

**SEE SHEET C-106 FOR DRAINAGE CERT**

SHEET C-109  
 SHEET C-107  
 NAME: P:\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\Grading & Drainage\CentPhase 3\04022 C-105 SITE GRADING PLAN.dwg PLOT DATE: Jul 16, 2025 1:49pm  
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REVISION

DESIGNED BY: BE  
 DRAWN BY: BE  
 CHECKED BY: SG  
 DATE: 6.03.2021

RESPEC  
 COMMUNITY DESIGN SOLUTIONS  
 5971 JEFFERSON STREET, SUITE 101  
 SAN ANTONIO, TEXAS 78205  
 WWW.RESPEC.COM PHONE: (505)553-9191

STAMP

JEREMY W. SHELL  
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 6/03/2021

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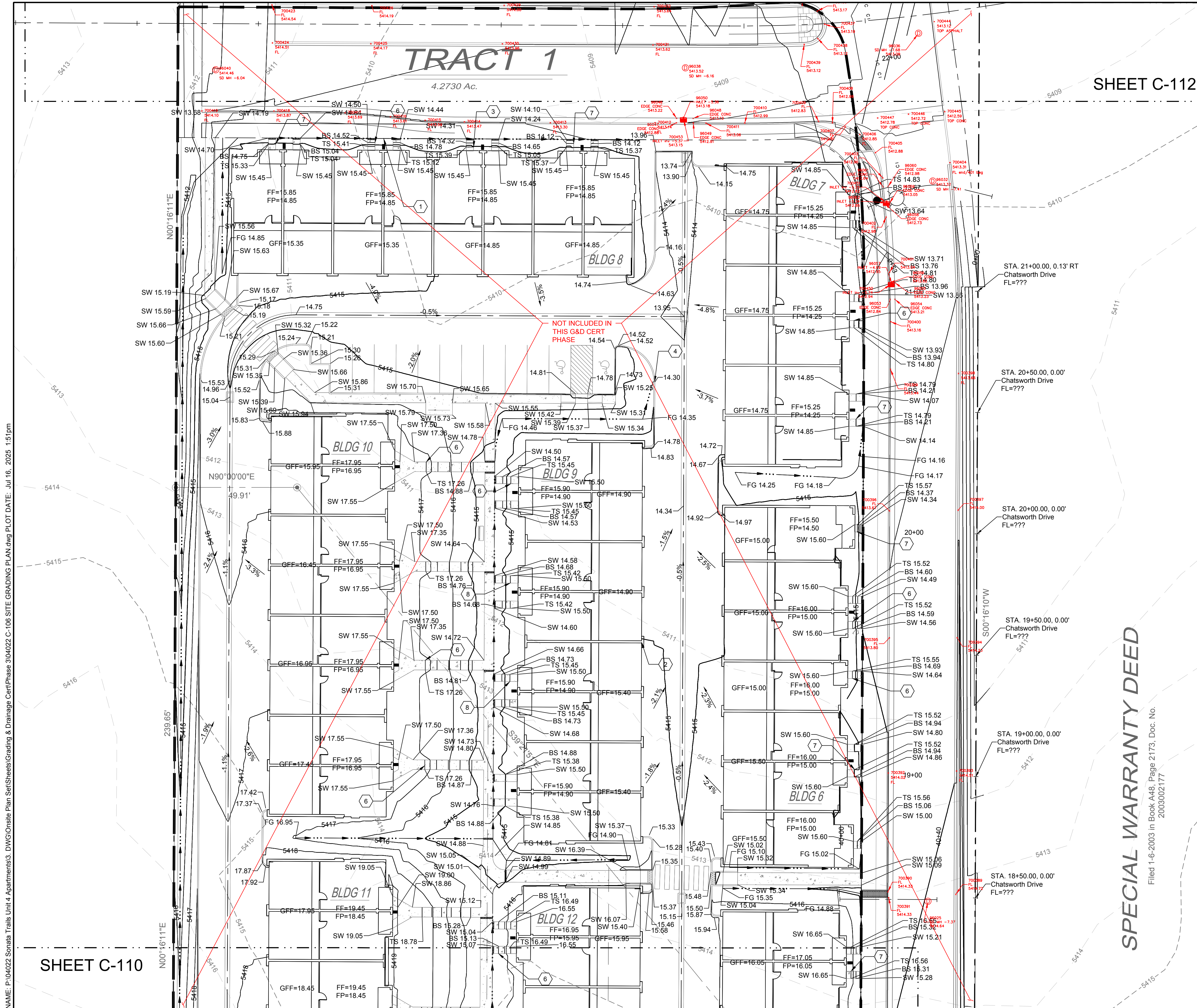
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 Call before you dig.

