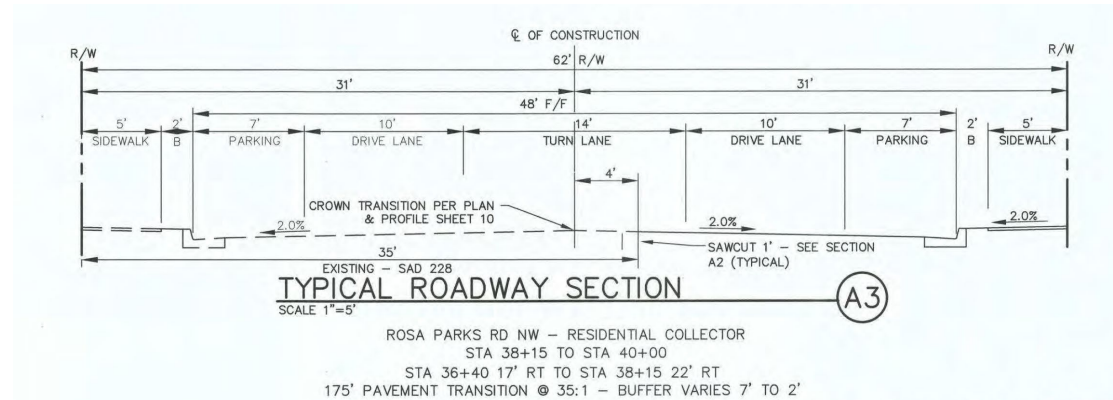


CITY OF ALBUQUERQUE

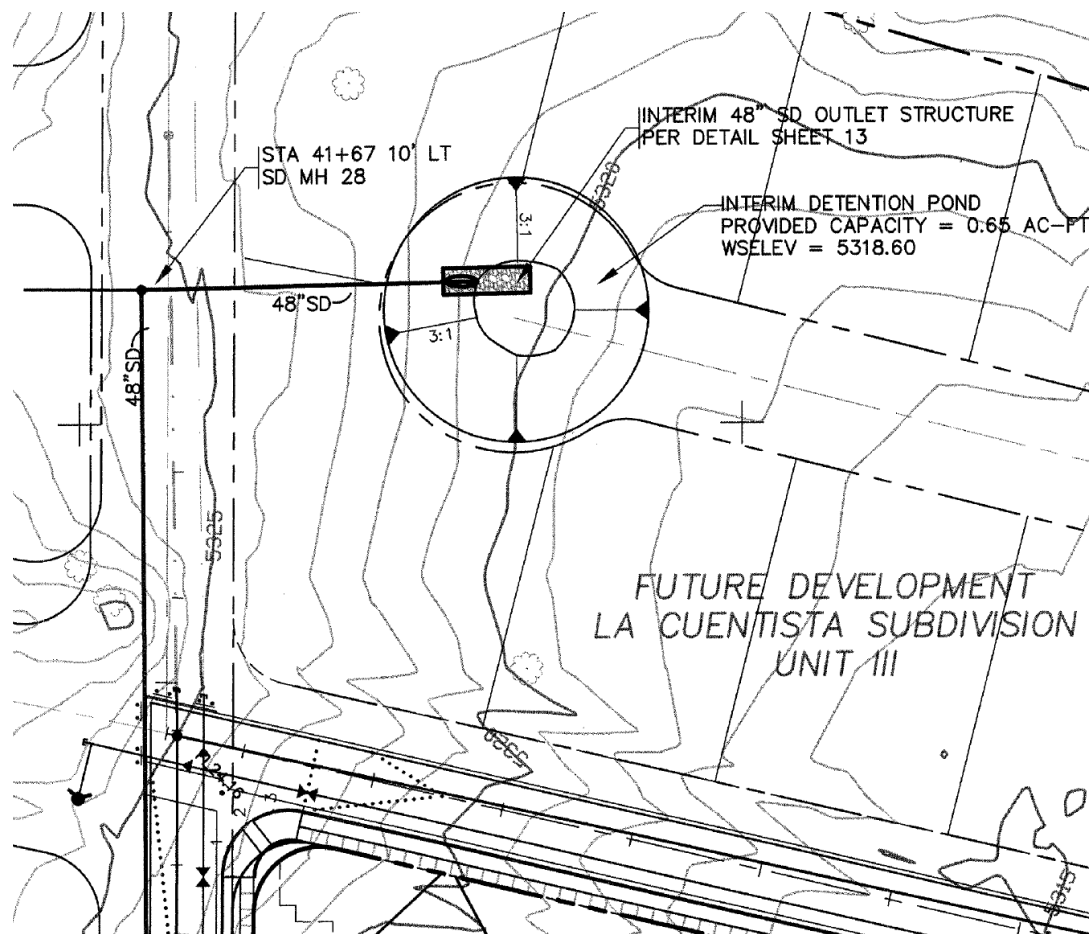
Planning Department
Alan Varela, Director



Mayor Timothy M. Keller



2. Please show existing 48" storm drain on Rosa Parks and the existing detention pond on City property. I have attached the as-builts that show the 48" storm drain and pond.



