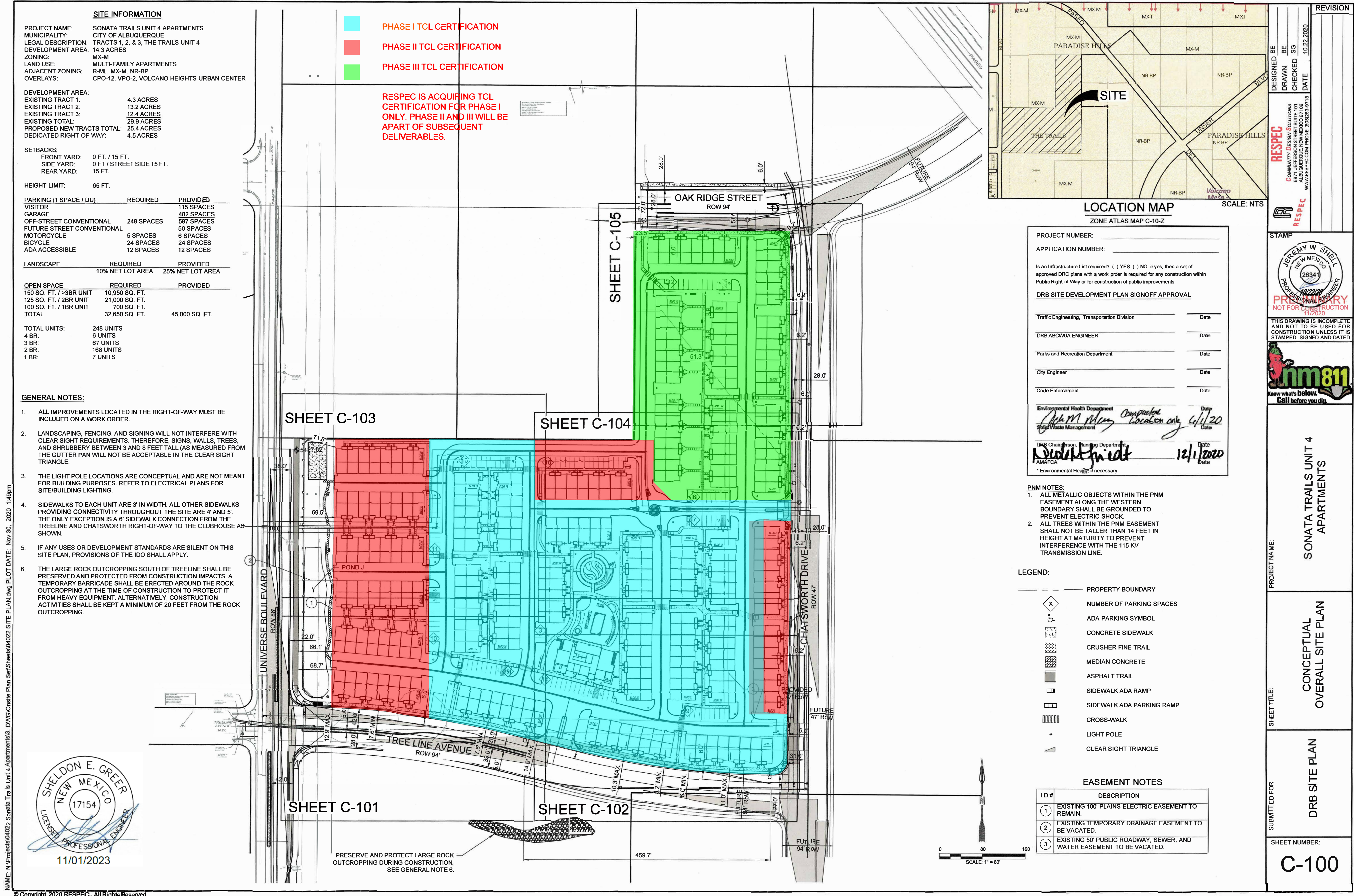




SITE INFORMATION

PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS
MUNICIPALITY: CITY OF ALBUQUERQUE
LEGAL DESCRIPTION: TRACTS 1, 2, & 3, THE TRAILS UNIT 4
DEVELOPMENT AREA: 14.3 ACRES
ZONING: MX-M
LAND USE: MULTI-FAMILY APARTMENTS
ADJACENT ZONING: R-ML, MX-M, NR-BP
OVERLAYS: CPO-12, VPQ-2, VOLCANO HEIGHTS URBAN CENTER

DEVELOPMENT AREA:
EXISTING TRACT 1: 4.3 ACRES
EXISTING TRACT 2: 13.2 ACRES
EXISTING TRACT 3: 12.4 ACRES
EXISTING TOTAL: 29.9 ACRES
PROPOSED NEW TRACTS TOTAL: 25.4 ACRES
DEDICATED RIGHT-OF-WAY: 4.5 ACRES

SETBACKS:
FRONT YARD: 0 FT. / 15 FT.
SIDE YARD: 0 FT. / STREET SIDE 15 FT.
REAR YARD: 15 FT.

HEIGHT LIMIT: 65 FT.

PARKING (1 SPACE / DU)	REQUIRED	PROVIDED
VISITOR		115 SPACES
GARAGE		482 SPACES
OFF-STREET CONVENTIONAL	248 SPACES	597 SPACES
FUTURE STREET CONVENTIONAL		50 SPACES
MOTORCYCLE	5 SPACES	6 SPACES
BICYCLE	24 SPACES	24 SPACES
ADA ACCESSIBLE	12 SPACES	12 SPACES