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

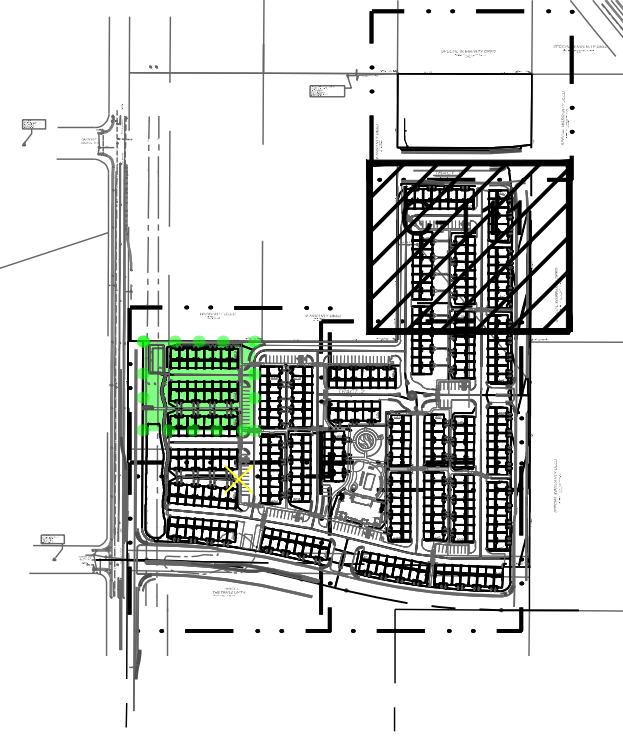
SHEET TITLE: SITE GRADING PLAN

SUBMITTED FOR: CONSTRUCTION

SHEET NUMBER: C-110



SHEET C-112



KEY MAP SCALE: NTS

- LEGEND**
- GRADING LIMITS ———
  - MAJOR CONTOUR ——— 4985
  - MINOR CONTOUR ———
  - EXISTING MAJOR CONTOUR - - - - - 4985
  - EXISTING MINOR CONTOUR - - - - -
  - SLOPE ARROW ———
  - SIDEWALK CULVERT ———

- SPOT ELEVATION SYMBOLS**
1. ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
  - 20.00 FLOWLINE
  - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
  - BW 20.00 BOTTOM WALL
  - TW 20.00 TOP WALL
  - SW 20.00 SIDEWALK
  - FG 20.00 FINISHED GROUND
  - BS 20.00 BOTTOM STEP
  - TS 20.00 TOP STEP

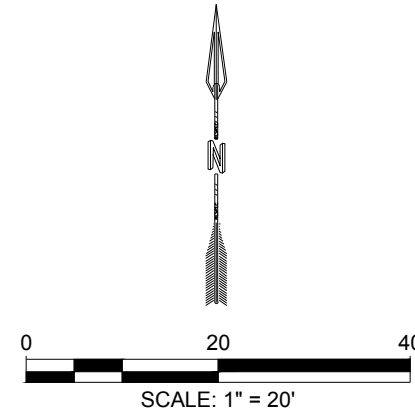
**KEYED NOTES**

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.

- GENERAL NOTES**
1. FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
  2. GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.

