

# CITY OF ALBUQUERQUE



October 8, 2007

Jackie McDowell, P.E.  
**McDowell Engineering, Inc.**  
7820 Beverly Hills Ave NE  
Albuquerque, NM 87122

**Re: Dr. Hawk Pediatrics, 9210 Golf Course Rd. NW,  
Approval of Permanent Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 03/30/07 (C-12/D002A1)  
Certification dated 10/07/07**

Ms. McDowell:

Based upon the information provided in your submittal received 10/05/07, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims  
Plan Checker, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk-Katrina Sigala  
File

# CITY OF ALBUQUERQUE



May 1, 2007

Jackie S. McDowell, P.E.  
McDowell Engineering, Inc.  
7820 Beverly Hills Ave NE  
Albuquerque, NM 87122

**Re: Dr. Hawk Pediatrics, Tract 5-D3B Paradise Valley, Grading and Drainage Plan**

**Engineer's Stamp dated 3-30-07 (C12/D002A1)**

Dear Ms. McDowell,

Based upon the information provided in your submittal dated 4-13-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

Sincerely,

Curtis A. Cherne, E.I.  
Engineering Associate, Planning Dept.  
Development and Building Services

[www.cabq.gov](http://www.cabq.gov)

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C: file

**ATTACHMENT NO. 1**

**SUPPLEMENTAL CALCULATIONS**

**FOR**

**MULLEN-HELLER/DR. HAWK**

**TRACT 5-D3B**

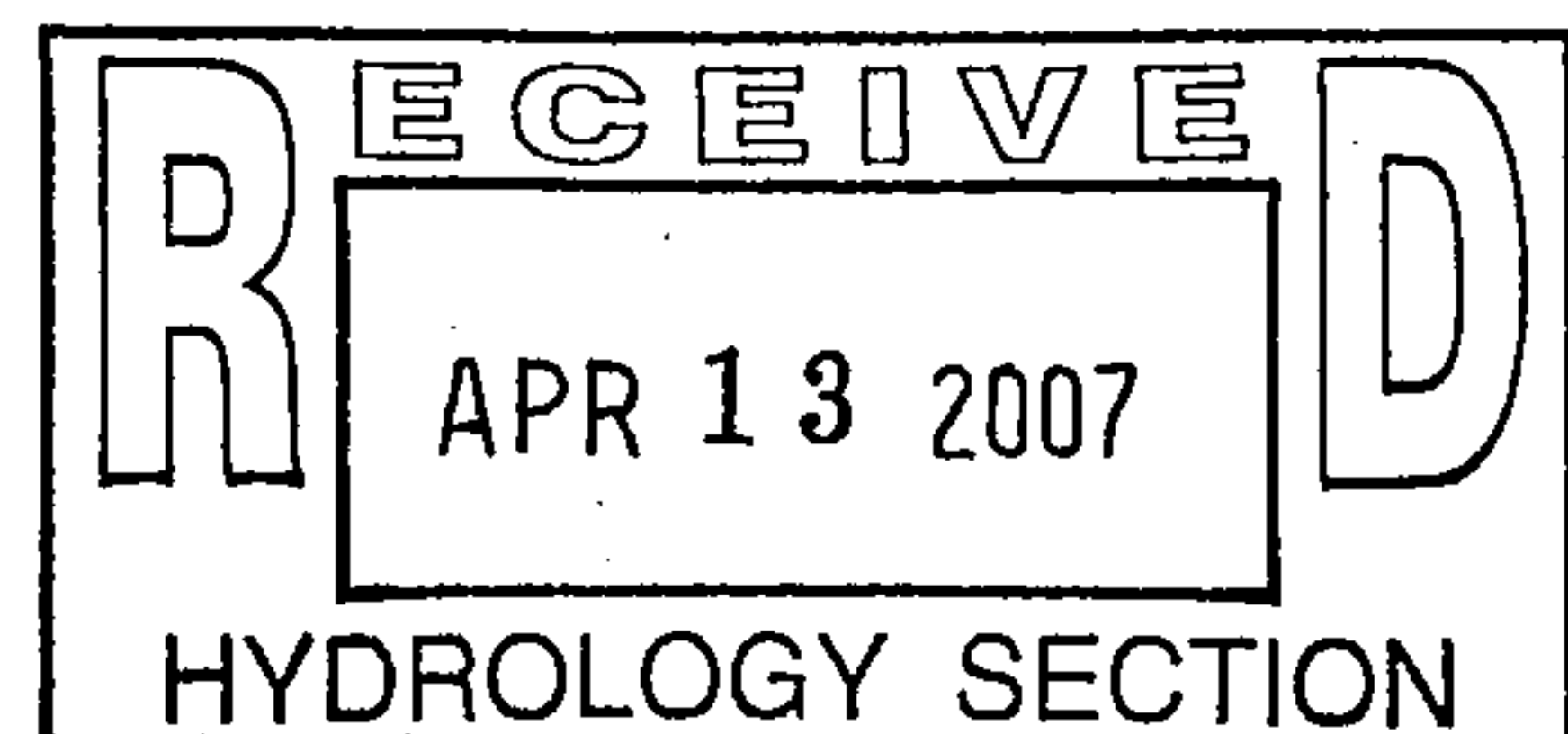
**PARADISE VILLAGE SUBDIVISION**

**GRADING & DRAINAGE PLAN**

I, Jackie S. McDowell, Registered Professional Engineer,  
No. 10903, hereby certify that I have prepared the attached  
calculations.

