

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

February 11, 2026

John Stapleton, P.E.  
Community Design Solutions  
9384 Valley View Dr. NW  
Albuquerque, NM 87114

**RE: Sonta Trails Unit 4 Apartments – Phase 4 - (Bldg 18 and 19)**  
**6601 Tree Line Ave NW**  
**Permanent C.O. – Accepted**  
**Engineer's Certification Date: 02/06/2026**  
**Engineer's Stamp Date: 6/03/2021**  
**Hydrology File: C10D001A**

Dear Mr. Stapleton:

PO Box 1293

Based on the Certification for Bldgs. 18 and 19 received 2/11/2026 and site visit on 02/11/2026, this letter serves as an approval of the Engineering Certification from the Hydrology Section for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, please contact me at 505-924-3314 or [amontoya@cabq.gov](mailto:amontoya@cabq.gov).

NM 87103

Sincerely,

www.cabq.gov

Anthony Montoya, Jr., P.E. CFM  
Senior Engineer,  
Planning Department, Development Review Services

NAME: P:\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\Grading & Drainage Cert\Phase 4\04022 Exhibit 2 Drainage Proposed Conditions.dwg PLOT DATE: Feb 06, 2026 12:45pm

NOTE:  
 RUNOFF FROM PRIVATE PROPERTY THAT DISCHARGES DIRECTLY INTO THE RIGHT-OF-WAY  
 WILL BE EITHER SIDEWALK CULVERTS OR STORM DRAIN.

- PHASE 1 - APPROVED 11/07/2023
- PHASE 2 - APPROVED 05/20/2025
- PHASE 3 - APPROVED 07/18/2025

**PHASE 4: DRAINAGE CERTIFICATION**

I, SHELDON E. GREER, NMPE, OF THE FIRM CDS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 12/01/2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SHELDON E. GREER, NMPE, OF THE FIRM CDS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON FEBRUARY 5, 2026 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THIS CERTIFICATION WILL COVER PHASE 4 OF THIS PROJECT. PHASE 1 - 3 ARE COMPLETE AND ADDITIONAL PHASING WILL BE ADDRESSED IN FUTURE APPLICATIONS. GRADING FOR THE ENTIRE SITE HAS BEEN COMPLETED. MORE INFORMATION IS PROVIDED IN THE COVER LETTER.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

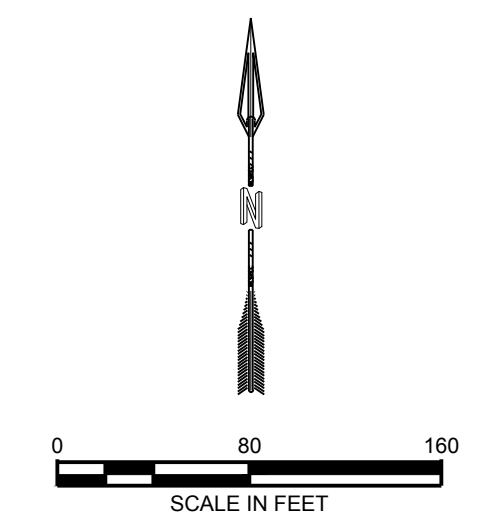
*[Signature]*  
 SHELDON E. GREER, P.E. 17154



02/06/2026  
 DATE

**ADDITIONAL PHASING  
 LEGEND**

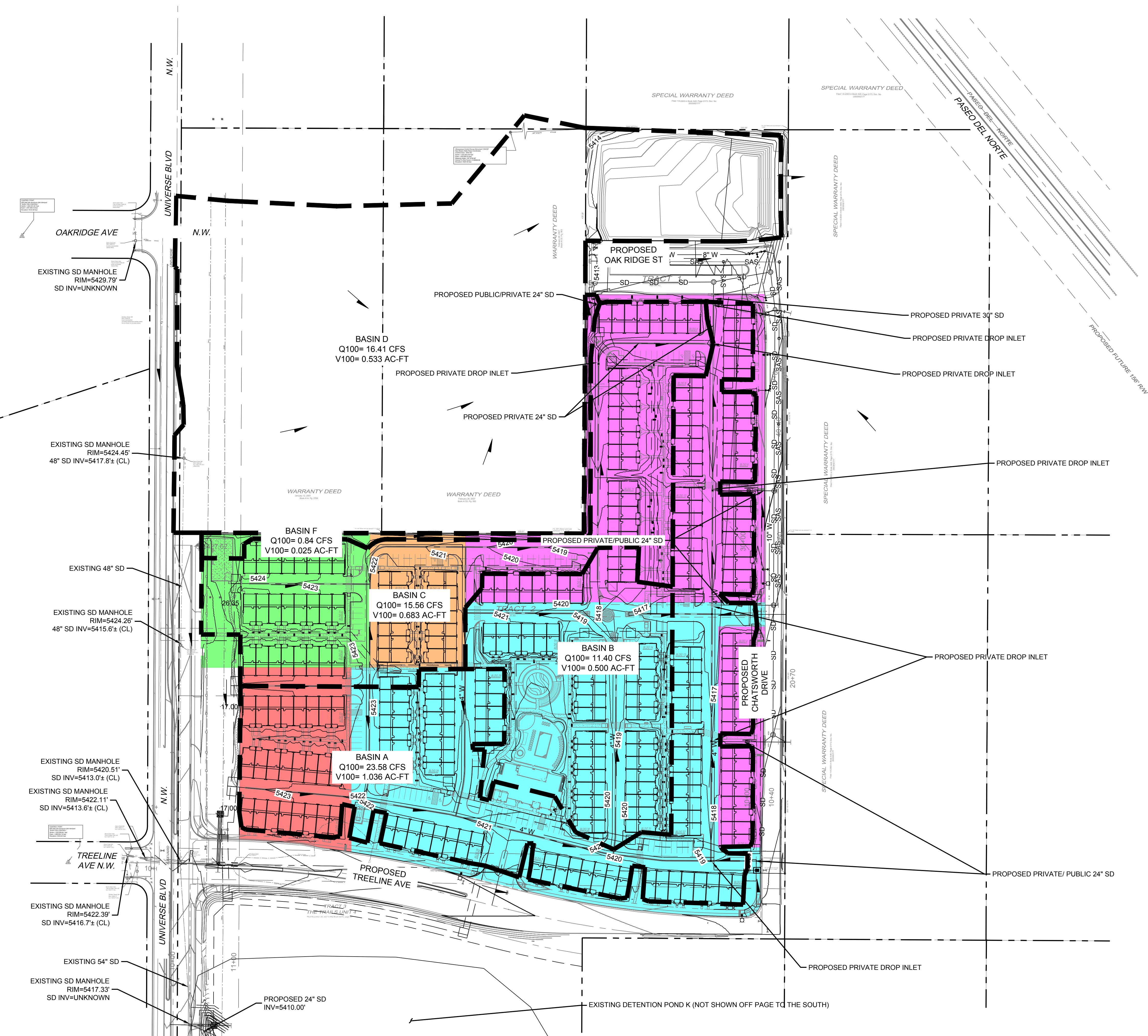
- PROPERTY BOUNDARY
- BASIN BOUNDARY
- EXISTING STORM DRAIN
- FLOW ARROW
- EXISTING STORM DRAIN MANHOLE
- EXISTING STORM DRAIN INLET
- PROPOSED STORM DRAIN MANHOLE
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN
- CONCEPTUAL FUTURE STORM DRAIN

