

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

June 9, 2025

John Stapleton, PE
Community Design Solutions
9384 Valley View Dr. NW
Albuquerque, NM 87114

**RE: 99999 Frambuesa Rd NE
Volcano Cliffs, Unit 20, Block 7, Lots 12 and 18
Grading and Drainage Plans
Engineer's Stamp Date: 5/20/2025
Hydrology File: C10D004
Case # HYDR-2025-00191**

Dear Mr. Stapleton:

Based upon the information provided in your submittal received 05/22/2025, the Grading & Drainage Plans **are approved** for Grading Permit.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.

NM 87103

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

Sincerely,

Anthony Montoya, Jr., P.E.
Senior Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: Volcano Cliffs Hydrology File # _____
Legal Description: 018 and 012 007CORRECTED PLAT VOLCANO CLIFFS SUBD, UNIT 20
City Address, UPC, OR Parcel: 101006426503140227 and 101006427603040204

Applicant/Agent: Community Design Solutions LLC Contact: John Stapleton, PE
Address: 9384 Valley View Dr. NW, Suite 100, Albuquerque, NM 87114 Phone: 505-545-9607
Email: john.stapleton@cdsn.com

Applicant/Owner: Mela Barela Contact: Mela Barela
Address: 3627 Tower Road SW, Albuquerque, NM 87121 Phone: 505-836-3659
Email: mbarela710@aol.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: PLAT (#of lots) _____ RESIDENCE
 DFT SITE ADMIN SITE

RE-SUBMITTAL: YES NO

DEPARTMENT: TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

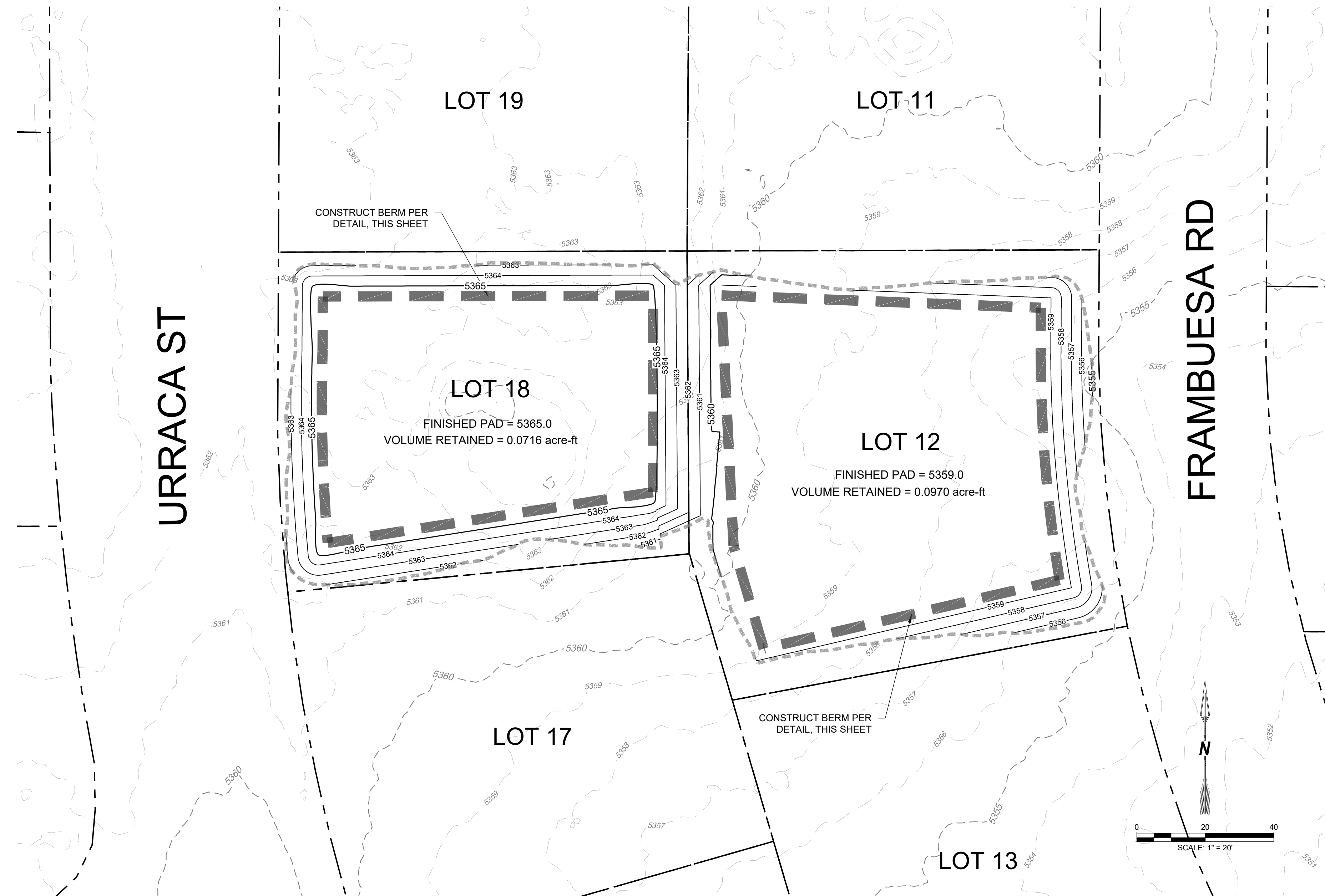
- ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G&D PLAN
- GRADING & DRAINAGE PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- CONCEPTUAL TCL DFT APPROVAL
- PRELIMINARY PLAT APPROVAL
- FINAL PLAT APPROVAL
- SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- SIA/RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- OTHER (SPECIFY) _____