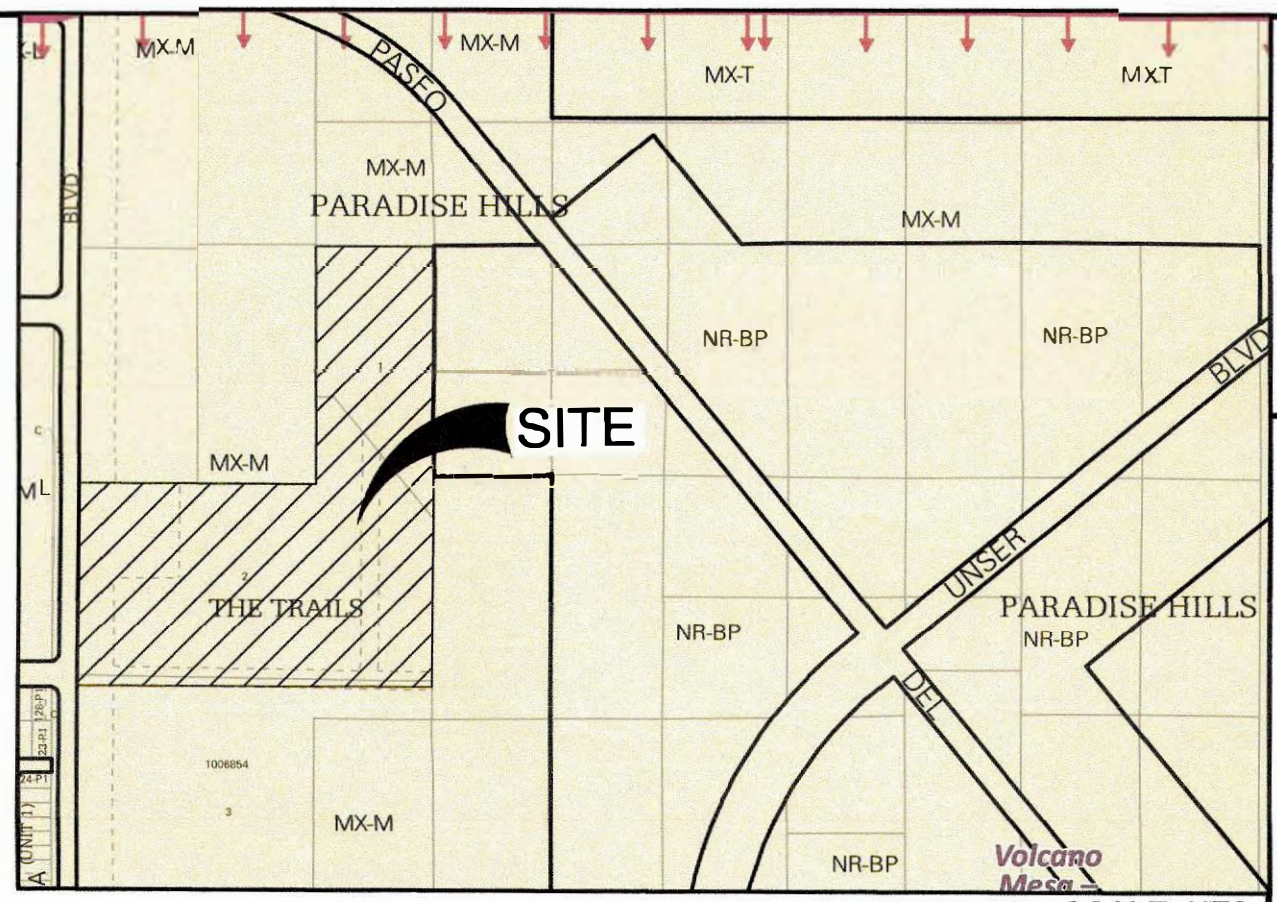
LANDSCAPE	REQUIRED	PROVIDED
	10% NET LOT AREA	25% NET LOT AREA
OPEN SPACE	REQUIRED	PROVIDED
150 SQ. FT. / >3BR UNIT	10,950 SQ. FT.	
125 SQ. FT. / 2BR UNIT	21,000 SQ. FT.	
100 SQ. FT. / 1BR UNIT	700 SQ. FT.	
TOTAL	32,650 SQ. FT.	45,000 SQ. FT.

TOTAL UNITS:	248 UNITS
4 BR:	6 UNITS
3 BR:	67 UNITS
2 BR:	168 UNITS
1 BR:	7 UNITS

- GENERAL NOTES:**
- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON A WORK ORDER.
 - LANDSCAPING, FENCING, AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
 - THE LIGHT POLE LOCATIONS ARE CONCEPTUAL AND ARE NOT MEANT FOR BUILDING PURPOSES. REFER TO ELECTRICAL PLANS FOR SITE/BUILDING LIGHTING.
 - SIDEWALKS TO EACH UNIT ARE 3' IN WIDTH. ALL OTHER SIDEWALKS PROVIDING CONNECTIVITY THROUGHOUT THE SITE ARE 4' AND 5'. THE ONLY EXCEPTION IS A 6' SIDEWALK CONNECTION FROM THE TREELINE AND CHATSWORTH RIGHT-OF-WAY TO THE CLUBHOUSE AS SHOWN.
 - IF ANY USES OR DEVELOPMENT STANDARDS ARE SILENT ON THIS SITE PLAN, PROVISIONS OF THE IDO SHALL APPLY.
 - THE LARGE ROCK OUTCROPPING SOUTH OF TREELINE SHALL BE PRESERVED AND PROTECTED FROM CONSTRUCTION IMPACTS. A TEMPORARY BARRICADE SHALL BE ERRECTED AROUND THE ROCK OUTCROPPING AT THE TIME OF CONSTRUCTION TO PROTECT IT FROM HEAVY EQUIPMENT. ALTERNATIVELY, CONSTRUCTION ACTIVITIES SHALL BE KEPT A MINIMUM OF 20 FEET FROM THE ROCK OUTCROPPING.

- PHASE I TCL CERTIFICATION
- PHASE II TCL CERTIFICATION
- PHASE III TCL CERTIFICATION

RESPEC IS ACQUIRING TCL CERTIFICATION FOR PHASE I ONLY. PHASE II AND III WILL BE APART OF SUBSEQUENT DELIVERABLES.



LOCATION MAP
ZONE ATLAS MAP C-10-Z
SCALE: NTS

PROJECT NUMBER: _____
APPLICATION NUMBER: _____

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
DRB ABCMUA ENGINEER	Date
Parks and Recreation Department	Date
City Engineer	Date
Code Enforcement	Date

Environmental Health Department
Solid Waste Management
Date: 4/1/20
Signature: [Signature]

DRB Chairperson, Planning Department
AMAFCA
Date: 12/1/2020
Signature: [Signature]

* Environmental Health, if necessary

- PNM NOTES:**
- ALL METALLIC OBJECTS WITHIN THE PNM EASEMENT ALONG THE WESTERN BOUNDARY SHALL BE GROUNDED TO PREVENT ELECTRIC SHOCK.
 - ALL TREES WITHIN THE PNM EASEMENT SHALL NOT BE TALLER THAN 14 FEET IN HEIGHT AT MATURITY TO PREVENT INTERFERENCE WITH THE 115 KV TRANSMISSION LINE.

- LEGEND:**
- PROPERTY BOUNDARY
 - NUMBER OF PARKING SPACES
 - ADA PARKING SYMBOL
 - CONCRETE SIDEWALK
 - CRUSHER FINE TRAIL
 - MEDIAN CONCRETE
 - ASPHALT TRAIL
 - SIDEWALK ADA RAMP
 - SIDEWALK ADA PARKING RAMP
 - CROSS-WALK
 - LIGHT POLE
 - CLEAR SIGHT TRIANGLE

EASEMENT NOTES

I.D.#	DESCRIPTION
1	EXISTING 100' PLAINS ELECTRIC EASEMENT TO REMAIN.
2	EXISTING TEMPORARY DRAINAGE EASEMENT TO BE VACATED.
3	EXISTING 50' PUBLIC ROADWAY, SEWER, AND WATER EASEMENT TO BE VACATED.