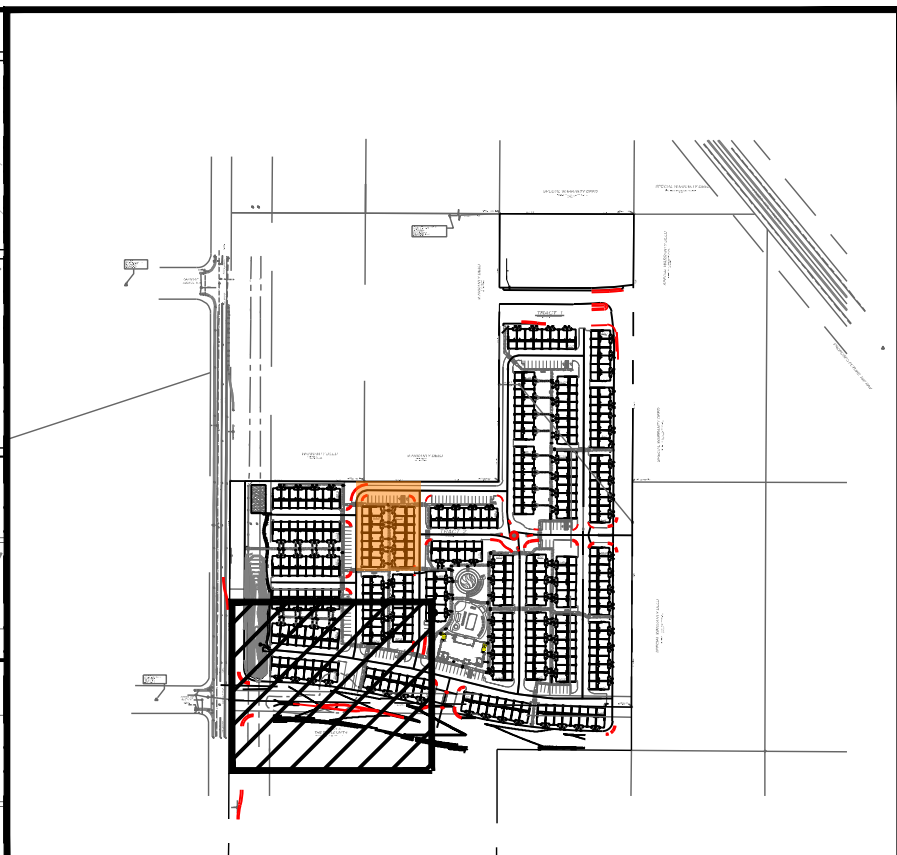
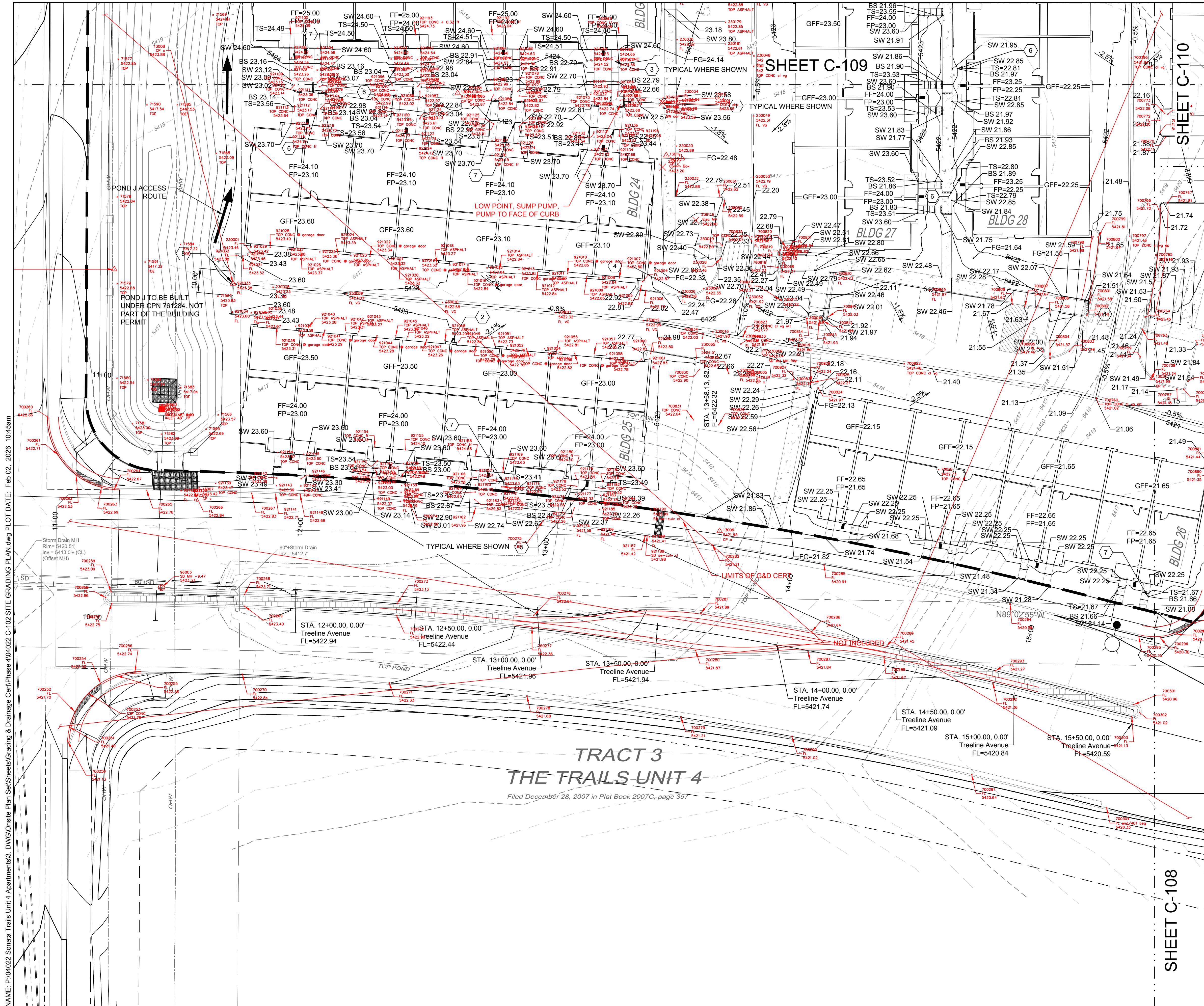


**EXHIBIT 2 PROPOSED BASINS**



**RESPEC**  
 COMMUNITY DESIGN SOLUTIONS  
 5971 JEFFERSON STREET SUITE 101  
 ALBUQUERQUE, NEW MEXICO 87109  
 WWW.RESPEC.COM PHONE:  
 (505)253-9718