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Albuquerque

NM 87103

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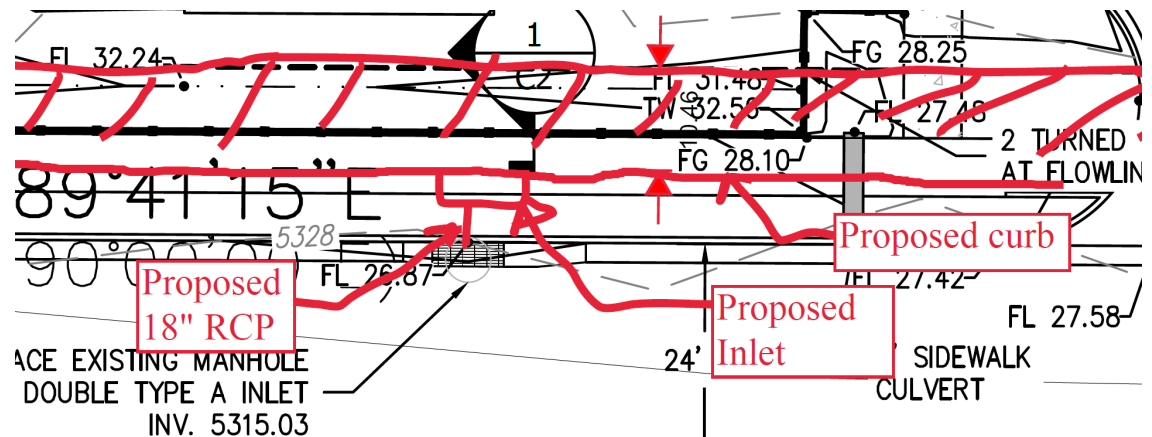
CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

3. Per Comment #1 (the giving of 6 feet to Rosa Parks R.O.W.), the proposed inlet can be installed with 18" RCP to the existing manhole.



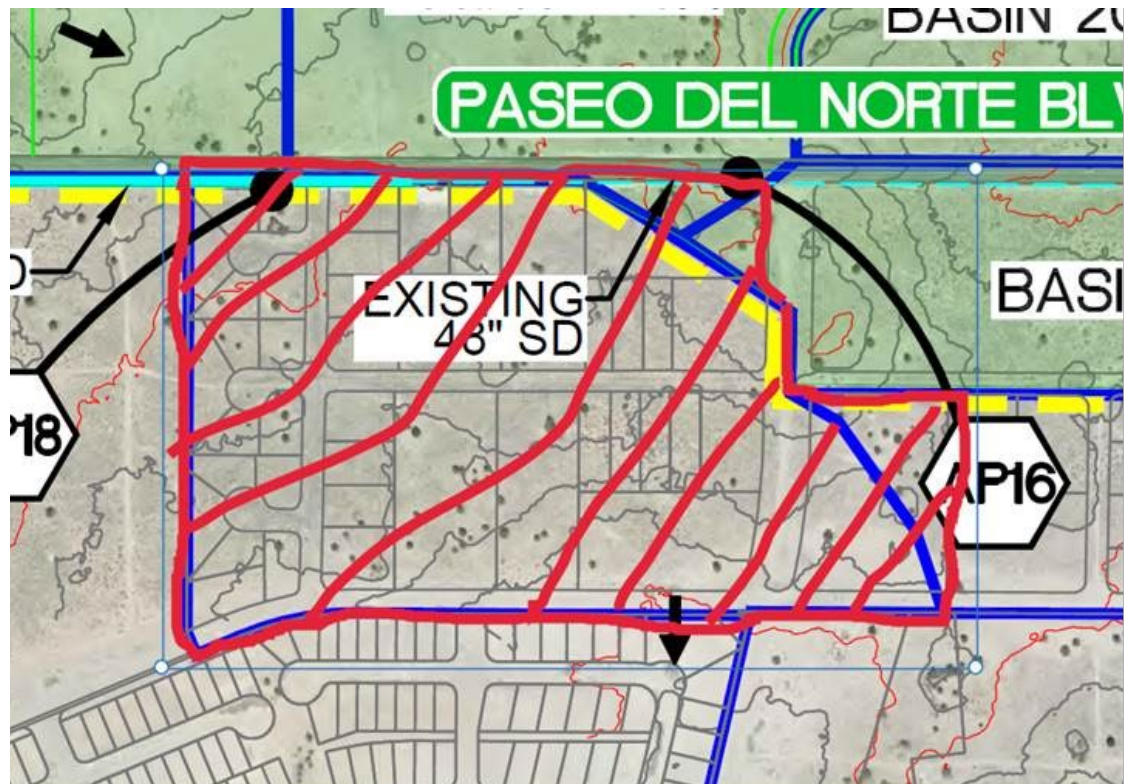
4. Please call out all the adjacent roadways with R.O.W. on Sheet C1 & C2.
5. There are currently three different Drainage Master plans which actually conflict with one another for this property. Below is current watershed for the existing 48" and detention pond on City property.

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CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

Respec is the engineer for a development on the West sided of Kimmick Dr. There are going to do a study for this watershed which your project is part of and determine if the existing detention pond is sized ok or needs to be enlarged. Since this development will benefit with free discharge, it will need to work with them and you will need add the enlarging of the pond on the Infrastructure List. (if this ends up not being needed, it can be administrative removed).

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov .

Sincerely,

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: Tierra Buena Townhomes **Building Permit #:** _____ **Hydrology File #:** C11D002
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: LOT 1 VOLCANO CLIFFS SUBDIVISION UNIT 26
City Address: 99999 ROSA PARKS ROAD N.W.

