

Site Data

Landuse = Volcano Heights Regional Center (VHRC)
Site Area = 1,436,393 s.f. (32.98 ac.)
Building Area = 240,905 s.f.

Open Space (OS):

1) Detached Open Space Required:

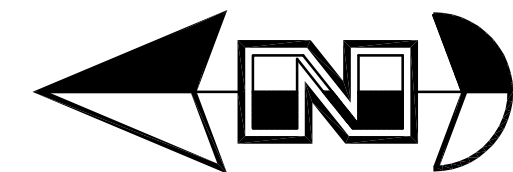
Detached OS Req. per s.f. of Building Area = 30,000 s.f. (Taken From Table 9.3*)
Detached OS Req. Conversion Factor per Landuse = 2,400 s.f. (Taken From Table 9.3*)
(*Notes: Table 9.3 Was Taken From the VH Sector Development Plan pg 143)
Detached Open Space Required: 240,905 s.f. / 30,000 s.f. = 8.03
8.03 x 2,400 s.f. = 19,272 s.f.
Detached Open Space Provided = 255,683 s.f.

2) Usable Open Space Required:

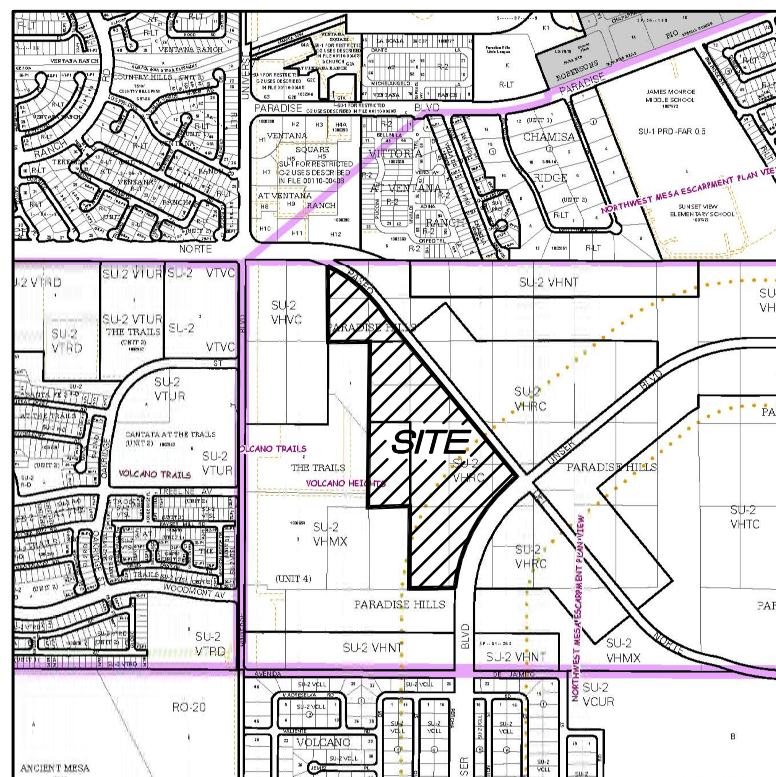
10% of Site Acreage Shall be Useable Open Space:
1,436,393 s.f. x 10% = 143,639 s.f.
Developed Area (Plazas**) = 21,540 s.f.
Undeveloped (Rock Outcroppings**) Area = 2(65,369) = 130,738 s.f.
* All Plazas are a Minimum of 0.25 a.c.
** Rock Outcroppings Square Footage Double Square Footage per VH Sector Development Plan pg 146
Usable Open Space Provided: 152,278 s.f. (10.6%)
40% of Req. Usable Open Space Shall be Permeable = 143,639 x 40% = 57,456 s.f.
Usable Open Space Permeable Provided (Rock Outcroppings) = 65,369 s.f. (46%)
25% of Developed Area (Plazas) Shall be Shaded by Trees = 21,540 s.f. x 25% = 5,385 s.f.
Developed Area Shaded by Trees Provided = 5,385 s.f. (See Landscape Plan for Trees)

Miscellaneous Landscape Requirements:

- 4' High Planting Screen Shall be Provided Through the Use of Berms and Plant Material to Screen Parking Lots and Drive-Thru Along Street Frontages.
- 1 Tree Shall be Planted Every 40 l.f. per Street Frontage.
- All New Buildings Shall Adhere to VH Sector Development Plan.