**LEGEND**

GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	---
SIDEWALK CULVERT	---

**SPOT ELEVATION SYMBOLS**

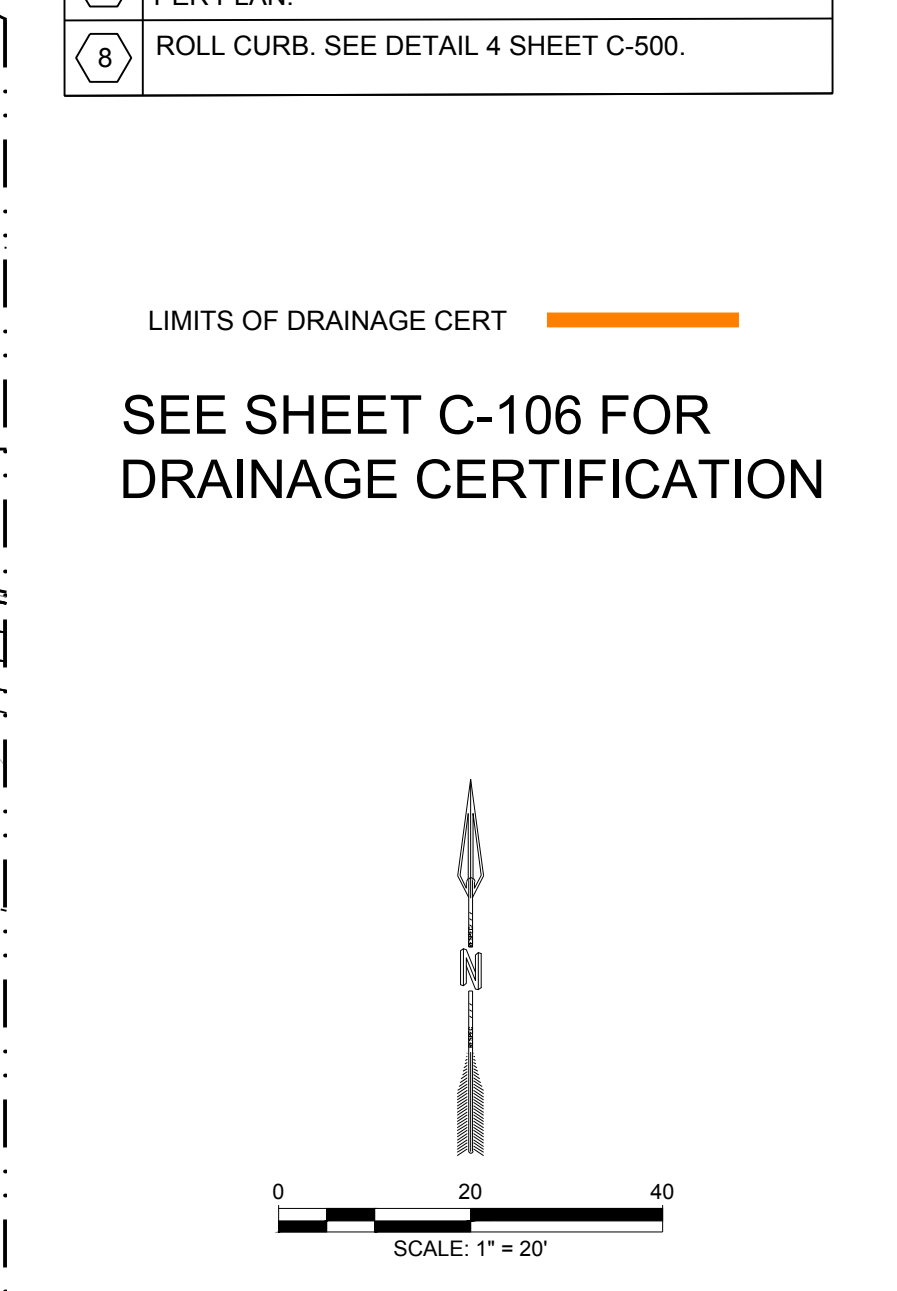
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
- 20.00 FLOWLINE
- 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- BW 20.00 BOTTOM WALL
- TW 20.00 TOP WALL
- SW 20.00 SIDEWALK
- FG 20.00 FINISHED GROUND
- BS 20.00 BOTTOM STEP
- TS 20.00 TOP STEP

**KEYED NOTES**

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	ROLL CURB. SEE DETAIL 4 SHEET C-500.

LIMITS OF DRAINAGE CERT

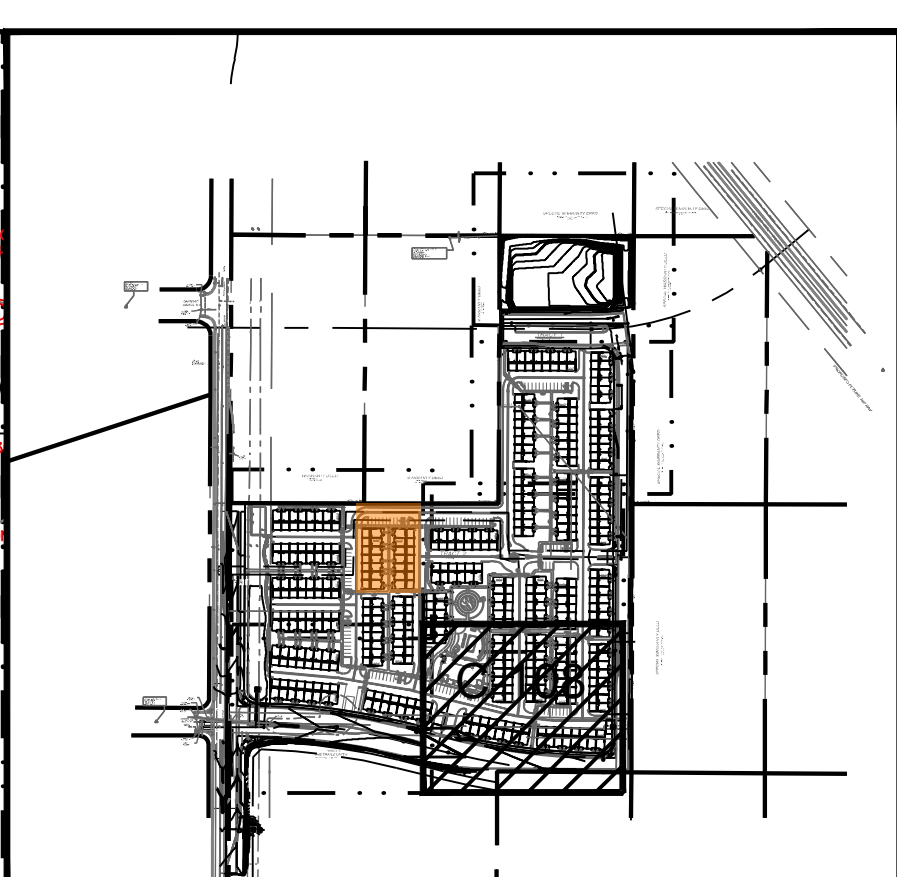
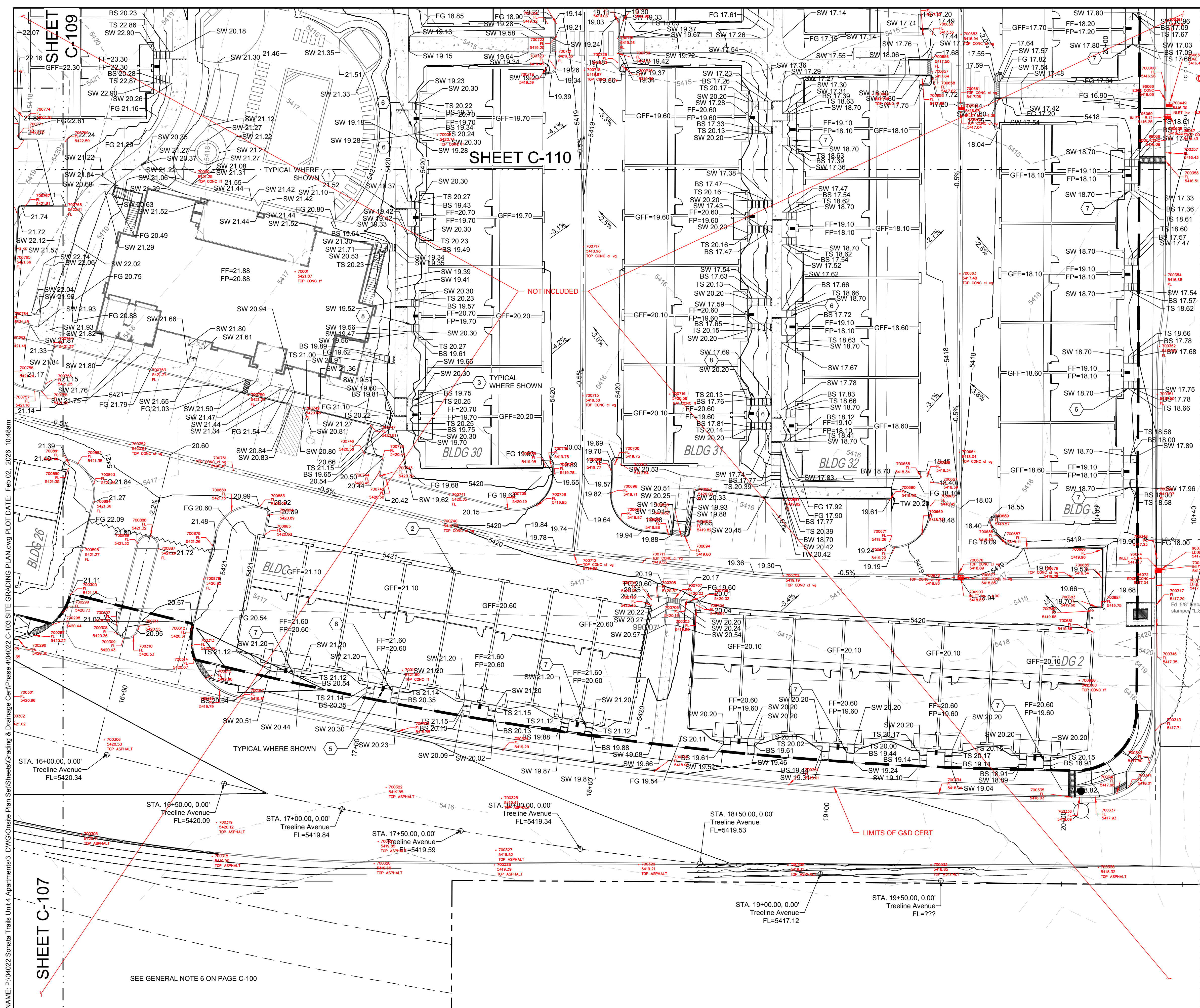
**SEE SHEET C-106 FOR DRAINAGE CERTIFICATION**