Applicant: THE Group **Contact:** Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124
Phone#: 505-410-1622 **Fax#:** _____ **E-mail:** ron@thegroup.cc
Owner: BATA INVESTMENTS, LLC **Contact:** C.K. Scott
Address: P.O. BOX 65808, Albuquerque
Phone#: 505-350-7534 **Fax#:** _____ **E-mail:** ck@abrazohomes.com

TYPE OF SUBMITTAL: _____ PLAT (____# OF LOTS) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: _____ Yes ☒ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

_____ ENGINEER/ARCHITECT CERTIFICATION
_____ PAD CERTIFICATION
_____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
_____ DRAINAGE MASTER PLAN
_____ DRAINAGE REPORT
_____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
_____ ELEVATION CERTIFICATE
_____ CLOMR/LOMR
_____ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ TRAFFIC IMPACT STUDY (TIS)
_____ OTHER (SPECIFY) _____
_____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

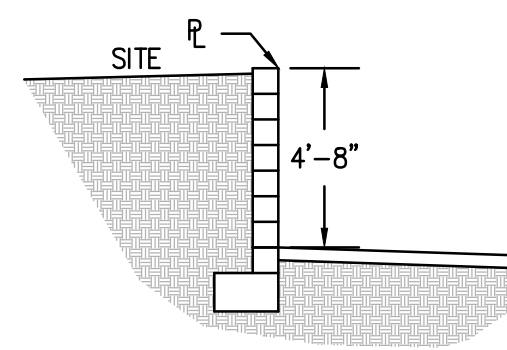
_____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY
_____ PRELIMINARY PLAT APPROVAL
☒ SITE PLAN FOR SUB'D APPROVAL
☒ SITE PLAN FOR BLDG. PERMIT APPROVAL
_____ FINAL PLAT APPROVAL
_____ SIA/ RELEASE OF FINANCIAL GUARANTEE
_____ FOUNDATION PERMIT APPROVAL
_____ GRADING PERMIT APPROVAL
_____ SO-19 APPROVAL
_____ PAVING PERMIT APPROVAL
_____ GRADING/ PAD CERTIFICATION
_____ WORK ORDER APPROVAL
_____ CLOMR/LOMR
_____ FLOODPLAIN DEVELOPMENT PERMIT
_____ OTHER (SPECIFY) _____

DATE SUBMITTED: 7/18/22 **By:** THE Group / Ron Hensley

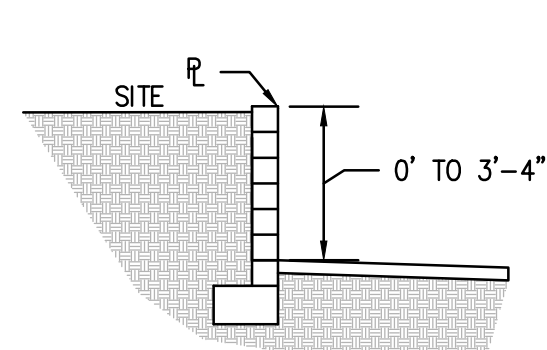
COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

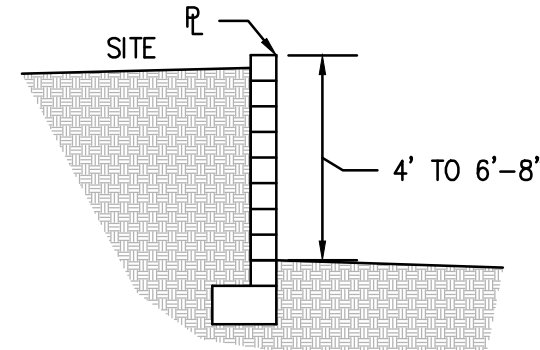
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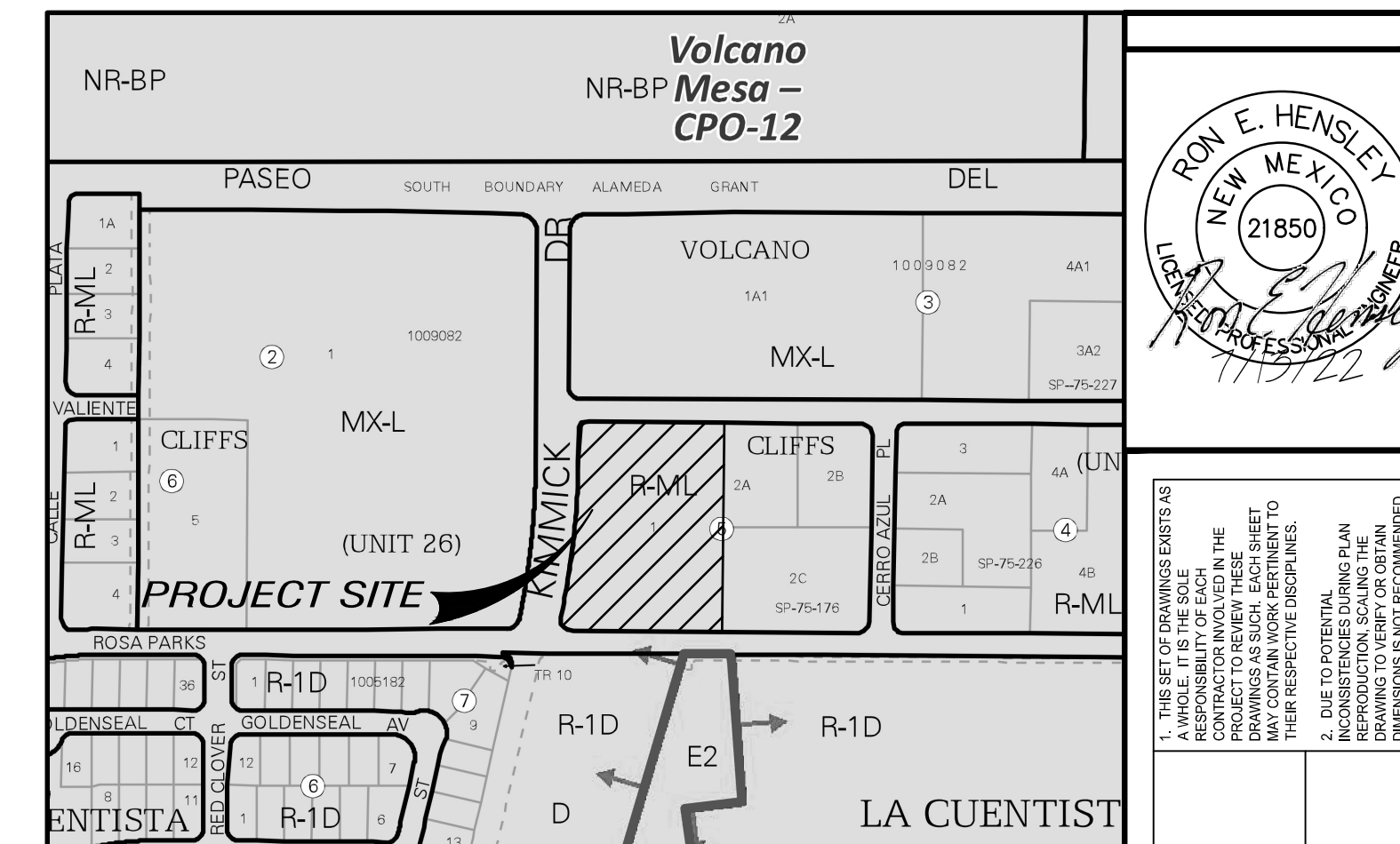
1 PL SECTION
Scale: 1"=5'