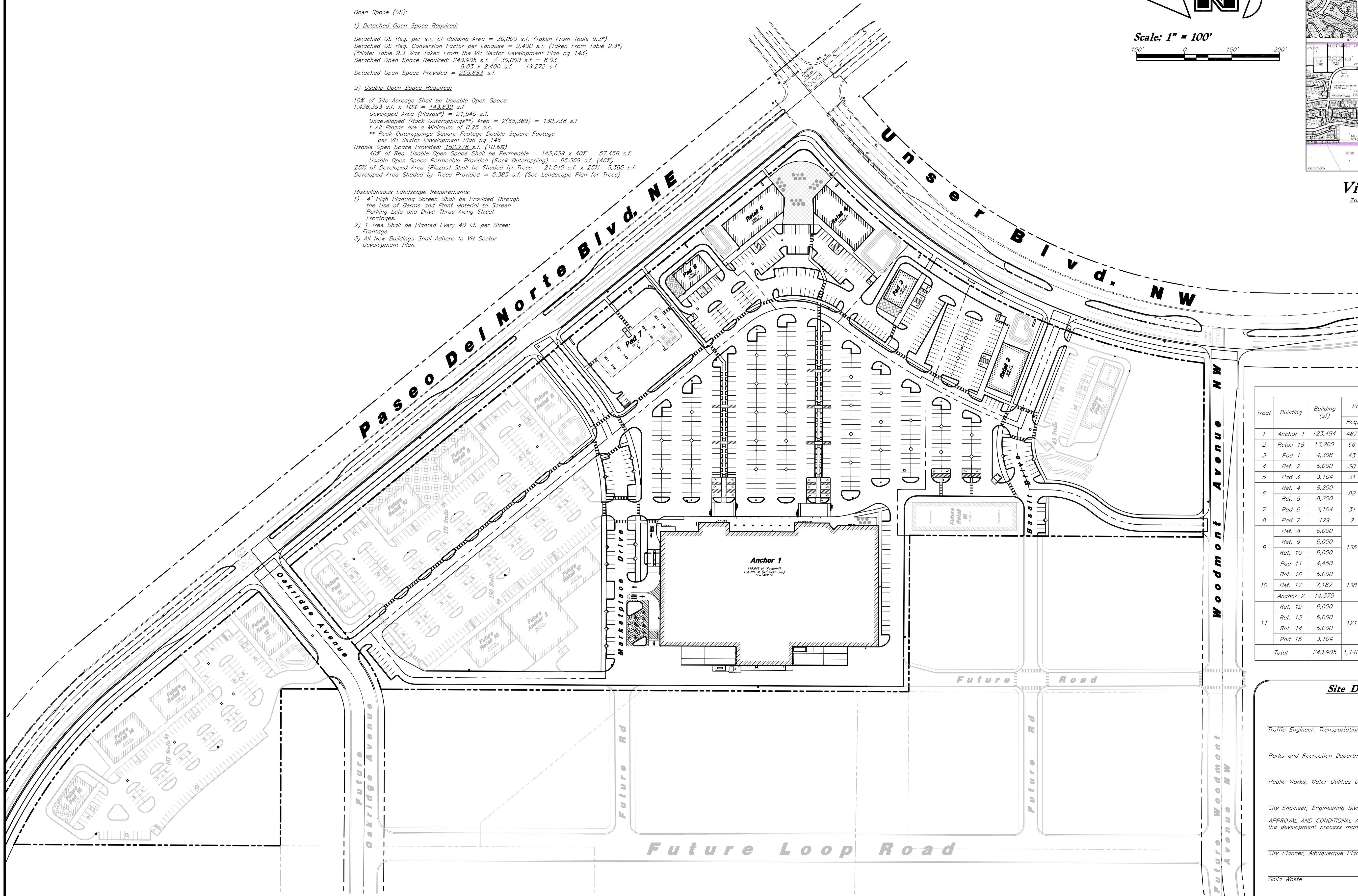


Scale: 1" = 100'