NAME: P:\04022 Sonata Trails Unit 4 Apartments3.DWG\Site Plan Set\Sheets\Grading & Drainage\CentPhase 4\04022 C-102 SITE GRADING PLAN.dwg PLOT DATE: Feb 02, 2026 10:45am

© Copyright 2026 RESPEC - All Rights Reserved

DESIGNED BY: BE DRAWN BY: BE CHECKED BY: SG DATE: 6.03.2021	REVISION NO.   DATE   DESCRIPTION
<p>RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET, SUITE 101 JEFFERSON, NE 68002 WWW.RESPEC.COM PHONE: (505)253-9191</p>	
STAMP 	
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.	
<p>Know what's Below. Call before you dig.</p>	
PROJECT NAME: <b>SONATA TRAILS UNIT 4 APARTMENTS</b>	
SHEET TITLE: <b>SITE GRADING PLAN</b>	
SUBMITTED FOR: <b>CONSTRUCTION</b>	
SHEET NUMBER: <b>C-107</b>	



**LEGEND**

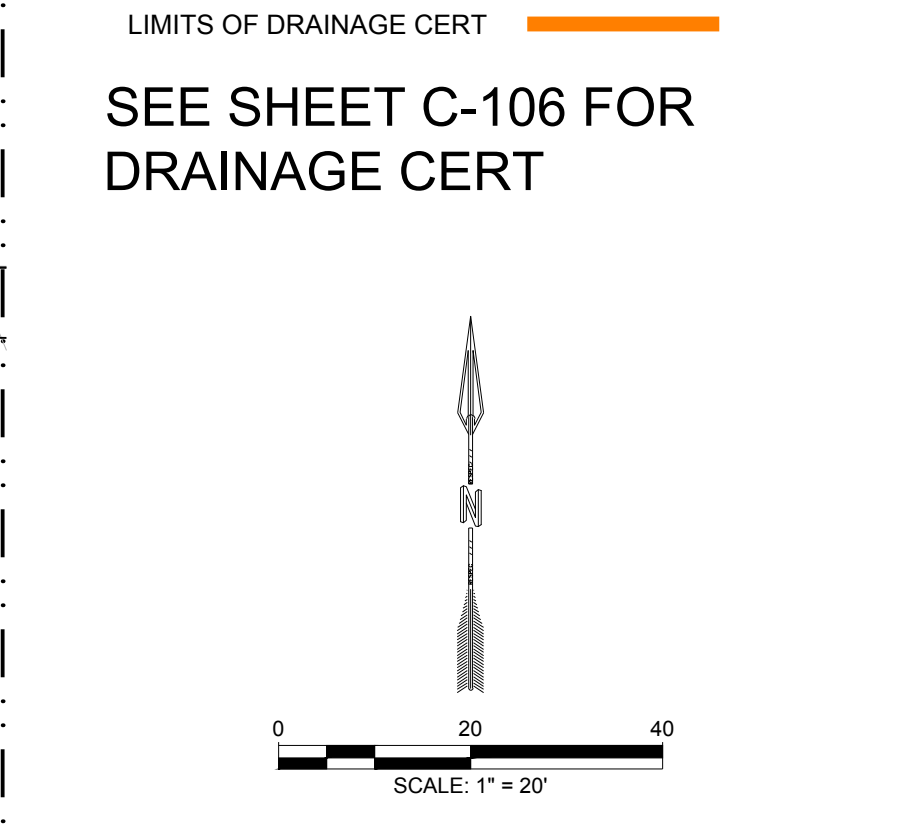
GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	---
SIDEWALK CULVERT	---

- 20.00 FLOWLINE
- 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
- BW 20.00 BOTTOM WALL
- TW 20.00 TOP WALL
- SW 20.00 SIDEWALK
- FG 20.00 FINISHED GROUND
- BS 20.00 BOTTOM STEP
- TS 20.00 TOP STEP

**KEYED NOTES**

I.D.#	DESCRIPTION
1	NDS 5" PRO SERIES CHANNEL DRAIN W/ GALVANIZED METAL GRATE TYP.
2	WARP ASPHALT BETWEEN GARAGES/UNITS AS NECESSARY TYP.
3	6" CONCRETE STEP TYP UNLESS SHOWN OTHERWISE. NUMBER OF STEPS SHOWN PER PLAN.
4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
6	5" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
7	7" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.
8	4" CONCRETE STEP. NUMBER OF STEPS SHOWN PER PLAN.

- GENERAL NOTES**
- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
  - GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.



DESIGNED BY: RESPEC	DRAWN BY: BE	CHECKED BY: SG	DATE: 6.03.2021
<p>RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET, SUITE 101 DENVER, CO 80231 WWW.RESPEC.COM PHONE: (303)553-9100</p>			
<p>STAMP: JEREMY W. SHELL NEW MEXICO 26341 PROFESSIONAL ENGINEER 6/03/2021</p>			
<p>THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED</p>			
<p>PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS</p>			
<p>SHEET TITLE: SITE GRADING PLAN</p>			
<p>SUBMITTED FOR: CONSTRUCTION</p>			
<p>SHEET NUMBER: C-108</p>			

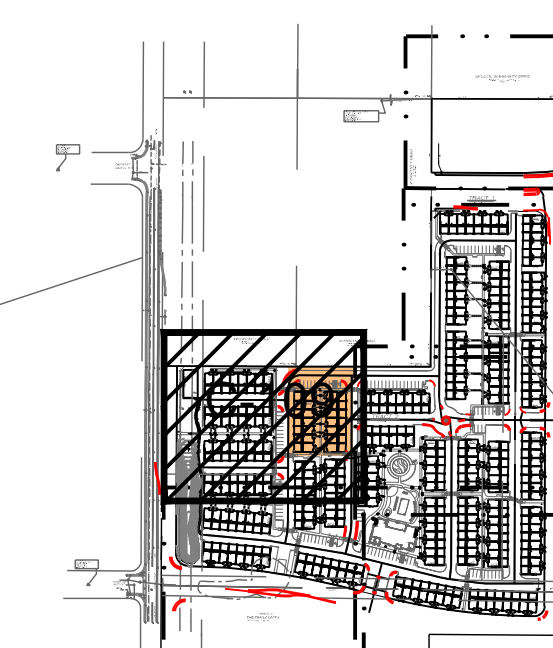
# WARRANTY DEED

January 12, 2001  
Book A14, Pg. 2769

# WARRANTY

February 26, 2007  
Book A133, Pg. 563

SHEET C-110



KEY MAP SCALE: N.T.S.