DESIGNED BY: RESPEC
DRAWN BY: SG
CHECKED BY: SG
DATE: 10/22/2020

COMMUNITY DESIGN SOLUTIONS
1000 SAN JUAN AVENUE, SUITE 100
ALBUQUERQUE, NEW MEXICO 87108
WWW.RESPEC.COM PHONE 505.253.3118

STAMP
JEREMY W. SHELL
NEW MEXICO
26341
PROFESSIONAL ENGINEER
11/2020
NOT FOR CONSTRUCTION
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PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS

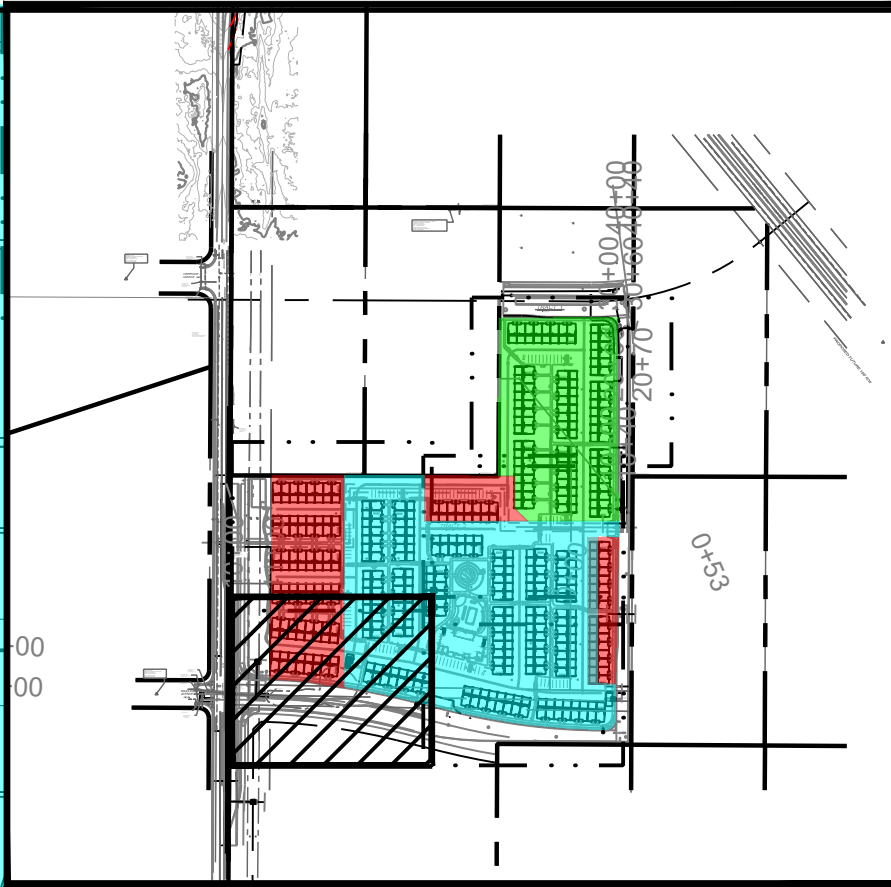
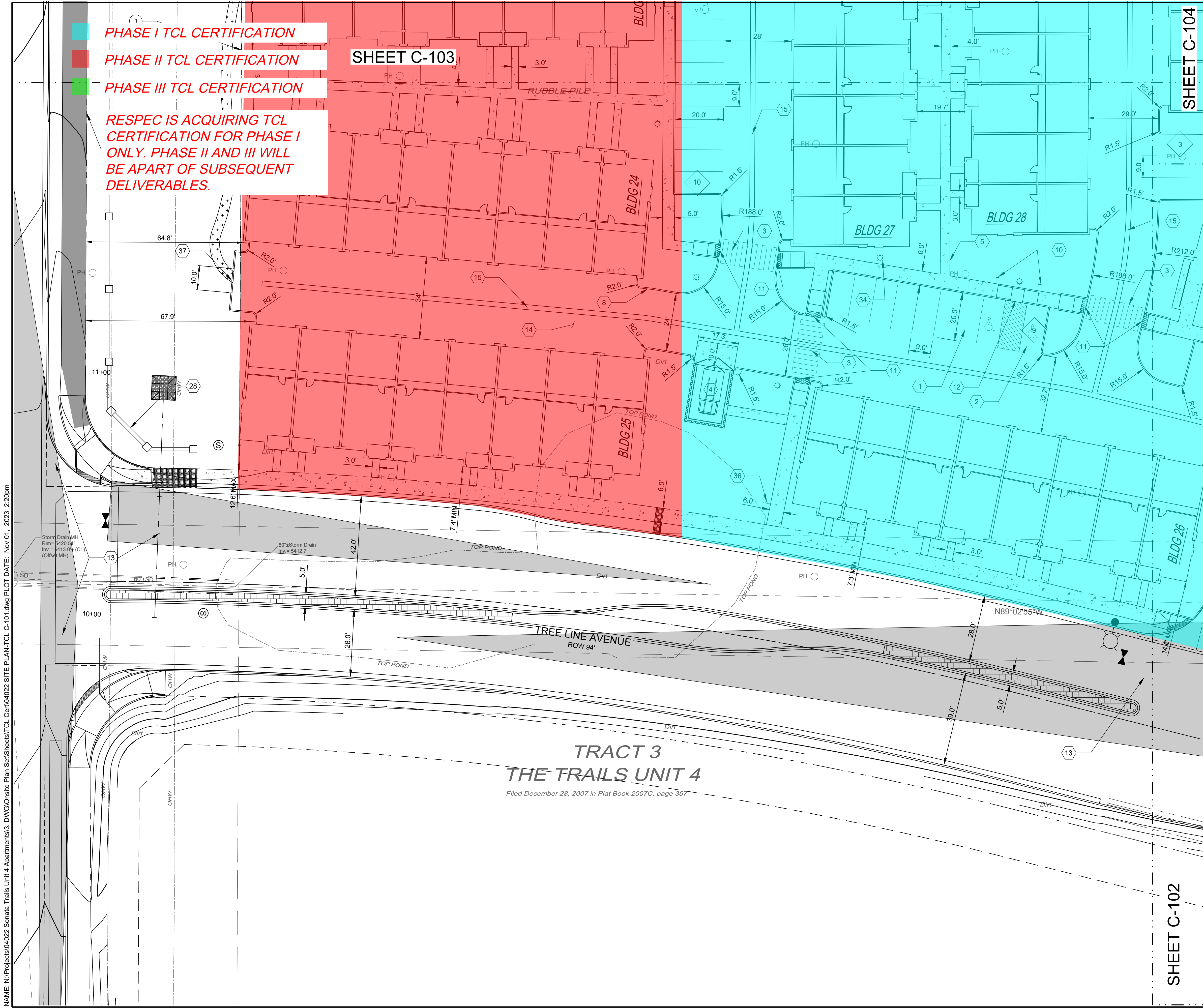
SHEET TITLE: CONCEPTUAL OVERALL SITE PLAN