Vicinity Map

Zone Atlas Page: C-10-Z
Not to Scale



Site Data Table										
Tract	Building	Building (sf)	Parking		ADA Parking		Motorcycle Parking		Tract Area (sf)	Tract Area (Acres)
			Req.	Prov.	Req.	Prov.	Req.	Prov.		
1	Anchor 1	123,494	467	571	12	12	6	8	484,265	11.12
2	Retail 18	13,200	66	72	4	4	3	4	80,572	1.85
3	Pad 1	4,308	43	43	3	3	2	2	125,744	2.89
4	Ret. 2	6,000	30	52	2	2	2	2	42,691	0.98
5	Pad 3	3,104	31	47	2	2	2	2	43,404	1.00
6	Ret. 4	8,200	82	79	4	4	3	3	86,434	1.98
7	Pad 5	8,200	31	35	2	2	2	2	34,297	0.79
8	Pad 6	3,104	31	35	2	2	2	2	34,297	0.79
9	Pad 7	179	2	3	1	1	1	1	53,908	1.24
10	Ret. 8	6,000	135	171	8	8	4	4	150,748	3.46
11	Ret. 9	6,000	138	150	8	8	4	4	143,580	3.30
12	Pad 10	4,450	121	167	8	8	4	4	190,750	4.38
13	Ret. 11	4,450	121	167	8	8	4	4	190,750	4.38
14	Ret. 12	6,000	121	167	8	8	4	4	190,750	4.38
15	Ret. 13	6,000	121	167	8	8	4	4	190,750	4.38
16	Ret. 14	6,000	121	167	8	8	4	4	190,750	4.38
17	Ret. 15	3,104	31	47	2	2	2	2	43,404	1.00
18	Anchor 2	14,375	143	179	9	9	5	5	100,000	2.29
19	Ret. 16	6,000	121	167	8	8	4	4	190,750	4.38
20	Ret. 17	7,187	138	150	8	8	4	4	143,580	3.30
21	Pad 11	4,450	121	167	8	8	4	4	190,750	4.38
22	Pad 12	6,000	121	167	8	8	4	4	190,750	4.38
23	Pad 13	6,000	121	167	8	8	4	4	190,750	4.38
24	Pad 14	6,000	121	167	8	8	4	4	190,750	4.38
25	Pad 15	3,104	31	47	2	2	2	2	43,404	1.00
Total		240,905	1,146	1,390	54	54	33	36	1,436,393	32.98

Site Development Plan

Traffic Engineer, Transportation Division _____ Date: _____

Parks and Recreation Department _____ Date: _____

Public Works, Water Utilities Division _____ Date: _____

City Engineer, Engineering Division / AMAFCA _____ Date: _____

APPROVAL AND CONDITIONAL ACCEPTANCE: As specified by the development process manual.

City Planner, Albuquerque Planning Division _____ Date: _____

Solid Waste _____ Date: _____

Fire Department _____ Date: _____

DEVELOPER
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Fax: (505) 923-3811

Site Development Plan for Building Permit

Volcano Heights Marketplace

Unser Blvd. NW & Paseo Del Norte Blvd. NE
Albuquerque, New Mexico



ANDERSON WAHLEN & ASSOCIATES

2010 North Redwood Road, Salt Lake City, Utah 84116
801.521.8529 - AWEngineering.net



14 Jun, 2017

SHEET NO.

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