- LEGEND**
- GRADING LIMITS
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - MATCHLINE
  - SLOPE ARROW
  - SIDEWALK CULVERT

### SPOT ELEVATION SYMBOLS

- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
  - 20.00 FLOWLINE
  - 20.00± MATCH EX. GRADE ELEV. (APPROXIMATE)
  - BW 20.00 BOTTOM WALL
  - TW 20.00 TOP WALL
  - SW 20.00 SIDEWALK
  - FG 20.00 FINISHED GROUND
  - BS 20.00 BOTTOM STEP
  - TS 20.00 TOP STEP

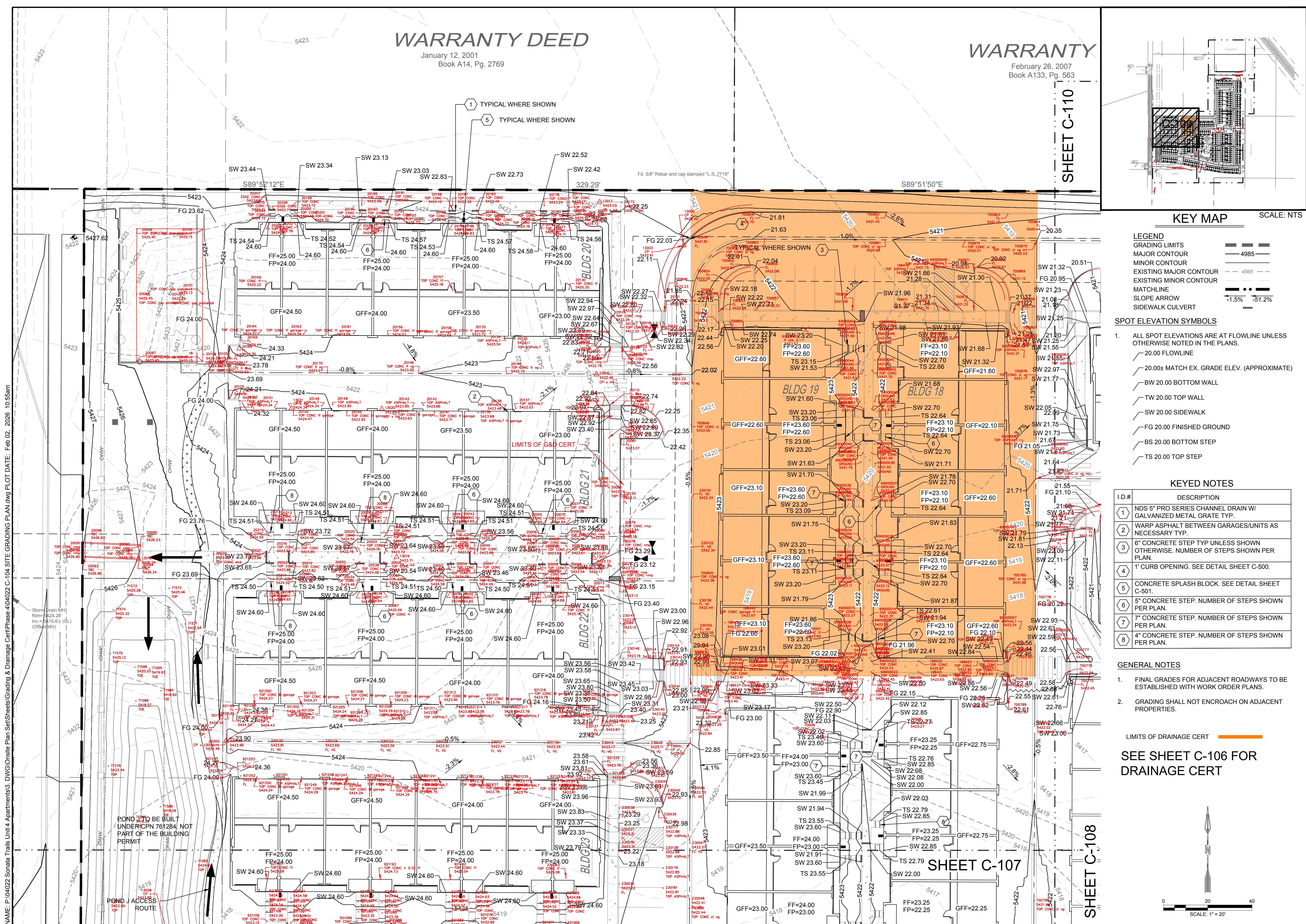
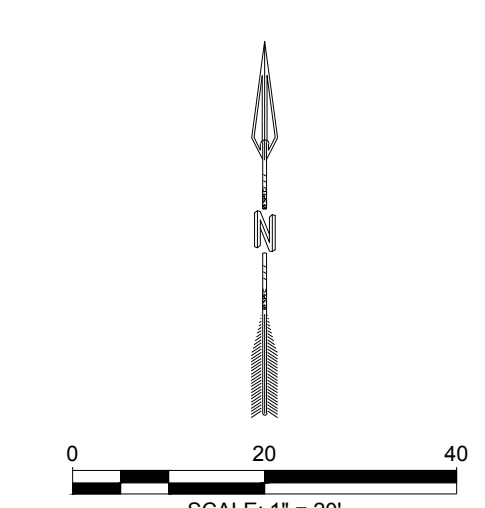
### KEYED NOTES

I.D.#	DESCRIPTION
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4	1" CURB OPENING. SEE DETAIL SHEET C-500.
5	CONCRETE SPLASH BLOCK. SEE DETAIL SHEET C-501.
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### GENERAL NOTES

- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
- GRADING SHALL NOT ENCROACH ON ADJACENT PROPERTIES.

LIMITS OF DRAINAGE CERT SEE SHEET C-106 FOR DRAINAGE CERT



NAME: P:\04022 Sonata Trails Unit 4 Apartments3 - DWG\Onsite Plan Set\Sheets\Grading & Drainage\Cert\Phase 4\04022 C-104 SITE GRADING PLAN.dwg PLOT DATE: Feb 02, 2026 10:55am

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DESIGNED BY: BE  
DRAWN BY: BE  
CHECKED BY: SG  
DATE: 6.03.2021

**RESPEC**  
COMMUNITY DESIGN SOLUTIONS  
5971 JEFFERSON STREET, SUITE 101  
DENVER, CO 80231  
WWW.RESPEC.COM PHONE: (303)553-9191