2 PL SECTION
Scale: 1"=5'



3 PL SECTION
Scale: 1"=5'



NOTES
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3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

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5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.

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LEGEND	
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	SLOPE ARROW
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	EXISTING ELEVATION
	GRADE BREAK
	PROPOSED CONTOUR
	EXISTING CONTOUR
	PROPOSED EASEMENT
	EXISTING WALL
	PROPOSED WALL
	SWALE / FLOW LINE



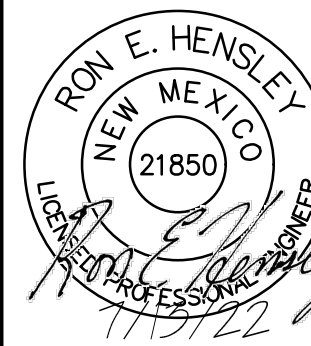
DEVELOPMENT MANAGEMENT CONSULTANTS

PROFESSIONAL CONSTRUCTION MANAGERS & CONSULTING ENGINEERS

9320 Menaul Blvd. NE, ste. D
Albuquerque, NM 87112

DMC

Office: (505) 296-7100
Fax: (505) 296-7105



1. THIS SET OF DRAWINGS EXIST AS A WHOLE. IF THE SOLE CONTRACTOR INVOLVED IN THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAWINGS AS SUCH. EACH SHEET OF THE DRAWINGS SHALL BE TO THE CONTRACTOR'S RESPONSIBILITY TO THEIR RESPECTIVE DISCIPLINES.

2. DUE TO POTENTIAL INCONSISTENCIES DURING PLAN INCORPORATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAWINGS TO VERIFY OR OBTAIN DIMENSIONS IF NOT RECOMMENDED.