DRB SITE PLAN

SHEET NUMBER: C-100

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3 DWG\Onsite Plan Set\Sheets\04022 SITE PLAN.dwg PLOT DATE: Nov 30, 2020 1:49pm





KEY MAP SCALE: NTS

KEYED NOTES

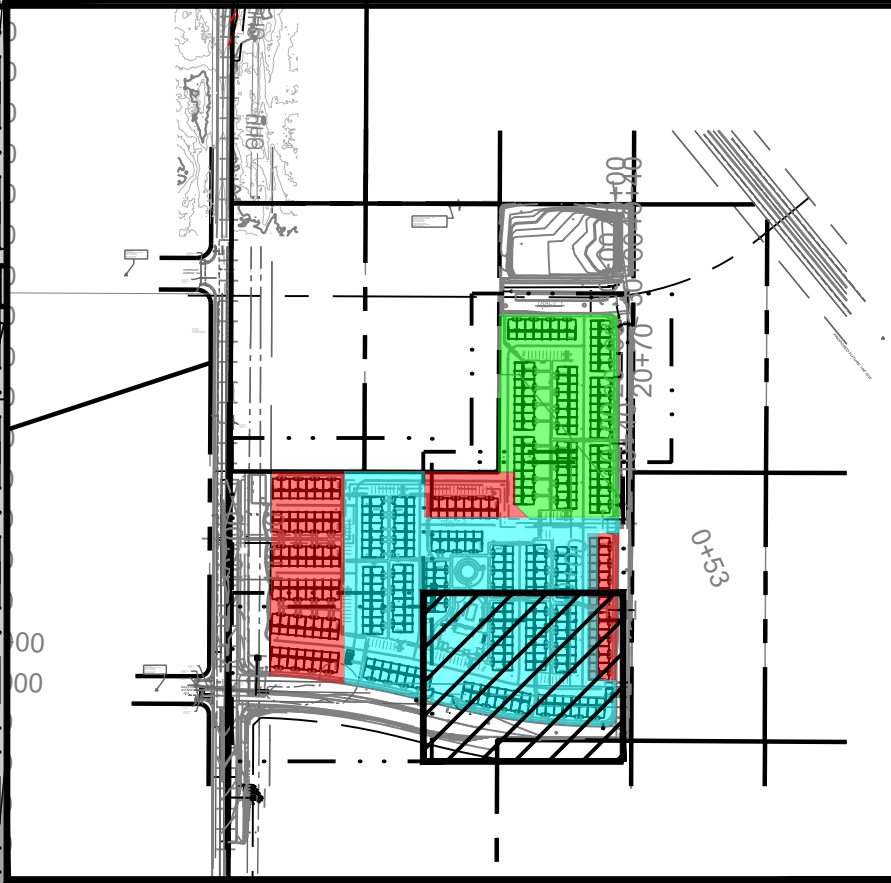
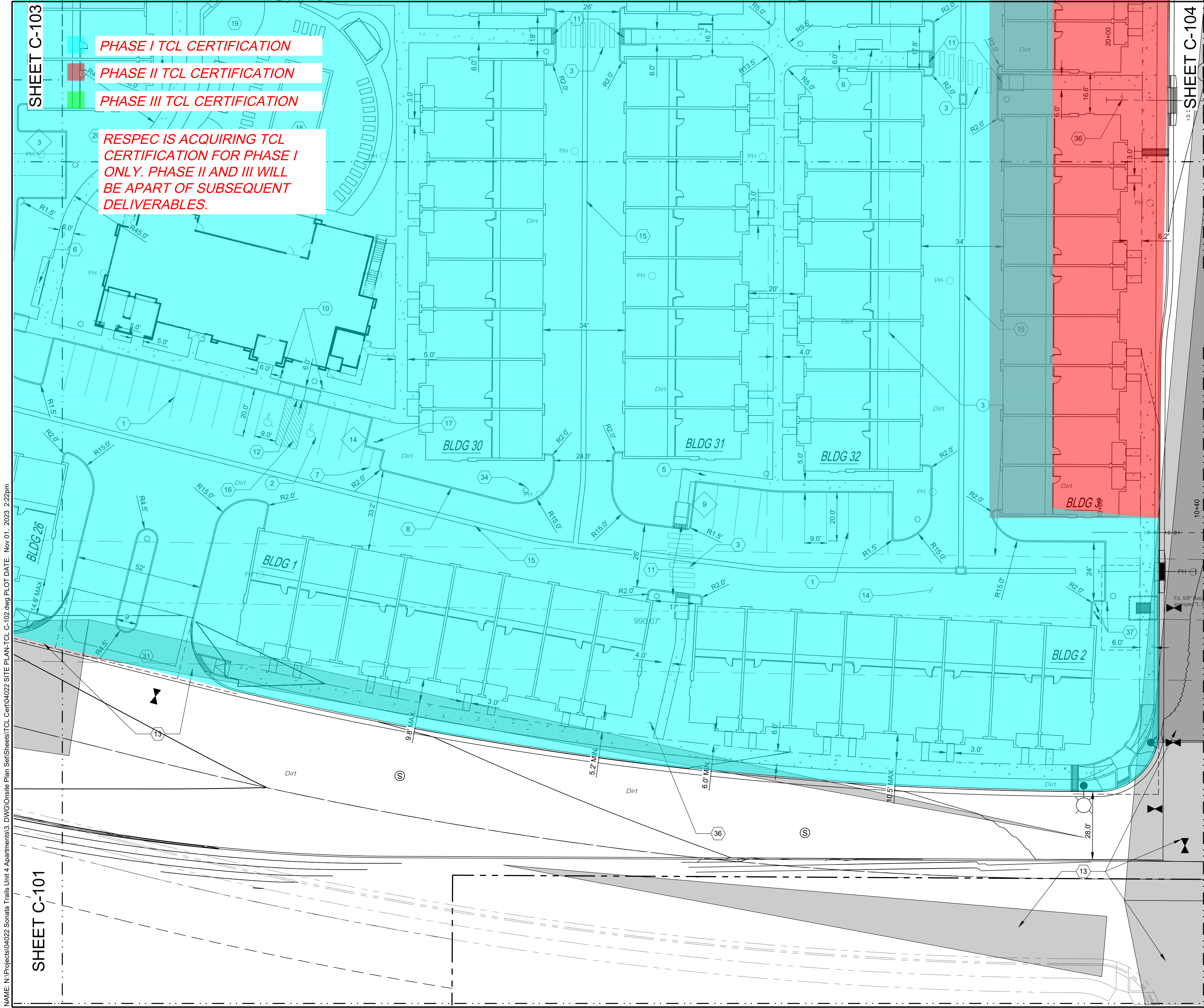
I.D.#	DESCRIPTION
1	9'X20' PARKING SPACE TYP.
2	9'X20' ADA PARKING SPACE TYP.
3	CROSS-WALK STRIPING TYP. SEE DETAIL 1 SHEET
4	REFUSE ENCLOSURE WITH COMPACTOR. SEE DETAIL 15 SHEET C-501.
5	CONCRETE SIDEWALK TYP.
8	CONCRETE HEADER CURB TYP. SEE DETAIL 3 SHEET C-500.
10	ADA PARKING SIGN. SEE DETAIL 5 SHEET C-500.
11	ADA RAMP TYPE A TYP. SEE DETAIL 6 SHEET C-500.
12	ADA RAMP TYPE B TYP. SEE DETAIL 7 SHEET C-500.
13	CLEAR SIGHT TRIANGLE.
14	ASPHALT PAVEMENT TYP. SEE DETAIL 8 SHEET C-500.
15	ALLEY GUTTER. SEE DETAIL 9 SHEET C-500.
25	4' CRUSHER FINE TRAIL.
28	MONUMENT SIGN.
33	10' ASPHALT PATH.
34	LIGHT POLE TYP. LOCATIONS ARE CONCEPTUAL ONLY. REFER TO ELECTRICAL SITE PLAN.
36	NO TRESPASSING SIGN.
37	ROLL CURB. SEE DETAIL 4 SHEET C-500.