STAMP

**JEREMY W. SHELL**  
NEW MEXICO  
26341  
PROFESSIONAL ENGINEER  
6/03/2021

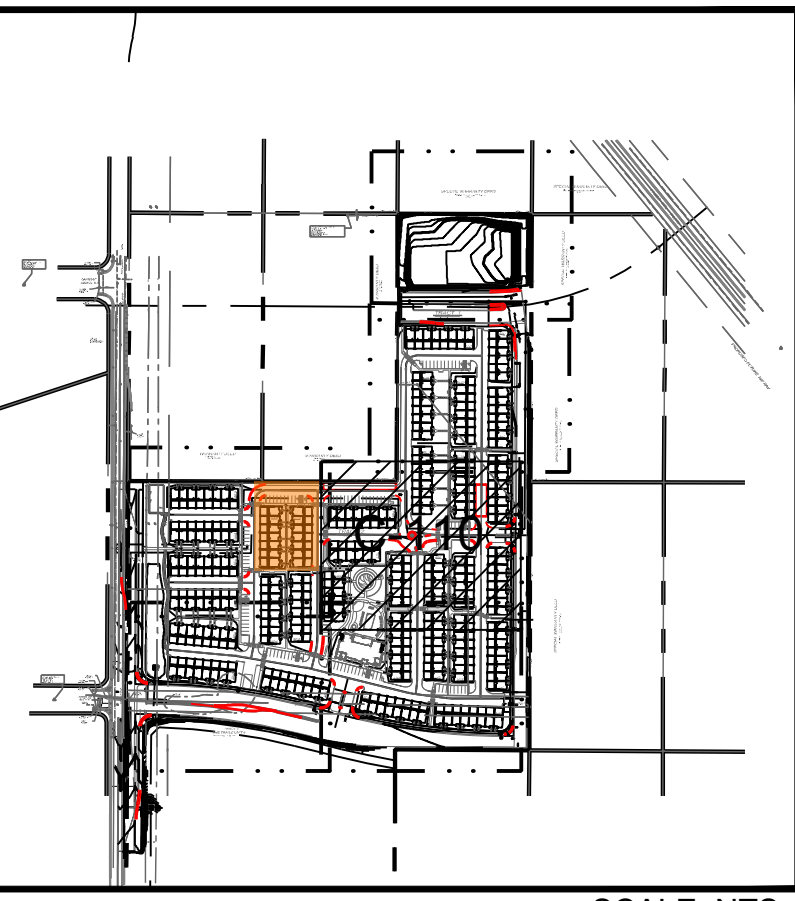
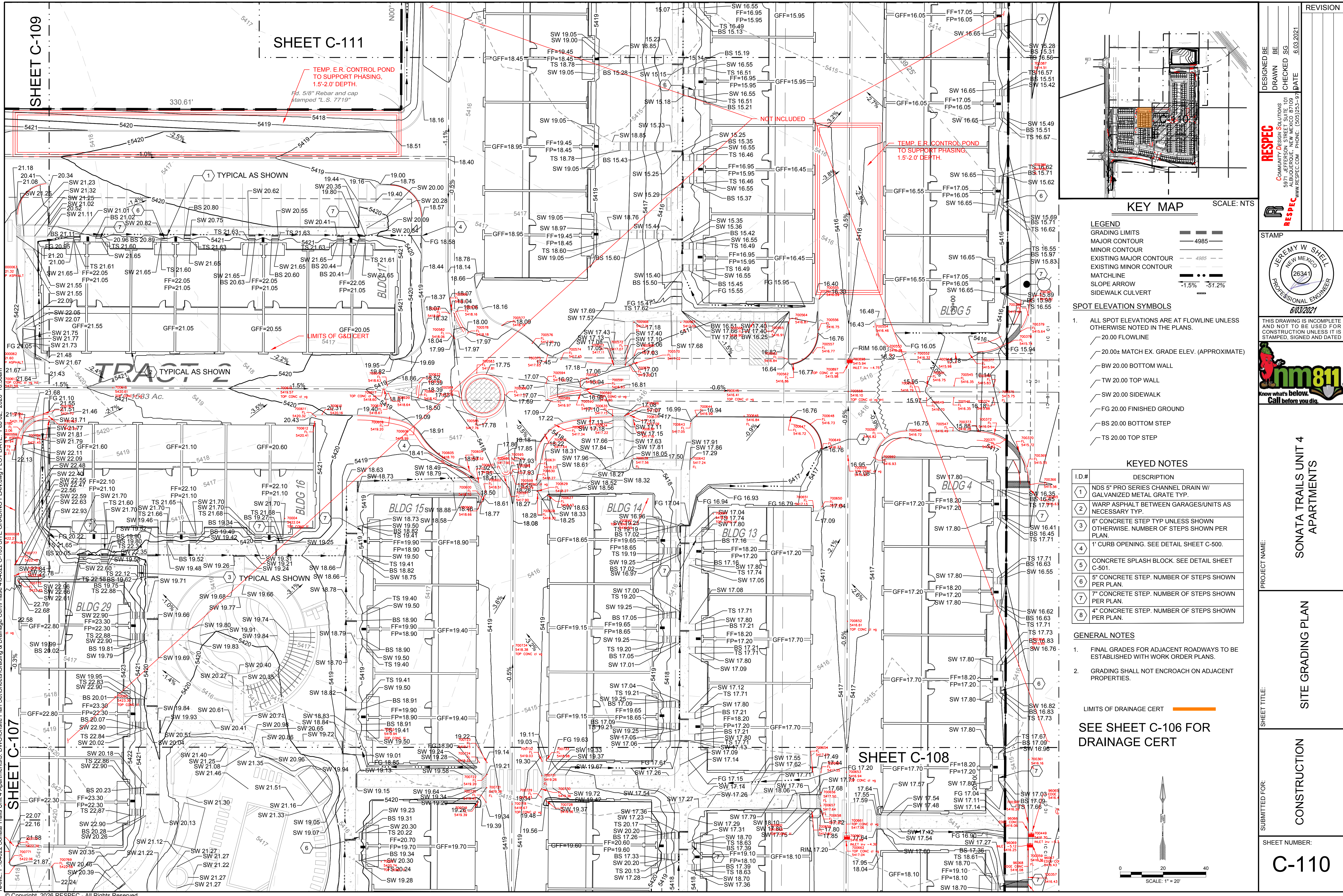
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**nm811**  
Know what's Below. Call before you dig.

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: CONSTRUCTION

SHEET NUMBER: C-109



**LEGEND**

GRADING LIMITS	---
MAJOR CONTOUR	---
MINOR CONTOUR	---
EXISTING MAJOR CONTOUR	---
EXISTING MINOR CONTOUR	---
MATCHLINE	---
SLOPE ARROW	---
SIDEWALK CULVERT	---

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**GENERAL NOTES**

- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
- GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.