DATE SUBMITTED: 05/22/2025

NAME: P:\0800125_Volcano Heights G&D\DWG\GH G&D_19MAY2025.dwg PLOT DATE: May 20, 2025 2:45pm



GRADING NOTES

1. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
2. NO GRADING SHALL OCCUR ON THE ADJACENT PROPERTY OWNERS AND/OR RIGHTS OF WAY WITHOUT THE WRITTEN PERMISSION OF THE OWNER. NO SUCH PERMISSION IS IMPLIED HEREIN.
3. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
4. GRADING EXTENTS AT LIMITS OF DISTURBANCE TO MATCH EXISTING GRADE.
5. ALL AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR AN IMPERVIOUS SURFACE SHALL BE RE-VEGETATED WITH NATIVE GRASS SEEDING. THE OWNER IS RESPONSIBLE FOR CONTROL OF DUST FROM ALL DISTURBED AREAS.
6. GRADES SHOWN ARE TO TOP OF FINAL SURFACE. ADDITIONAL SOIL REMOVALS SHALL BE PERFORMED AS REQUIRED TO ALLOW FOR SURFACING MATERIALS AS APPROPRIATE.

LEGEND

- PROPERTY LINE
- - - BUILDING ENVELOPE
- - - LIMITS OF DISTURBANCE
- - - 5380 EX CONTOUR MAJOR
- - - 5379 EX CONTOUR MINOR
- 5380 PROP CONTOUR MAJOR
- 5379 PROP CONTOUR MINOR
- ← SWALE
- ▬ CONTOUR BERM
- ◆ CHECK DAM
- 80.00 ↓ SPOT ELEVATION
- 80.00 FL ↓ ELEV AT FLOWLINE INVERT
- BW = 80.00 ↓ BOTTOM OF RETAINING WALL ELEVATION
- TW = 80.00 ↓ TOP OF RETAINING WALL ELEVATION
- 80.00 ROW ↓ ELEVATION AT RIGHT OF WAY
- ▨ 2" - 4" STONE, UNLESS SPECIFIED OTHERWISE
- ▨ TOP OF BERM
- ▨ GRAVEL MULCH
- ▨ PRIVACY WALL