PROJECT ADDRESS:
ALBUQUERQUE, NM

DRAWING NAME:
GRADING PLAN

PROJECT NAME:
THE MX AT PETROGLYPH ESTATES

PROJECT NUMBER:
PROJECT PROGRESS:
SITE PLAN

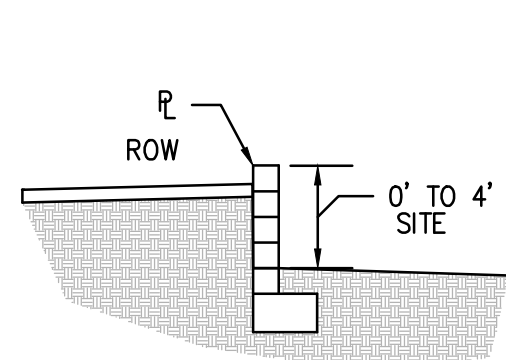
DRAWN BY:
REH

CHECKED BY:
REH / REH

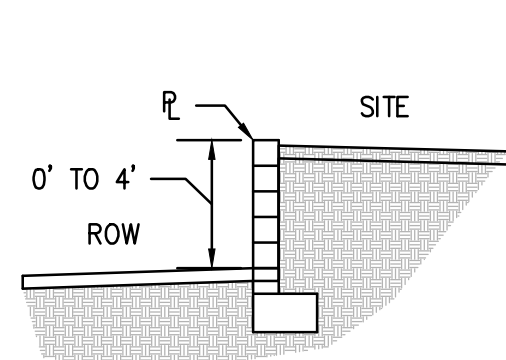
DATE:
JULY 13, 22