LIMITS OF DRAINAGE CERT

**SEE SHEET C-106 FOR DRAINAGE CERT**

**REVISION**

NO.	DATE	DESCRIPTION

**DESIGNED BY:** BE  
**DRAWN BY:** BE  
**CHECKED BY:** SG  
**DATE:** 6.03.2021

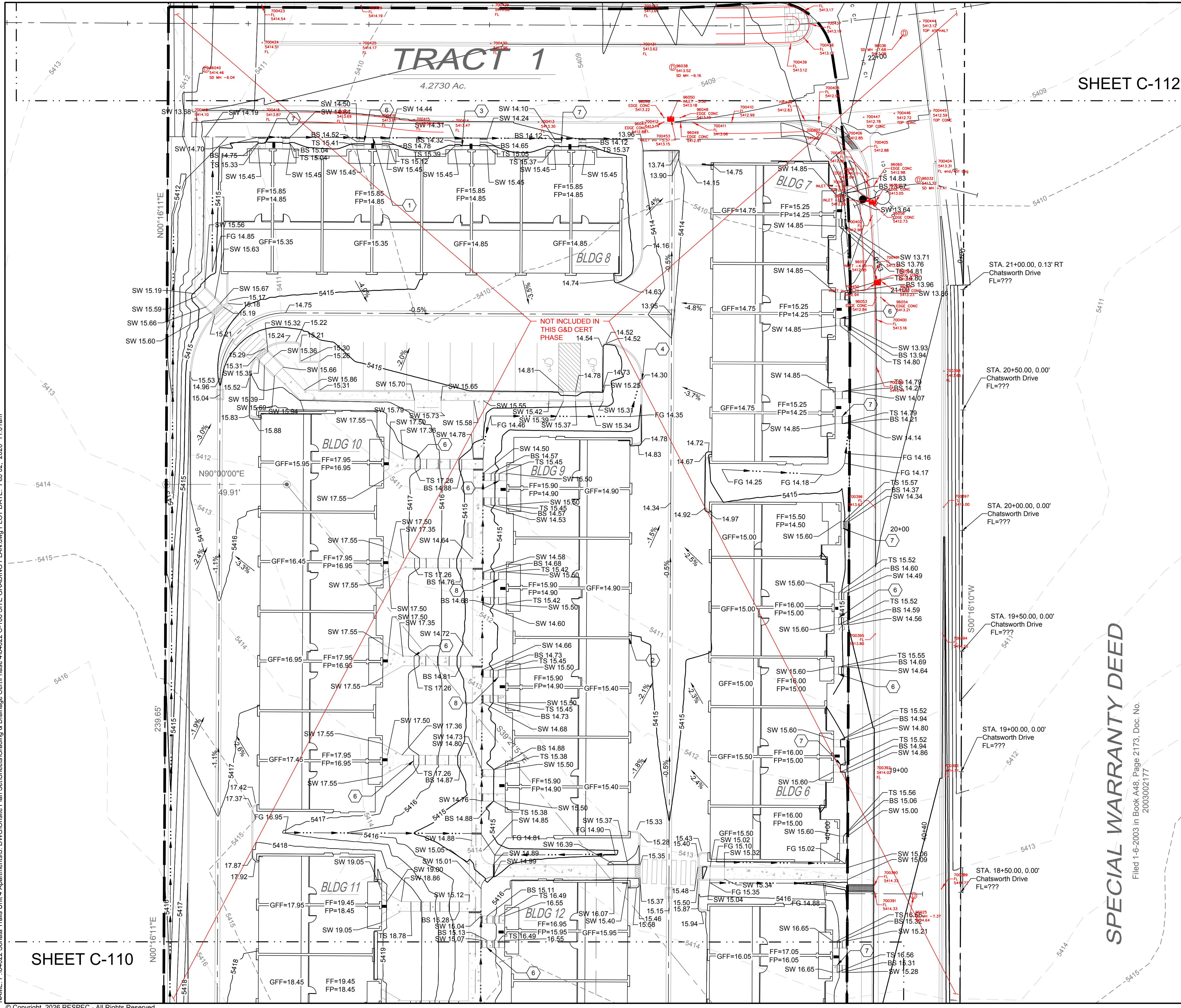
**PROJECT NAME:** SONATA TRAILS UNIT 4 APARTMENTS

**SHEET TITLE:** SITE GRADING PLAN

**SUBMITTED FOR:** CONSTRUCTION

**SHEET NUMBER:** C-110

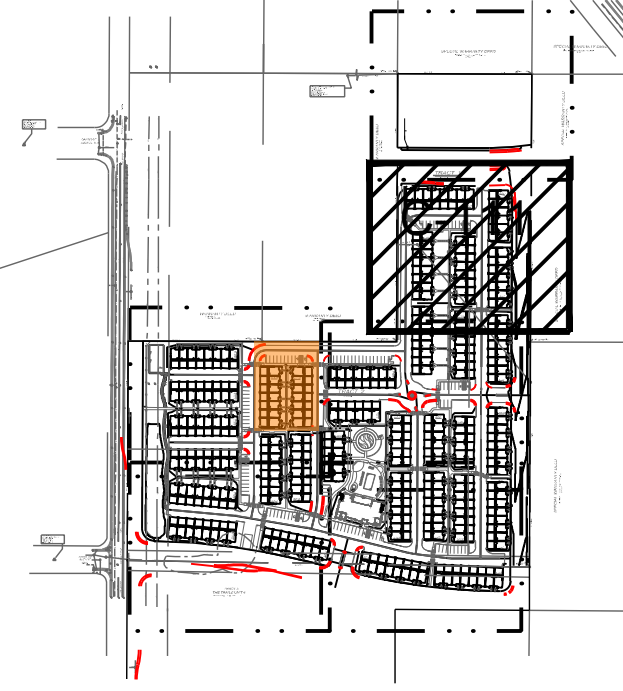
SHEET C-109  
 SHEET C-111  
 SHEET C-108  
 SHEET C-107  
 NAME: P:\04022 Sonata Trails Unit 4 Apartments3.DWG  
 DATE: Feb 02, 2026 10:56am  
 SHEETS: Grading & Drainage  
 SHEET: C-105 SITE GRADING PLAN.dwg  
 PLOT DATE: Feb 02, 2026 10:56am  
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SHEET C-112

# TRACT 1

4.2730 Ac.



KEY MAP SCALE: NTS

**LEGEND**

GRADING LIMITS	---
MAJOR CONTOUR	— 4985 —
MINOR CONTOUR	- - - 4985 - - -
EXISTING MAJOR CONTOUR	— 4985 —
EXISTING MINOR CONTOUR	- - - 4985 - - -
SLOPE ARROW	-1.5% -51.2%
SIDEWALK CULVERT	====

**SPOT ELEVATION SYMBOLS**

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- 20.00 FLOWLINE
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**KEYED NOTES**

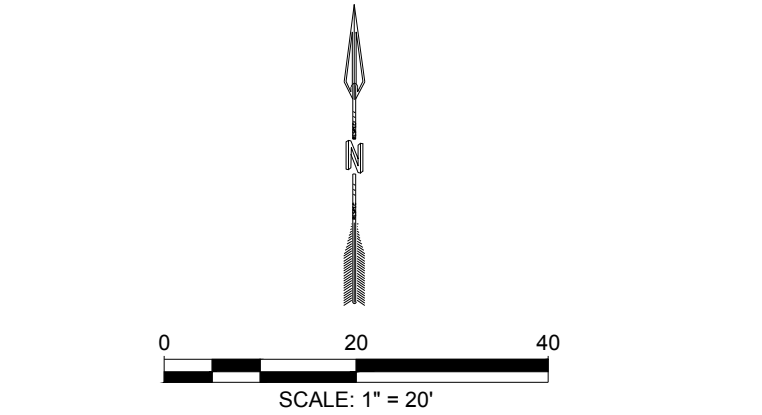
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**GENERAL NOTES**

- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
- GRADING SHALL NOT ENCRoACH ON ADJACENT PROPERTIES.

LIMITS OF DRAINAGE CERT

SEE SHEET C-106 FOR DRAINAGE CERTIFICATION



SHEET C-110

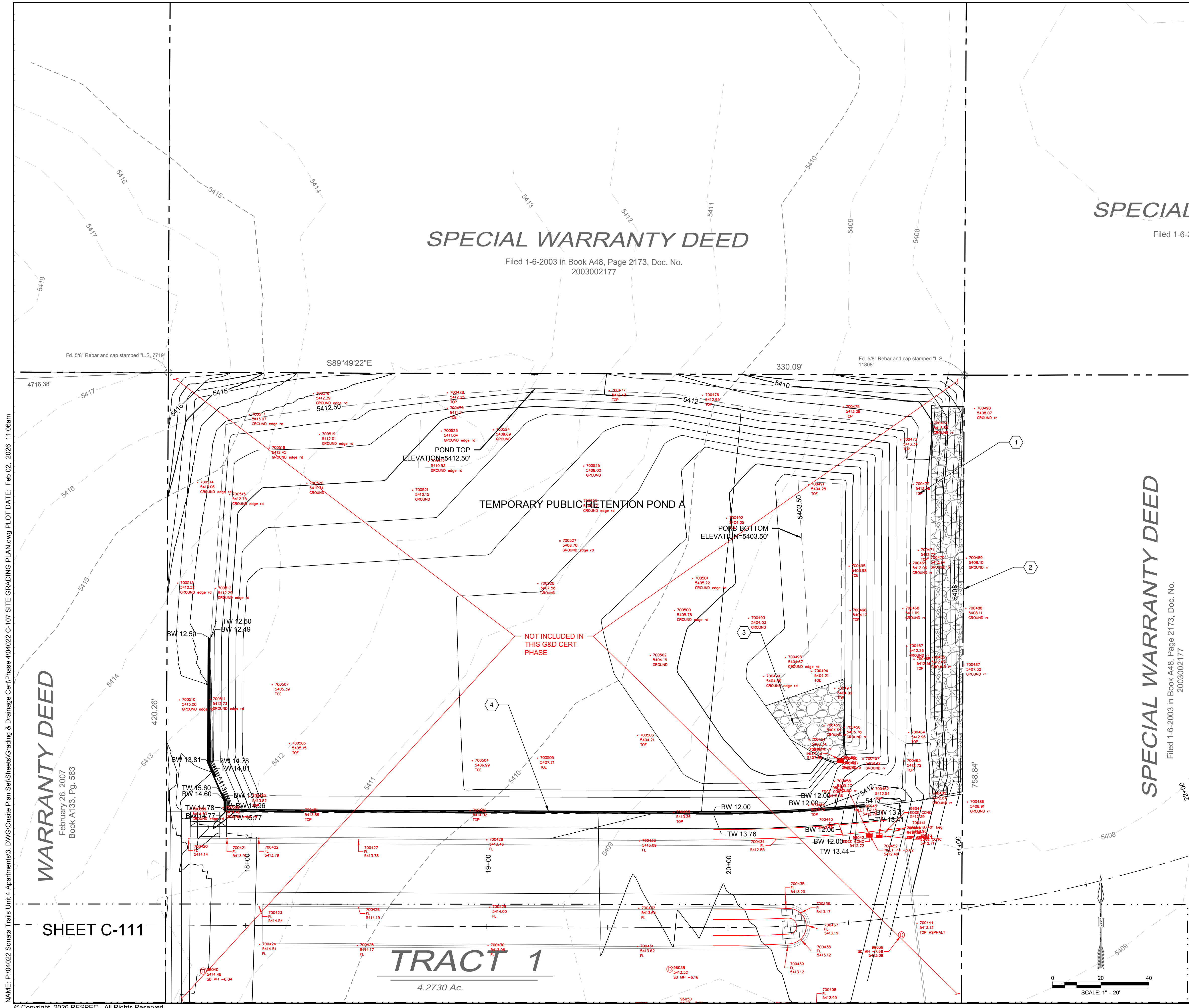
SPECIAL WARRANTY DEED

Filed 1-6-2003 in Book A48, Page 2173, Doc. No. 2003002177

NAME: P:\04022 Sonata Trails Unit 4 Apartments3.DWG\Onsite Plan Set\Sheets\Grading & Drainage\CertPhase\04022 C-106 SITE GRADING PLAN.dwg PLOT DATE: Feb 02, 2026 11:01am