LIMITS OF DRAINAGE CERT ●●●●●

SEE SHEET C-106 FOR DRAINAGE CERTIFICATION



SPECIAL WARRANTY DEED

Filed 1-6-2003 in Book A48, Page 2173, Doc. No. 2003002177

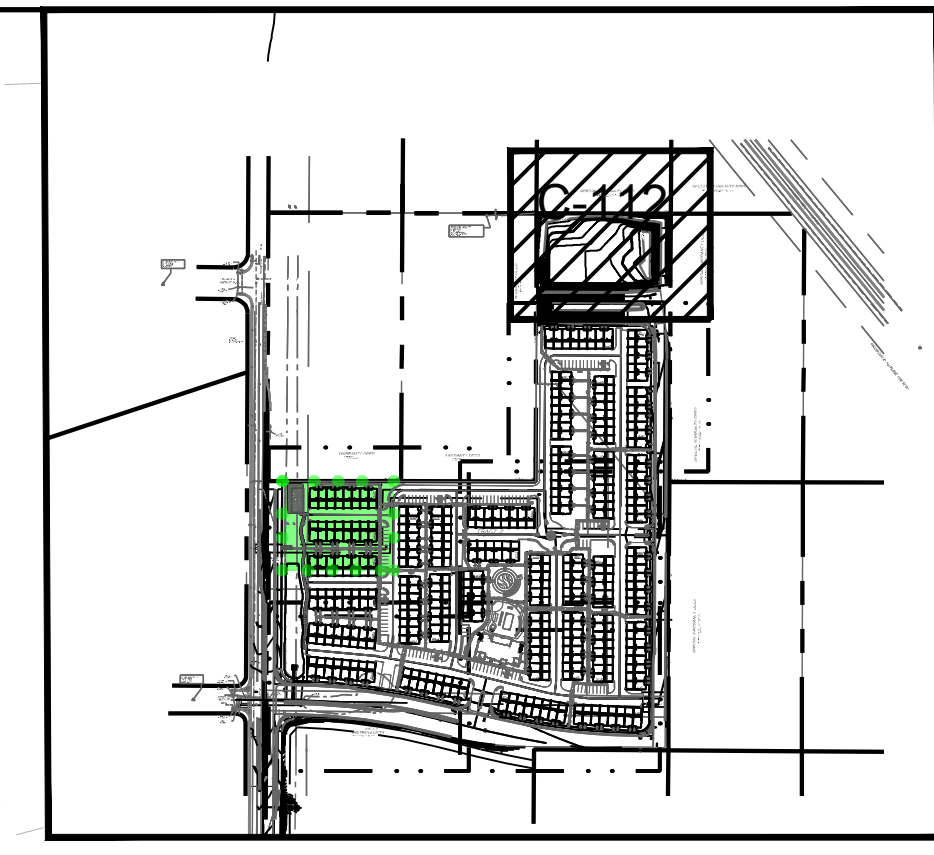
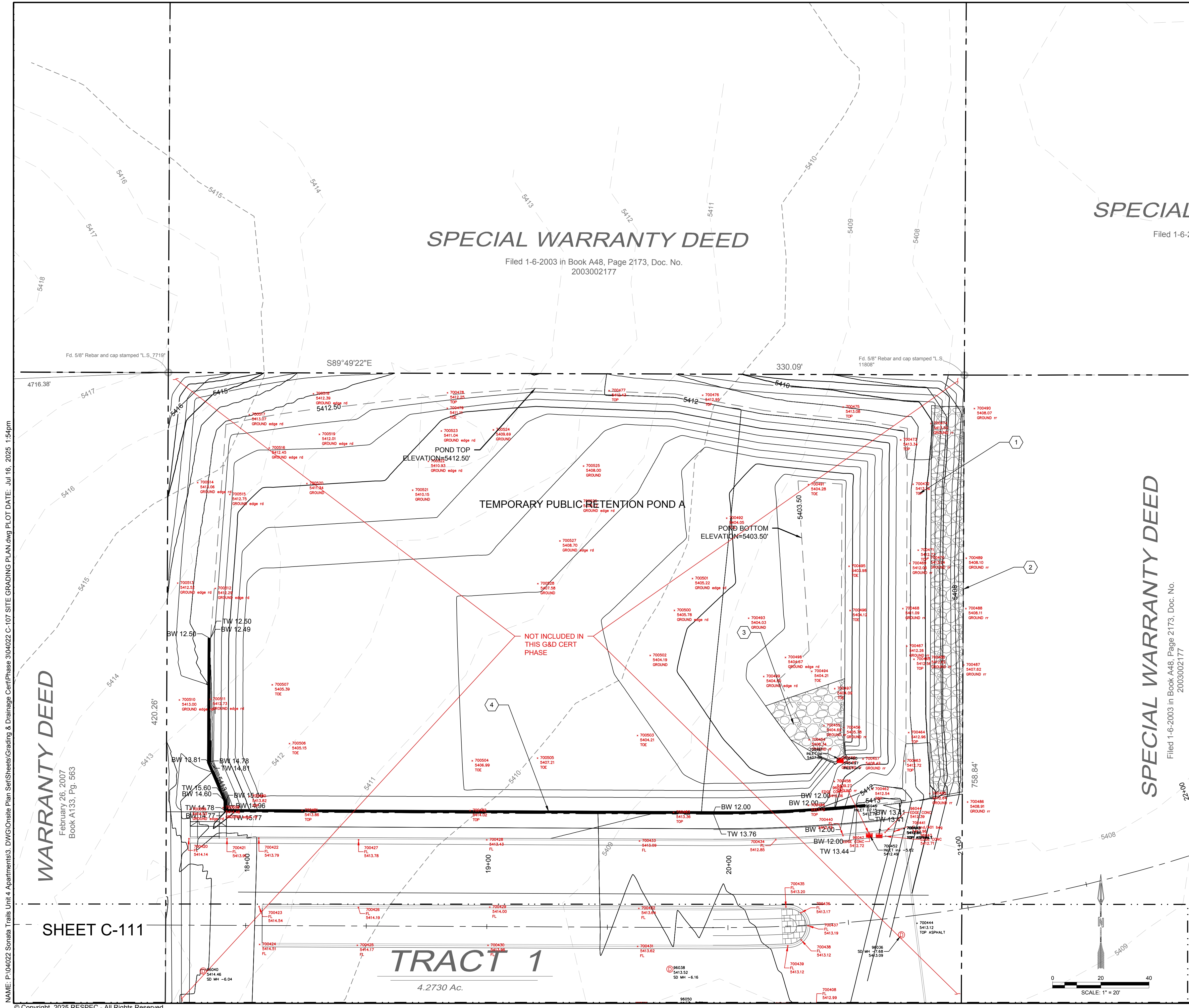
NAME: P:\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\Grading & Drainage\CertPhase 3\04022 C-106 SITE GRADING PLAN.dwg PLOT DATE: Jul 16, 2025 1:51pm