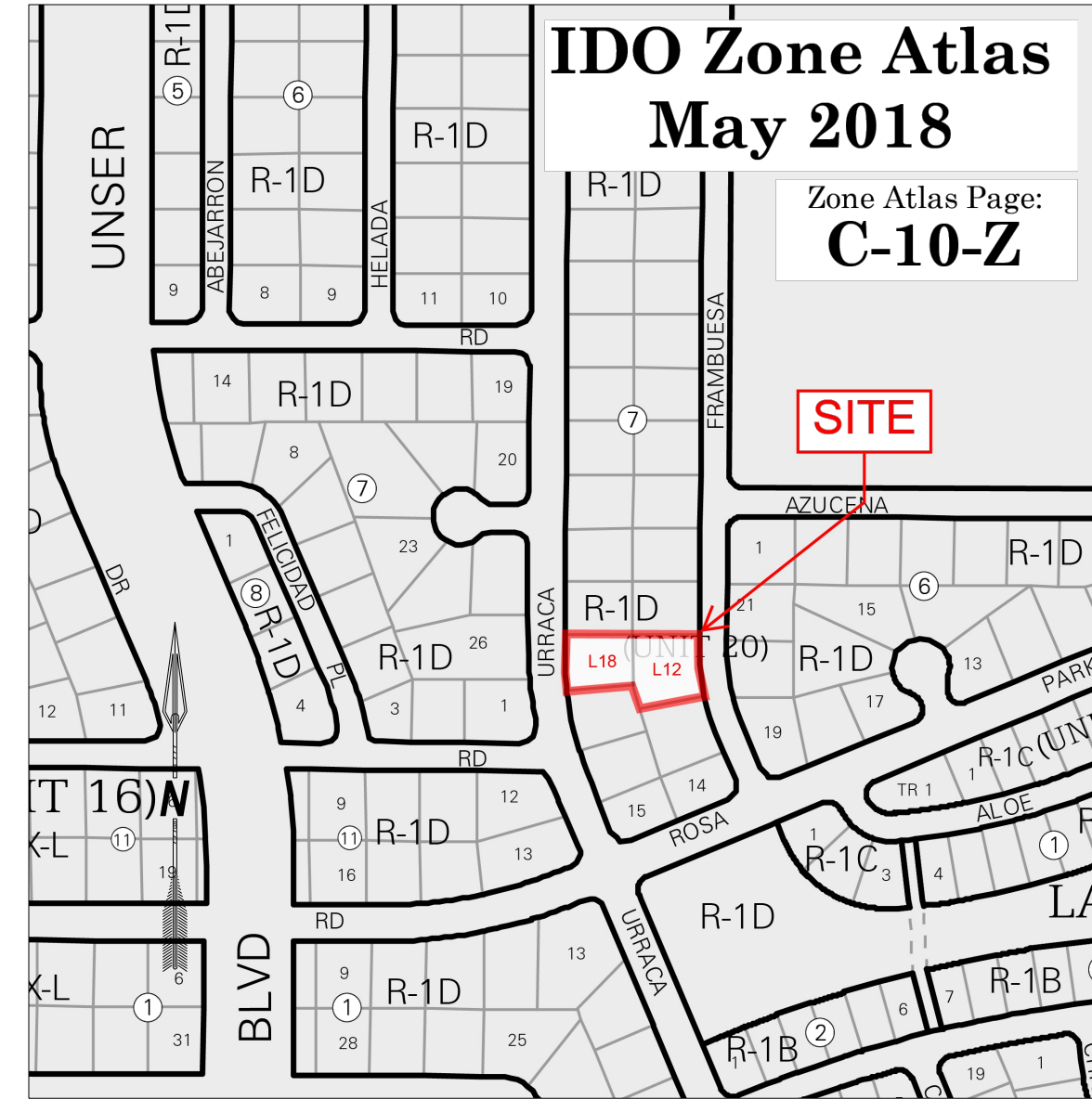
DRAINAGE SUMMARY

Lot 12 Size = 0.3306 acre
 Lot 18 Size = 0.2755 acre
 Total Disturbed Area = 0.6061 acre

Disturbed Area Land Treatment: C (100%)
 Zone: 1
 Storm Frequency: 100 year, 24 hr

Required Pond Volume: 0.05 acre-ft
 Provided Pond Volume: 0.169 acre-ft (0.5' berm)

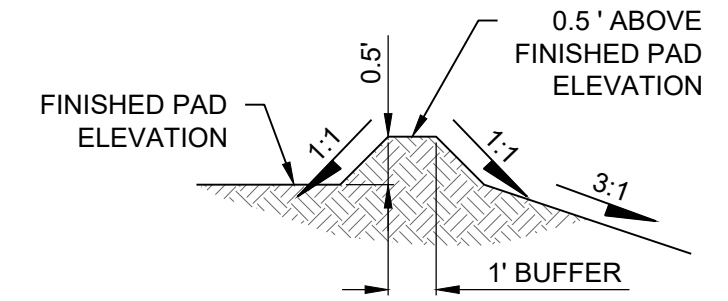
* Runoff calculated per COA DPM Section 6-2(A)(4) Excess Precipitation & Volumetric Runoff



ZONE ATLAS MAP - NTS



FEMA FIRM
 MAP NUMBER 35001C0111G & 35001C0112G



NOTE:
 CONTOUR BERM TO BE LOCATED ALONG A PROPOSED CONTOUR AT A CONSTANT ELEVATION AS SHOWN ON THE PLAN

CONTOUR BERM
 Scale: NTS

DESIGNED CLS	CLS	REVISION
DRAWN	CLS	
CHECKED	JMS	
DATE	5.20.2025	
<p>CDSC COMMUNITY DESIGN SOLUTIONS, LLC 850 ALBUQUERQUE, NEW MEXICO 87114 PHONE: (505)366-4187</p>		
<p>STAMP JOHN W. STAPLETON NEW MEXICO 30170 PROFESSIONAL ENGINEER May 20, 2025</p>		
<p>PROJECT NAME: VOLCANO CLIFFS UNIT 20 / BLOCK 7 / LOT 12 UNIT 20 / BLOCK 7 / LOT 18</p>		
<p>SHEET TITLE: GRADING & DRAINAGE PLAN</p>		
<p>SUBMITTED FOR: CONSTRUCTION</p>		
<p>SHEET NUMBER: 1 OF 1</p>		

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 6/9/2025
 BY: *[Signature]*
 HydroTrans # C10D004

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR OMISSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.
 THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO HOLDING PERMIT HAS BEEN PULLED ON THE DEVELOPMENT.