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DESIGNED BY: BE DRAWN BY: BE CHECKED BY: SG DATE: 6.03.2021	<p>RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET, SUITE 101 JEFFERSON, NEVADA 89015 WWW.RESPEC.COM PHONE: (505)253-9191</p>	PROJECT NAME: <p style="text-align: center;"><b>SONATA TRAILS UNIT 4 APARTMENTS</b></p>	SHEET TITLE: <p style="text-align: center;"><b>SITE GRADING PLAN</b></p>	SHEET NUMBER: <p style="text-align: center;"><b>C-111</b></p>	REVISION:
		THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.			
<p>Know what's Below. Call before you dig.</p>					

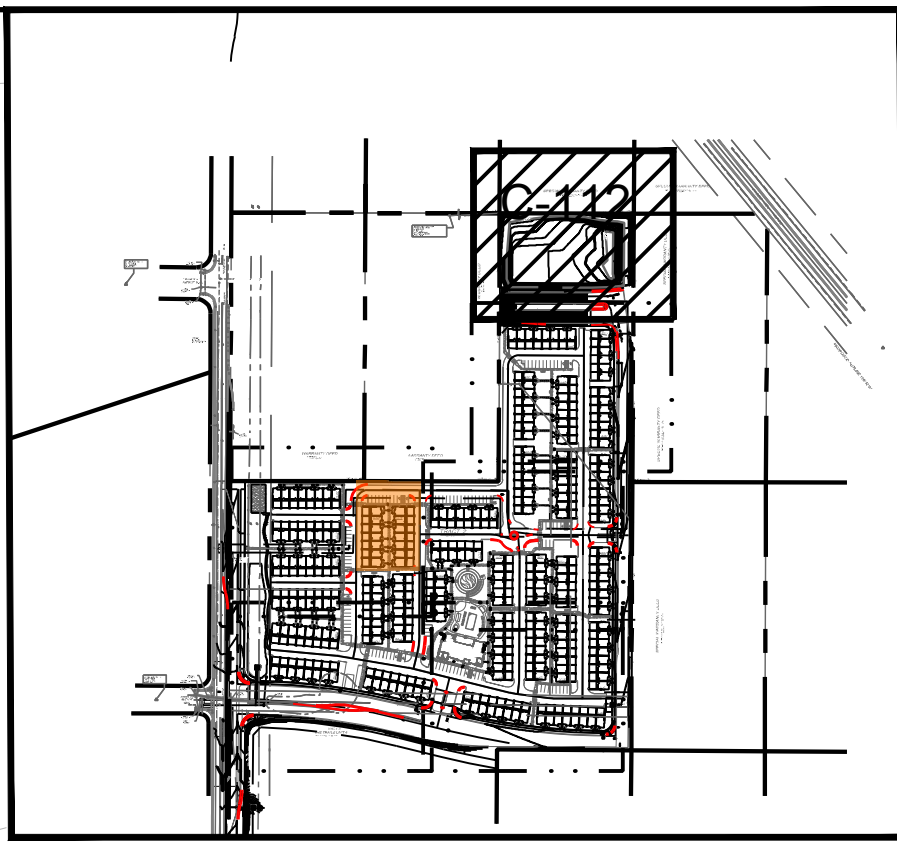


# SPECIAL WARRANTY DEED

Filed 1-6-2003 in Book A48, Page 2173, Doc. No. 2003002177

SPECIAL

Filed 1-6-200



KEY MAP SCALE: NTS

- LEGEND**
- GRADING LIMITS
  - MAJOR CONTOUR
  - MINOR CONTOUR
  - EXISTING MAJOR CONTOUR
  - EXISTING MINOR CONTOUR
  - MATCHLINE
  - SLOPE ARROW
  - SIDEWALK CULVERT
  - SPOT ELEVATION SYMBOLS

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- TS 20.00 TOP STEP

**KEYED NOTES**

I.D.#	DESCRIPTION
1	1' OVERFLOW WEIR. TOP OF POND ELEVATION = 5412.50'. TOP OF WEIR ELEVATION = 5411.50'.
2	RIP RAP D50=8" DOWNSTREAM OF OVERFLOW WEIR.
3	RIP RAP D50=8" POND ROUNDOFF.
4	CMU RETAINING WALL. RETAINING WALL HEIGHT VARIES FROM 0'-6". SEE SHEET C-501 FOR DETAIL.

**RIPRAP NOTES:**  
 ALL RIP-RAP SHALL CONSIST OF 9" OF RIP-RAP OVER 8" OF FILTER MATERIAL.  
 RIP-RAP SHALL CONSIST OF CRUSHED ROCK MEETING THE FOLLOWING GRADATION, OR ENGINEER APPROVED EQUIVALENT.

MAX. DIMENSION	% SMALLER
12"	100
9"	50-60
6"	35-45
3"	10

**GRANULAR BASE FILTER MATERIAL**  
 FILTER MATERIAL SHALL CONSIST OF CRUSHED BASALT ROCK MEETING THE FOLLOWING GRADATION, OR ENGINEER APPROVED EQUIVALENT.

U.S. STANDARD SIEVE SIZE	PASSING BY WEIGHT
1"	100
3/4"	45-65
#4	25-45
#40	0-20
#200	0-5

FILTER MATERIAL SHALL BE PLACED UNDER THE RIP-RAP CHANNEL PAVEMENT AS SHOWN HEREON. THE SUBGRADES SHALL BE PROCESSED TO A 12" MIN. DEPTH AND COMPACTED TO 95% MIN. RELATIVE DENSITY PER ASTM D 1557. THE FILTER MATERIAL SHALL BE TAMPED AND SHAPED TO FORM A SMOOTH, EVEN, AND FIRM FOUNDATION FOR THE OVERLYING RIP-RAP. THE CONTRACTOR'S OPERATIONS AND METHODS OF PLACING SHALL PREVENT SEGREGATION OF THE MATERIALS. THE FILTER MATERIAL SHALL BE PLACED AND TAMPED IN THE VOIDS OF THE RIP-RAP.

**GENERAL NOTES**

- FINAL GRADES FOR ADJACENT ROADWAYS TO BE ESTABLISHED WITH WORK ORDER PLANS.
- GRADING SHALL NOT ENCRONCH ON ADJACENT PROPERTIES.

LIMITS OF DRAINAGE CERT

SEE SHEET C-106 FOR DRAINAGE CERT

DESIGNED BY: RESPEC  
 DRAWN BY: BE  
 CHECKED BY: SG  
 DATE: 6.03.2021

RESPEC  
 COMMUNITY DESIGN SOLUTIONS  
 5971 JEFFERSON STREET, SUITE 101  
 NEW MEXICO 87111  
 WWW.RESPEC.COM PHONE: (505)253-9191

STAMP

6/03/2021

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.

Know what's Below. Call before you dig.

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

SHEET TITLE: SITE GRADING PLAN

CONSTRUCTION

SHEET NUMBER: C-112

NAME: P:04022 Sonata Trails Unit 4 Apartments3 DWG:Onsite Plan Set(Sheets)Grading & Drainage CertPhase 4:04022 C-107 SITE GRADING PLAN.dwg PLOT DATE: Feb 02, 2026 11:06am

WARRANTY DEED  
 February 26, 2007  
 Book A133, Pg. 563

SHEET C-111

TRACT 1  
 4.2730 Ac.

SCALE: 1" = 20'