SHEET C-110

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<p>DESIGNED BY: RESPEC</p> <p>DRAWN BY: BE</p> <p>CHECKED BY: SG</p> <p>DATE: 6.03.2021</p> <p>COMMUNITY DESIGN SOLUTIONS</p> <p>5971 JEFFERSON STREET, SUITE 101</p> <p>WWW.RESPEC.COM PHONE: (505)253-9191</p>	<p>REVISION</p>
<p>PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS</p>	
<p>SHEET TITLE: SITE GRADING PLAN</p>	
<p>CONSTRUCTION</p>	
<p>SHEET NUMBER: C-111</p>	





**LEGEND**  
 GRADING LIMITS: ---  
 MAJOR CONTOUR: ---  
 MINOR CONTOUR: ---  
 EXISTING MAJOR CONTOUR: ---  
 EXISTING MINOR CONTOUR: ---  
 MATCHLINE: ---  
 SLOPE ARROW: -1.5%  
 SIDEWALK CULVERT: -51.2%  
 SPOT ELEVATION SYMBOLS: ---

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
- 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- BW 20.00 BOTTOM WALL
- TW 20.00 TOP WALL
- SW 20.00 SIDEWALK
- FG 20.00 FINISHED GROUND
- BS 20.00 BOTTOM STEP
- TS 20.00 TOP STEP

**KEYED NOTES**

I.D.#	DESCRIPTION
1	1" OVERFLOW WEIR. TOP OF POND ELEVATION = 5412.50'. TOP OF WEIR ELEVATION = 5411.50'.
2	RIP RAP D50=8" DOWNSTREAM OF OVERFLOW WEIR.
3	RIP RAP D50=8" POND ROUNDOFF.
4	CMU RETAINING WALL. RETAINING WALL HEIGHT VARIES FROM 0'-6". SEE SHEET C-501 FOR DETAIL.

**RIPRAP NOTES:**  
 ALL RIP-RAP SHALL CONSIST OF 9" OF RIP-RAP OVER 8" OF FILTER MATERIAL.  
 RIP-RAP SHALL CONSIST OF CRUSHED ROCK MEETING THE FOLLOWING GRADATION, OR ENGINEER APPROVED EQUIVALENT.

MAX. DIMENSION	% SMALLER
12"	100
9"	50-60
6"	35-45
3"	10

**GRANULAR BASE FILTER MATERIAL**  
 FILTER MATERIAL SHALL CONSIST OF CRUSHED BASALT ROCK MEETING THE FOLLOWING GRADATION, OR ENGINEER APPROVED EQUIVALENT.

U.S. STANDARD SIEVE SIZE	PASSING BY WEIGHT
1"	100
3/4"	45-65
#4	25-45
#40	0-20
#200	0-5

**GENERAL NOTES**

- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
- GRADING SHALL NOT ENCRONCH ON ADJACENT PROPERTIES.

**LIMITS OF DRAINAGE CERT** ●●●●●●●●

**SEE SHEET C-106 FOR DRAINAGE CERT**

**DESIGNED BY** RESPEC  
**DRAWN BY** BE  
**CHECKED BY** SG  
**DATE** 6.03.2021

**RESPEC**  
 COMMUNITY DESIGN SOLUTIONS  
 5971 JEFFERSON STREET, SUITE 101  
 NEW MEXICO 87111  
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**STAMP**

**JEREMY W. SHELL**  
 NEW MEXICO  
 26341  
 PROFESSIONAL ENGINEER  
 6/03/2021

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED

**nm811**  
 Know what's Below. Call before you dig.

**PROJECT NAME:** SONATA TRAILS UNIT 4 APARTMENTS

**SHEET TITLE:** SITE GRADING PLAN

**CONSTRUCTION**

**SHEET NUMBER:** C-112