SCALE:
AS NOTED

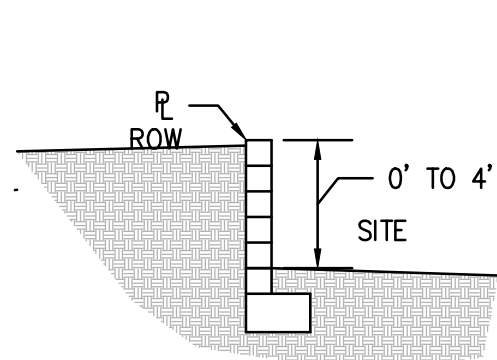
SHEET:
C2



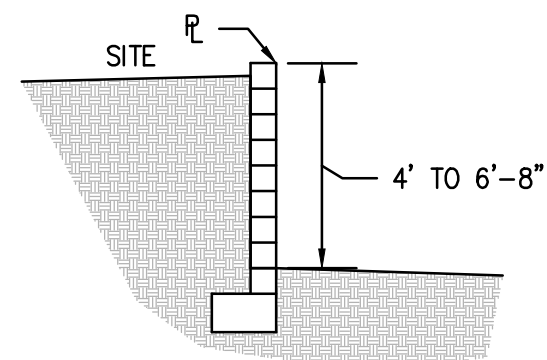
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Scale: 1"=5'



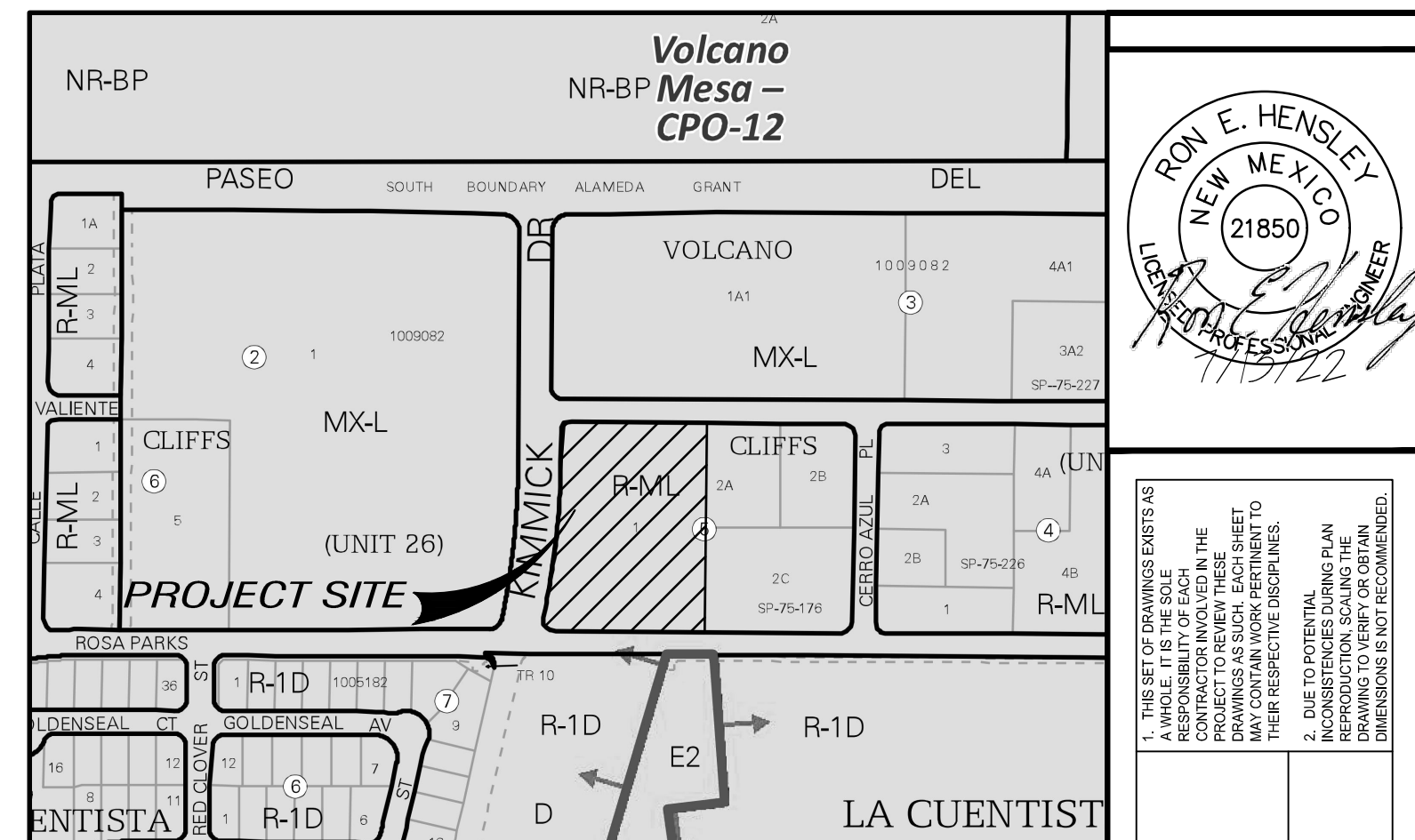
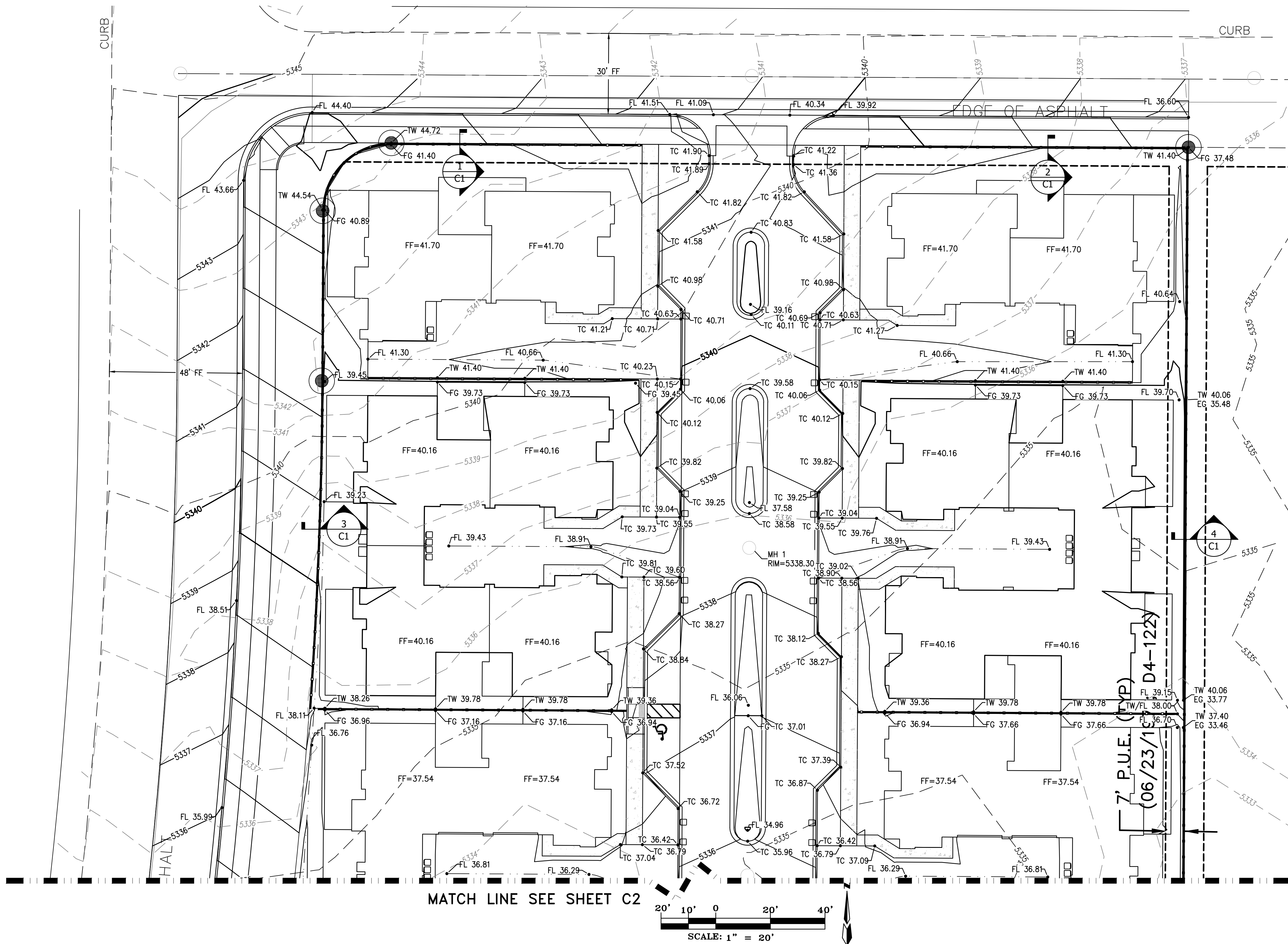
2 PL SECTION
Scale: 1"=5'