EASEMENT NOTES

I.D.#	DESCRIPTION
1	EXISTING 100' PLAINS ELECTRIC EASEMENT TO REMAIN.

DESIGNED RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 DENVER, CO 80221 WWW.RESPEC.COM PHONE: 855.253.9718	DRAWN CHECKED DATE	REVISION
THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED.		
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS		
SHEET TITLE: SITE PLAN		
SUBMITTED FOR:		
SHEET NUMBER: C-101		

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\OnSite Plan Set\Sheets\TCL Cert\04022 SITE PLAN-TCL C-101.dwg PLOT DATE: Nov 01, 2023 2:20pm



KEY MAP

SCALE: NTS

KEYED NOTES

I.D.#	DESCRIPTION
1	9'X20' PARKING SPACE TYP.
2	9'X20' ADA PARKING SPACE TYP.
3	CROSS-WALK STRIPING TYP. SEE DETAIL 1 SHEET C-500.
5	CONCRETE SIDEWALK TYP.
6	BICYCLE PARKING. SEE DETAIL 2 SHEET C-500.
7	MOTORCYCLE PARKING.
8	CONCRETE HEADER CURB TYP. SEE DETAIL 3 SHEET C-500.
10	ADA PARKING SIGN. SEE DETAIL 5 SHEET C-500.
11	ADA RAMP TYPE A TYP. SEE DETAIL 6 SHEET C-500.
12	ADA RAMP TYPE B TYP. SEE DETAIL 7 SHEET C-500.
13	CLEAR SIGHT TRIANGLE.
14	ASPHALT PAVEMENT TYP. SEE DETAIL 8 SHEET C-500.
15	ALLEY GUTTER. SEE DETAIL 9 SHEET C-500.
16	"NO PARKING" PAINT MARKING TYP. SEE DETAIL 10 SHEET C-500.
17	FREE STANDING "MOTORCYCLE PARKING" SIGN. SEE DETAIL SHEET C-501.
18	20'X50' POOL.
19	FIREPLACE & SEATING AREA.
20	8' JACUZZI.
34	LIGHT POLE TYP. LOCATIONS ARE CONCEPTUAL ONLY. REFER TO ELECTRICAL SITE PLAN.
36	NO TRESPASSING SIGN.
37	CONCRETE BOLLARD.

EASEMENT NOTES

I.D.#	DESCRIPTION
3	EXISTING 50' PUBLIC ROADWAY, SEWER, AND WATER EASEMENT TO BE VACATED.

DESIGNED RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 WWW.RESPEC.COM PHONE: 605.253.9718	DRAWN CHECKED DATE	REVISION
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PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS		
SHEET TITLE: SITE PLAN		
SUBMITTED FOR:		
SHEET NUMBER: C-102		

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\OnSite Plan Set\Sheets\TCL Cert\04022 SITE PLAN\TCL C-102.dwg PLOT DATE: Nov 01, 2023 2:22pm

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January 12, 2001
Book A14, Pg. 2769

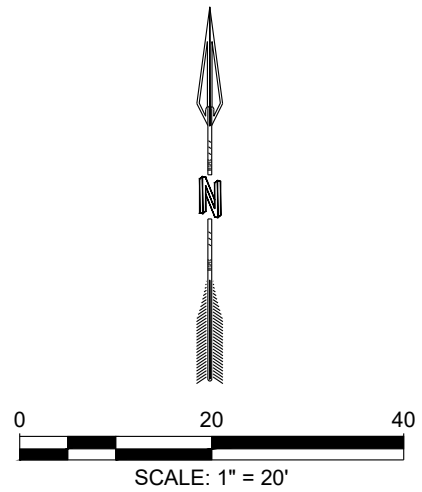
February 26, 2007
Book A133, Pg. 563



KEYED NOTES

I.D.#	DESCRIPTION
1	9'X20' PARKING SPACE TYP.
2	9'X20' ADA PARKING SPACE TYP.
3	CROSS-WALK STRIPING TYP. SEE DETAIL 1 SHEET C-500.
5	CONCRETE SIDEWALK TYP.
6	BICYCLE PARKING. SEE DETAIL 2 SHEET C-500.
8	CONCRETE HEADER CURB TYP. SEE DETAIL 3 SHEET C-500.
10	ADA PARKING SIGN. SEE DETAIL 5 SHEET C-500.
11	ADA RAMP TYPE A TYP. SEE DETAIL 6 SHEET C-500.
12	ADA RAMP TYPE B TYP. SEE DETAIL 7 SHEET C-500.
14	ASPHALT PAVEMENT TYP. SEE DETAIL 8 SHEET C-500.
15	ALLEY GUTTER. SEE DETAIL 9 SHEET C-500.
16	"NO PARKING" PAINT MARKING TYP. SEE DETAIL 10 SHEET C-500.
24	DOG PARK.
25	4" CRUSHER FINE TRAIL.
26	BENCH TYP.
30	6" CMU SPLIT FACE WALL WITH WHITE CAP. TURN A BLOCK EVERY 14.6' ON N/S WALL SEGMENT.
32	EXISTING PNM POLES.
33	10' ASPHALT PATH.
34	LIGHT POLE TYP. LOCATIONS ARE CONCEPTUAL ONLY. REFER TO ELECTRICAL SITE PLAN.
36	NO TRESPASSING SIGN.

EASEMENT NOTES	
I.D.#	DESCRIPTION
①	EXISTING 100' PLAINS ELECTRIC EASEMENT TO REMAIN.
②	EXISTING TEMPORARY DRAINAGE EASEMENT TO BE VACATED.



RESPEC
COMMUNITY DESIGN SOLUTIONS
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STAMPED, SIGNED AND DATED



PROJECT NAME:

SONATA TRAILS UNIT 4
APARTMENTS

SHEET TITLE:

SUBMITTED FOR:

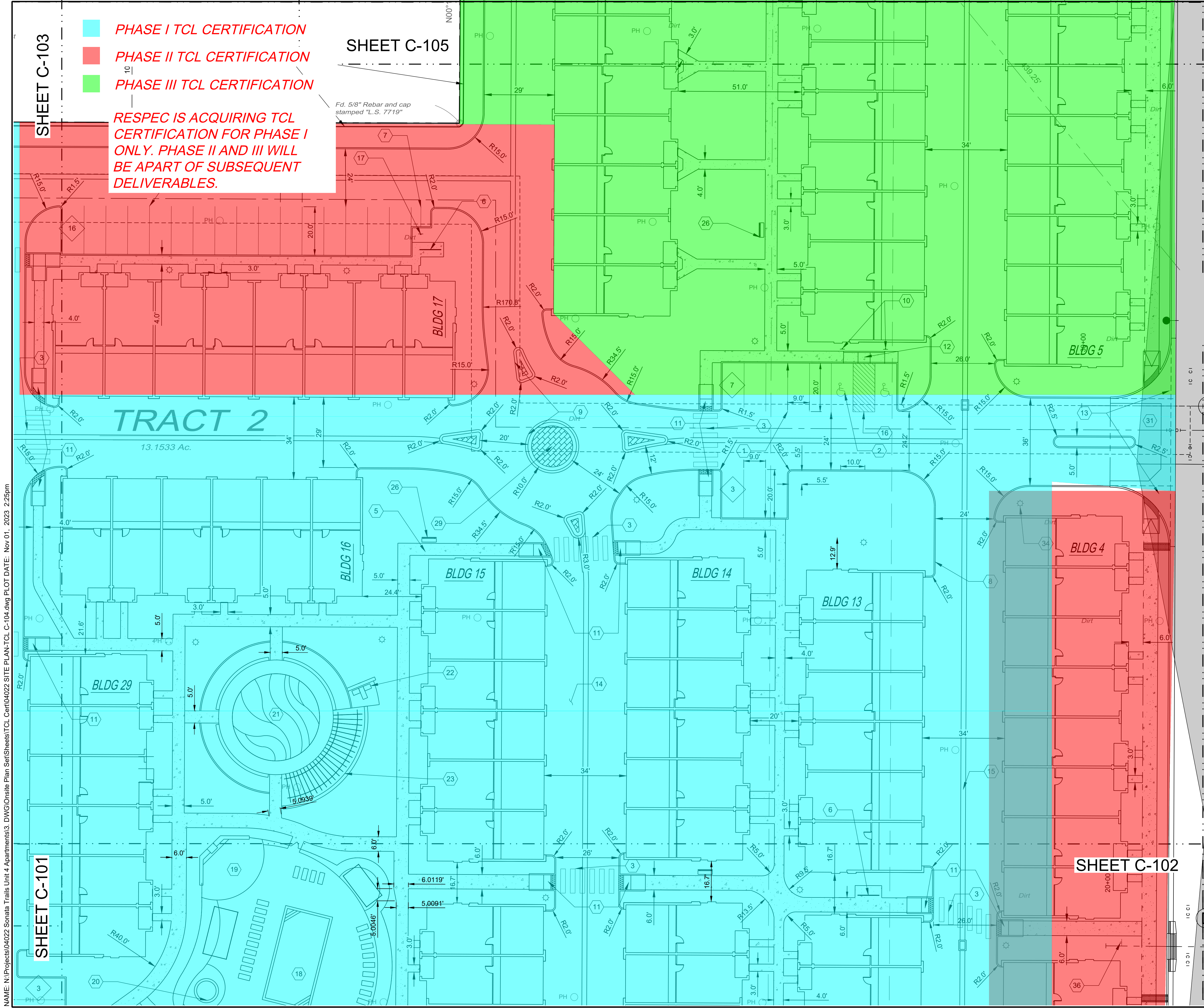
SHEET NUMBER:

C-103

REVISION

NAME: N:\Projects\04022 Sonata Trails Unit 4 Apartments\3. DWG\Onsite Plan Set\Sheets\TCL Cert\04022 SITE PLAN-TCL C-103.dwg PLOT DATE: Nov 01, 2023 2:23pm

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- PHASE I TCL CERTIFICATION
- PHASE II TCL CERTIFICATION
- PHASE III TCL CERTIFICATION

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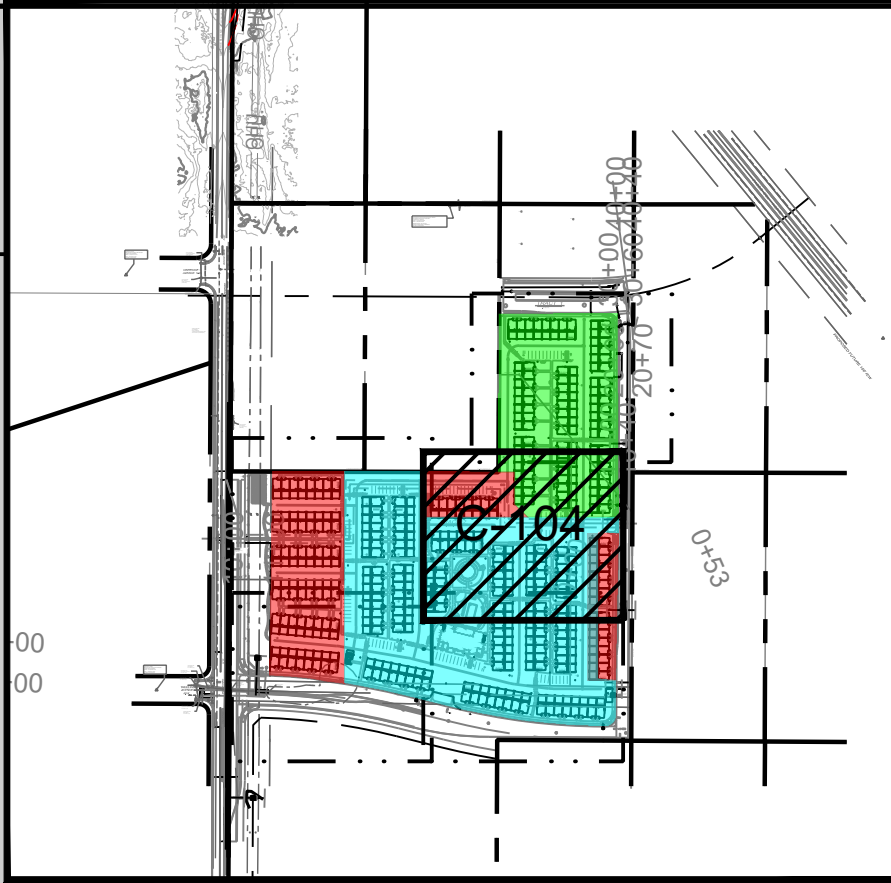
SHEET C-105