3 PL SECTION
Scale: 1"=5'



4 PL SECTION
Scale: 1"=5'



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LEGEND

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- PROPOSED ELEVATION
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- PROPOSED CONTOUR
- EXISTING CONTOUR
- PROPOSED EASEMENT
- EXISTING WALL
- PROPOSED WALL
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THE HENSLEY ENGINEERING GROUP
300 BRANDING IRON RD. SE
RIO RANCHO, NEW MEXICO 87124
Phone: (505) 410-1622

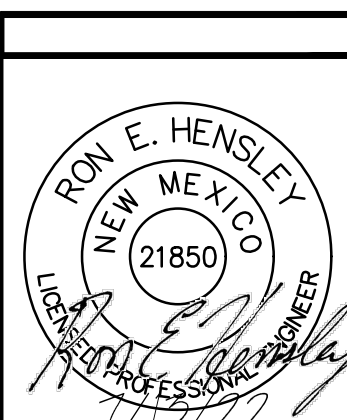
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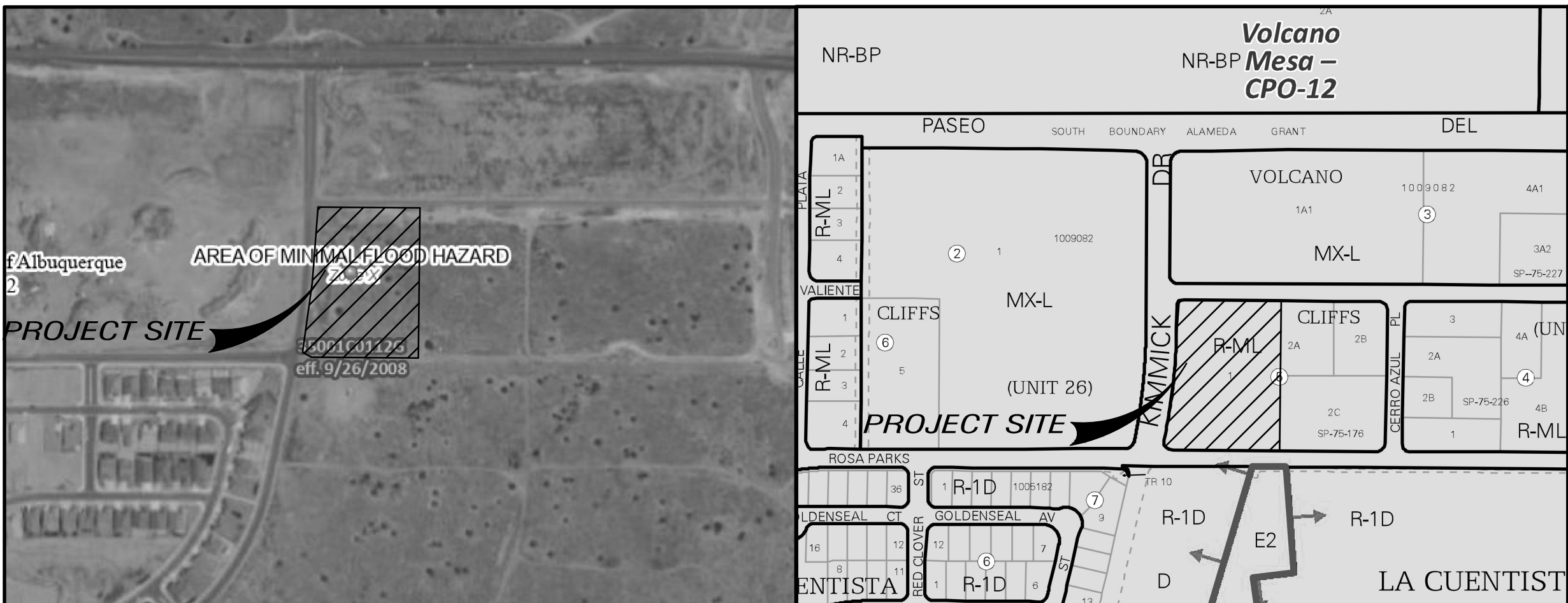
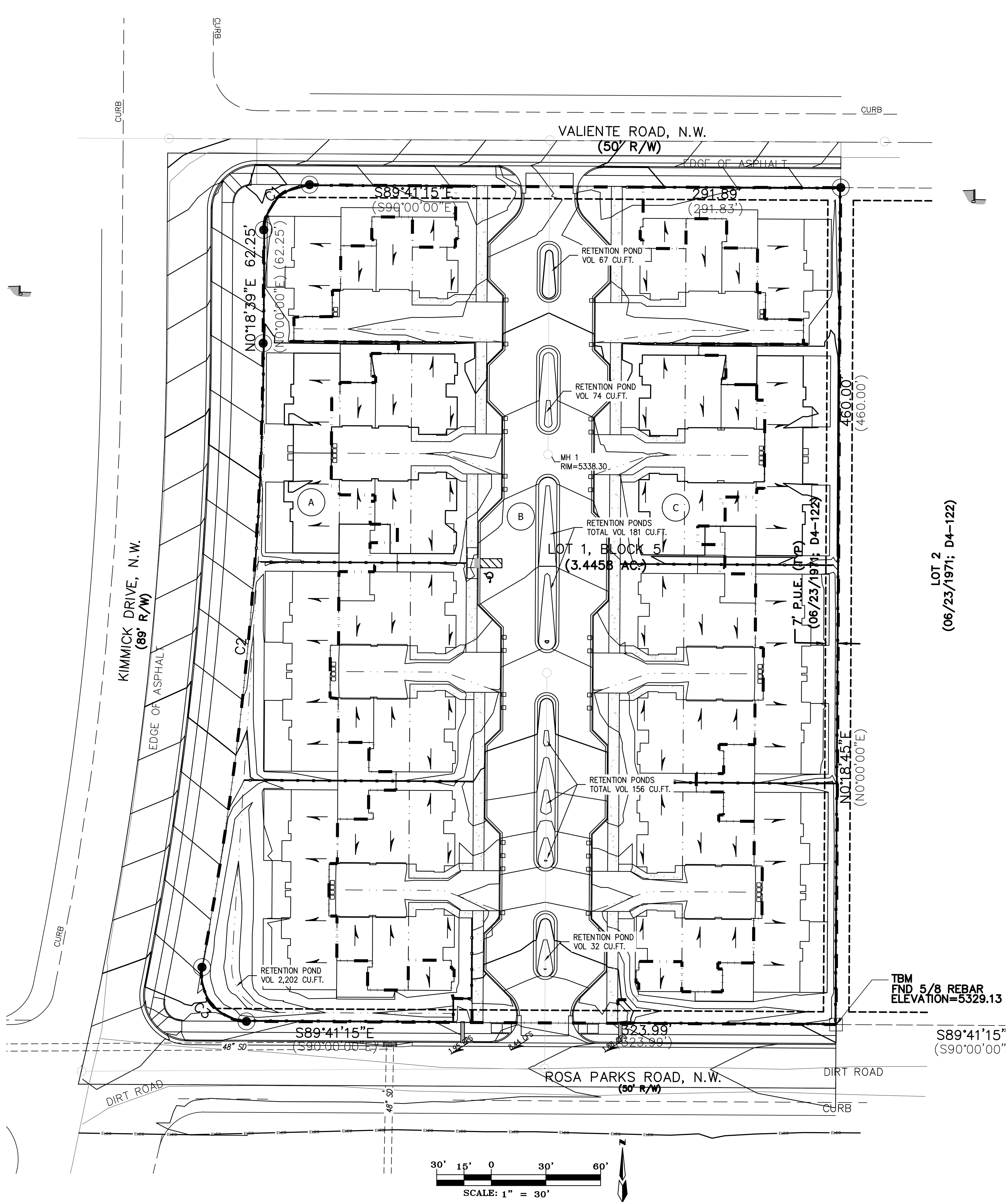
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PROJECT ADDRESS:
ALBUQUERQUE, NM
CLIENT'S NAME:

DRAWING NAME:
GRADING PLAN
PROJECT NAME:
THE MX AT PETROGLYPH ESTATES

PROJECT NUMBER:
PROJECT PROGRESS:
SITE PLAN
DRAWN BY:
REH
CHECKED BY:
REH / REH
DATE:
JULY 13, 22
SCALE:
AS NOTED
SHEET:

C1



FIRM MAP NO. 35001C112G
DRAINAGE INFORMATION

LOCATION & DESCRIPTION
THE PROPOSED SITE IS A TRACY OF 3.44 ACRES LOCATED AT KIMMICK AND ROSA PARKS, AS SEEN ON THE VICINITY MAP.

FLOODPLAIN STATUS
THE CONSTRUCTION OF THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0112G, DATED SEPTEMBER 26, 2008 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY
EQUATIONS:
WEIGHTED E = Ea**A*a + Eb**A*b + Ec**A*c + Ed**A*d / (Total Area)

FLOW = Qa * *A*a + Qb * *A*b + Qc * *A*c + Qd * *A*d

WHERE FOR 100-YEAR, 6-HOUR STORM(ZONE1)
Ea= 0.55 Qa= 1.54
Eb= 0.73 Qb= 2.16
Ec= 0.95 Qc= 2.87
Ed= 2.24 Qd= 4.12

PRECIPITATION
THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 1 AS IDENTIFIED IN THE DEVELOPMENT PROCESS MANUAL, SECTION 6-2.

EXISTING DRAINAGE
THIS SITE IS LOCATED WITHIN BASIN 301C OF SAD 228 ANALYSIS, BUT IS NOT WITHIN THE SAD 228 AREA. THE DRAINAGE MASTER PLAN OF LA CUENTISTA SUBDIVISION SUPPLEMENT DATED JANUARY 2007 INCORPORATES THE DEVELOPED FLOWS FROM THE SITE AT APPROXIMATELY 12.7 CFS. TO DISCHARGE TO THE STORM DRAIN IN ROSA PARKS ROAD. THE STORM DRAIN CONVEYS FLOS INTO A NATURAL DETENTION AREA SOUTH OF ROSA PARKS ROAD NAD IS QUTIFIED AS HAVING A TOTAL INFLOW OF 117 CFS.

BASIN	AREA (sf)	TREATMENT A % sf	TREATMENT B % sf	TREATMENT C % sf	TREATMENT D % sf	WEIGHTED E	VOLUME (cu.-ft.)	FLOW (cfs)	CFS/AC
EXISTING	149998	100%	149998	0%	0	0%	0	0.55	6875
PROPOSED A	28864	0%	0	60%	17318	0%	0	1.33	3209
PROPOSED B	95116	0%	0	13%	12365	0%	0	87%	82751
PROPOSED C	26018	0%	0	50%	13009	0%	0	1.49	3220
PROP. TOT.	149998	0%	0	28%	42692	0%	0	72%	107306

DEVELOPED CONDITION
THIS SITE WILL BE DEVELOPED AS MULTI-FAMILY WITH DEVELOPED RUNOFF ROUTED TO ROSA PARKS ROAD AS REQUIRED IN THE DRAINAGE MASTER PLAN WITH A FLOW OF 12.27 CFS AND CAPTURED BY. THE PROPOSED INLET THAT WILL REPLACE THE EXISTING MANHOLE.

REQUIRED WATER QUALITY VOLUME

LOT DRAINAGE AS DEPICTED ON THIS PLAN SHALL BE MAINTAINED.

LOT DEPICTED HEREON SHALL BE RESPONSIBLE FOR THE WATER QUALITY VOLUME. THE VOLUME SHALL BE EQUAL TO:
IMPERVIOUS AREA * 0.42/12 IN CUBIC FEET.

IMPERVIOUS AREA = 107,306 SQ.FT.

REQUIRED VOLUME = 107,306 * 0.42/12 = 3,766 CU.FT.
VOLUME PROVIDED = 2,712 CU.FT.

- LEGEND**
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 - PROPOSED CONTOUR
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Albuquerque, NM 87112

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PROJECT ADDRESS: ALBUQUERQUE, NM

PROJECT NAME: THE MX AT PETROGLYPH ESTATES

PROJECT NUMBER: DRAINAGE PLAN

PROJECT PROGRESS: SITE PLAN

DRAWN BY: REH

CHECKED BY: REH / APPROVED BY: REH

DATE: JUNE 29, 2022

SCALE: AS NOTED

SHEET: D1

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