Fd. 5/8" Rebar and cap stamped "L.S. 7719"

TRACT 2

13.1533 Ac.

SHEET C-102



KEY MAP

SCALE: NTS

KEYED NOTES

I.D.#	DESCRIPTION
1	9'X20' PARKING SPACE TYP.
2	9'X20' ADA PARKING SPACE TYP.
3	CROSS-WALK STRIPING TYP. SEE DETAIL 1 SHEET
5	CONCRETE SIDEWALK TYP.
6	BICYCLE PARKING. SEE DETAIL 2 SHEET C-500.
7	MOTORCYCLE PARKING.
8	CONCRETE HEADER CURB TYP. SEE DETAIL 3 SHEET C-500.
9	CONCRETE ROLL CURB. SEE DETAIL 4 SHEET C-500.
10	ADA PARKING SIGN. SEE DETAIL 5 SHEET C-500.
11	ADA RAMP TYPE A TYP. SEE DETAIL 6 SHEET C-500.
12	ADA RAMP TYPE B TYP. SEE DETAIL 7 SHEET C-500.
13	CLEAR SIGHT TRIANGLE.
14	ASPHALT PAVEMENT TYP. SEE DETAIL 8 SHEET C-500.
15	ALLEY GUTTER. SEE DETAIL 9 SHEET C-500.
16	"NO PARKING" PAINT MARKING TYP. SEE DETAIL 10 SHEET C-500.
17	FREE STANDING "MOTORCYCLE PARKING" SIGN. SEE DETAIL SHEET C-501.
18	20'X50' POOL.
19	FIREPLACE & SEATING AREA.
20	8" JACUZZI.
21	TOT LOT AREA.
22	BBQ GRILLS.
23	TRELLIS RAMADA.
26	BENCH TYP.
29	MEDIAN CONCRETE. SEE DETAIL 11 SHEET C-500.
30	6" CMU SPLIT FACE WALL WITH WHITE CAP. TURN A BLOCK EVERY 14.6' ON N/S WALL SEGMENT.
31	VALLEY GUTTER AND ENTRANCE TO BE BUILT WITH THE WORK ORDER PLANS.
34	LIGHT POLE TYP. LOCATIONS ARE CONCEPTUAL ONLY. REFER TO ELECTRICAL SITE PLAN.
36	NO TRESSPASSING SIGN.

DESIGNED	____
DRAWN	____
CHECKED	____
DATE	____
REVISION	



PROJECT NAME:

SONATA TRAILS UNIT 4 APARTMENTS

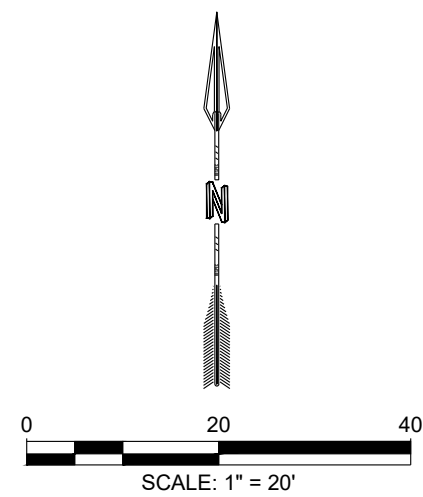
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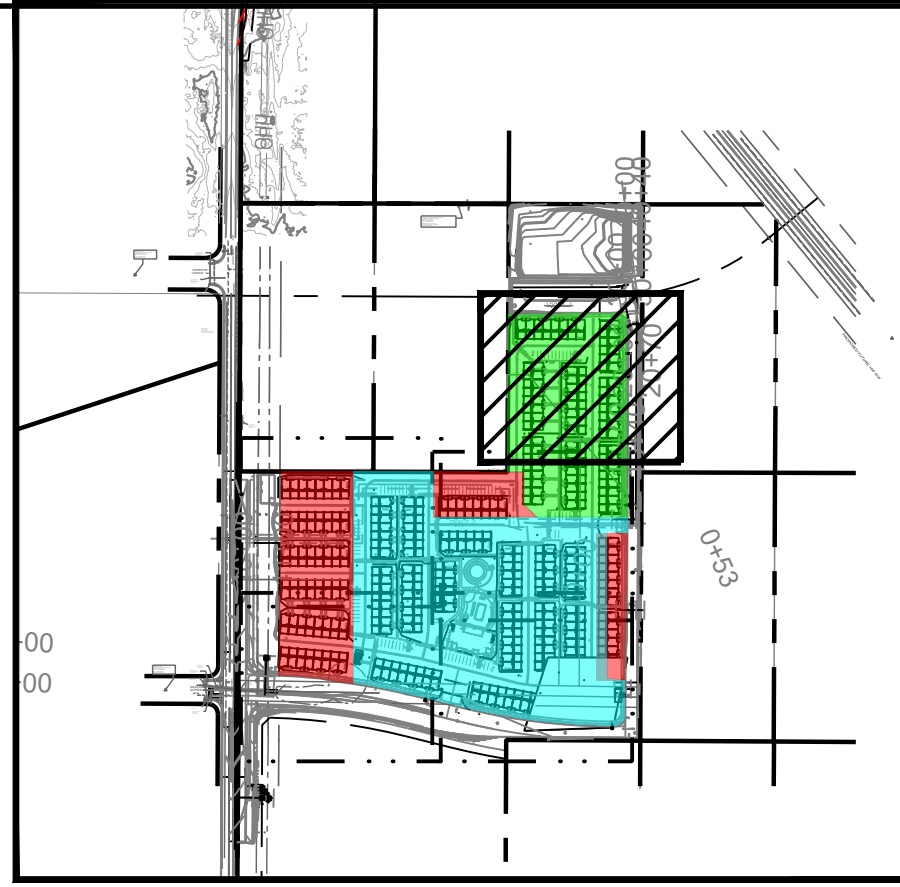
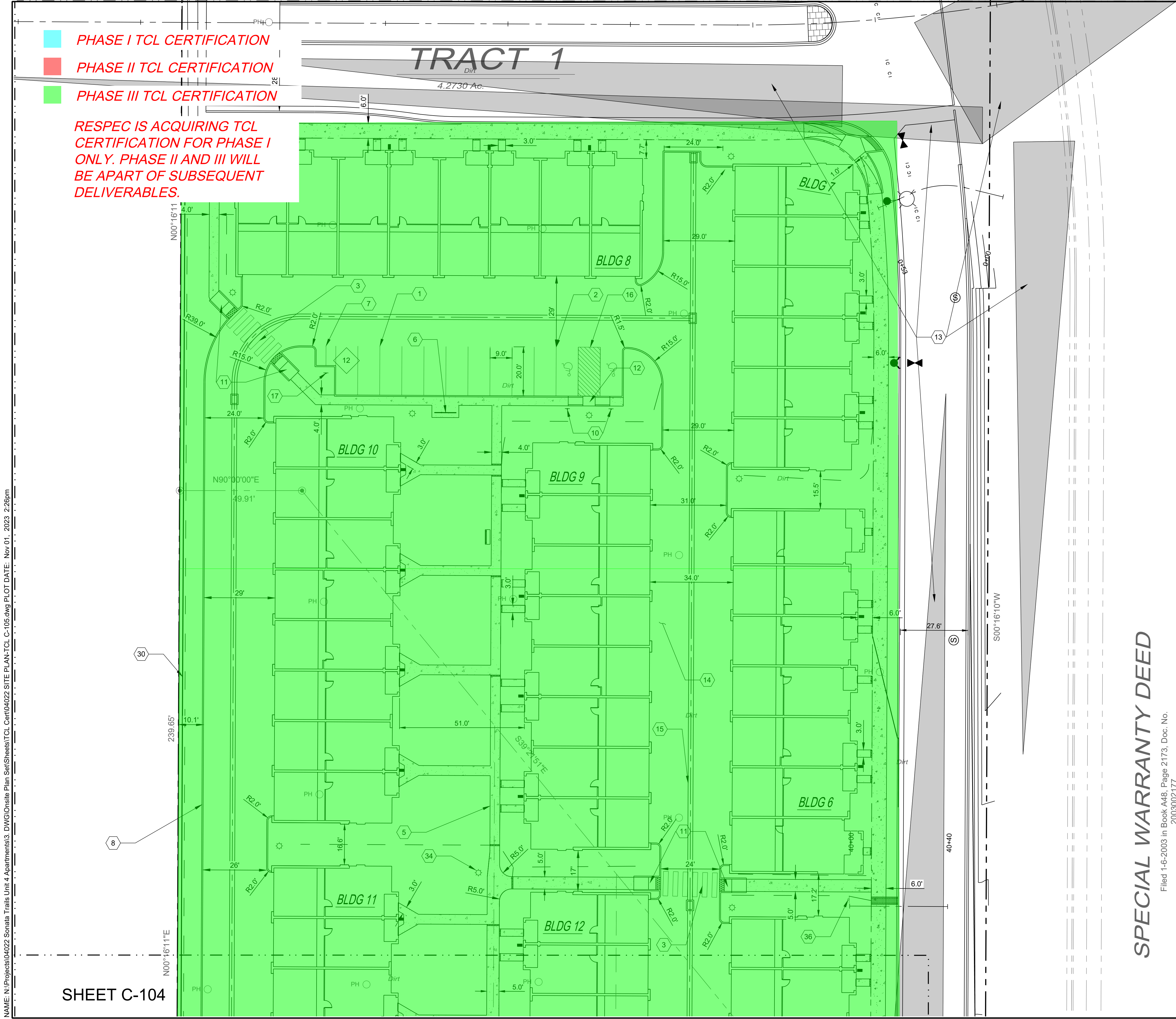
SITE PLAN

SUBMITTED FOR:

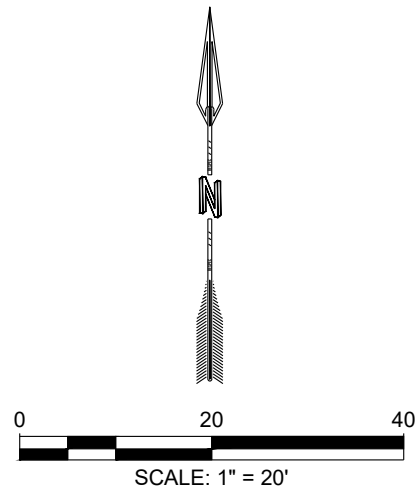
SHEET NUMBER:

C-104





I.D.#	DESCRIPTION
1	9'X20' PARKING SPACE TYP.
2	9'X20' ADA PARKING SPACE TYP.
3	CROSS-WALK STRIPING TYP. SEE DETAIL 1 SHEET C-500.
5	CONCRETE SIDEWALK TYP.
7	MOTORCYCLE PARKING.
8	CONCRETE HEADER CURB TYP. SEE DETAIL 3 SHEET C-500.
10	ADA PARKING SIGN. SEE DETAIL 5 SHEET C-500.
11	ADA RAMP TYPE A TYP. SEE DETAIL 6 SHEET C-500.
12	ADA RAMP TYPE B TYP. SEE DETAIL 7 SHEET C-500.
13	CLEAR SIGHT TRIANGLE.
14	ASPHALT PAVEMENT TYP. SEE DETAIL 8 SHEET C-500.
15	ALLEY GUTTER. SEE DETAIL 9 SHEET C-500.
16	"NO PARKING" PAINT MARKING TYP. SEE DETAIL 10 SHEET C-500.
17	FREE STANDING "MOTORCYCLE PARKING" SIGN. SEE DETAIL SHEET C-501.
25	4" CRUSHER FINE TRAIL.
26	BENCH TYP.
30	6" CMU SPLIT FACE WALL WITH WHITE CAP. TURN A BLOCK EVERY 14.6' ON N/S WALL SEGMENT.
34	LIGHT POLE TYP. LOCATIONS ARE CONCEPTUAL ONLY. REFER TO ELECTRICAL SITE PLAN.
35	COVERED RAMADA WITH PICNIC TABLE.
36	NO TRESPASSING SIGN.



SPECIAL WARRANTY DEED

Filed 1-6-2003 in Book A48, Page 2173, Doc. No. 2003002177

DESIGNED DRAWN CHECKED DATE	REVISION
RESPEC COMMUNITY DESIGN SOLUTIONS 5971 JEFFERSON STREET SUITE 101 WWW.RESPEC.COM PHONE (855)253-9718	
PROJECT NAME: SONATA TRAILS UNIT 4 APARTMENTS	
SHEET TITLE: SITE PLAN	
SHEET NUMBER: C-105	