  **3-30-07**

Jackie S. McDowell, P.E. No. 10903



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## MULLEN-HELLER/DR. HAWK BLDG.

### DRAINAGE PLAN

#### SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A new building is proposed for the subject property in accordance with the previously approved grading & drainage plan prepared by Huitt-Zollars, Inc. with associated access, parking and landscaping.

#### EXISTING CONDITION:

2 pods  
Presently the site has been prepared for a building pad similar to the one proposed. The site is bounded on the north and west by commercial property, on the west by private residential property, and on the south by Marna Lynn Ave. NW. The site slopes from the east to the west and is not located in a 100-year floodplain per FEMA Map Panel No. 116. A storm drainage system with inlets and culverts has been installed in accordance with the approved grading and drainage plan for this property. A negligible amount of offsite runoff enters the property from the east.

#### PROPOSED CONDITION:

As shown by the plan, the new building is proposed for a previously approved building pad location with associated parking, landscaping and utility improvements. Parking/paving exists for the development of this lot. Free discharge is allowed from these properties into the existing storm drainage system that was designed and constructed as part of the overall development of this business complex by Huitt-Zollars. All negligible offsite runoff which currently enters the site will be allowed to continue to drain through the site in the same existing manner.

#### CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing 100-year runoff Volume = 6014 cu. ft.

Proposed 100-year runoff Volume = 6728 cu. ft.

Existing 100-year flow rate = 3.91 cfs  
Proposed 100-year flow rate = 4.18 cfs

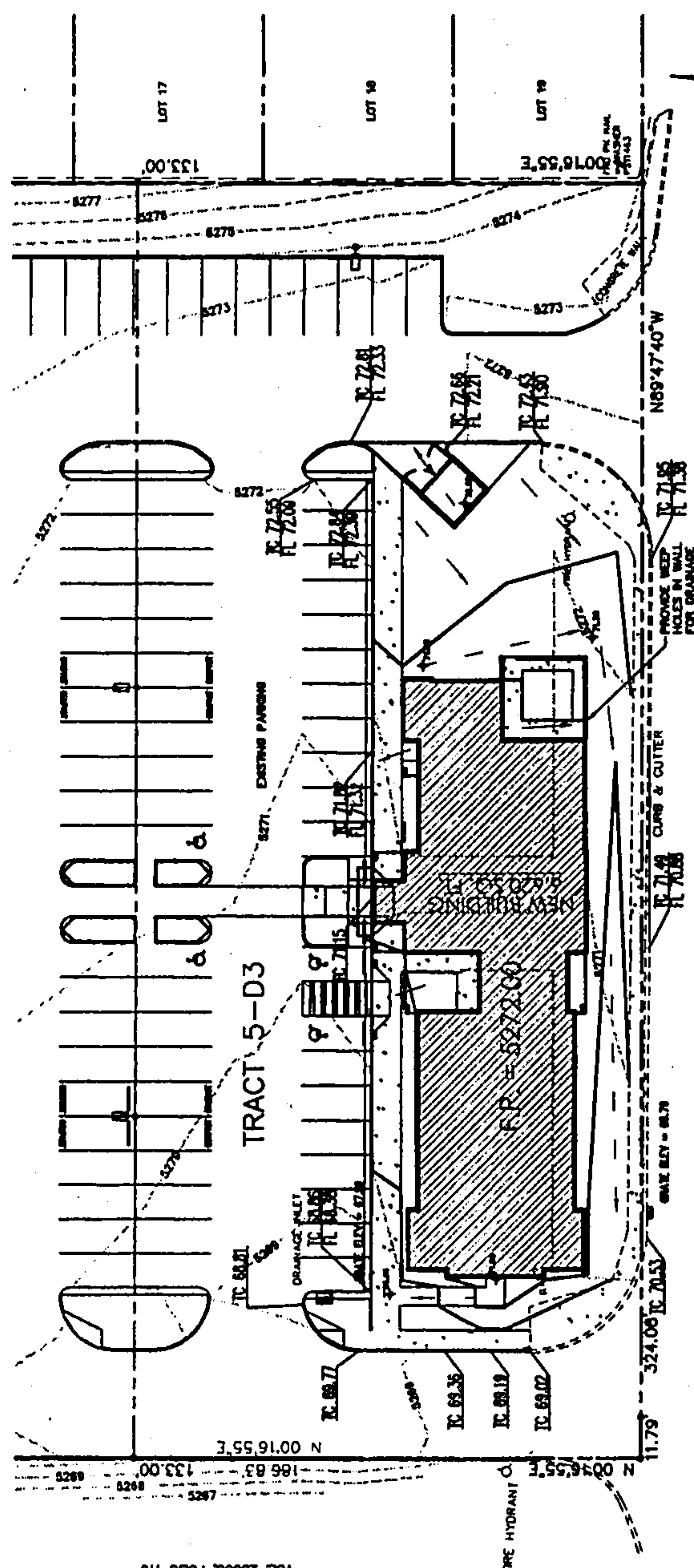
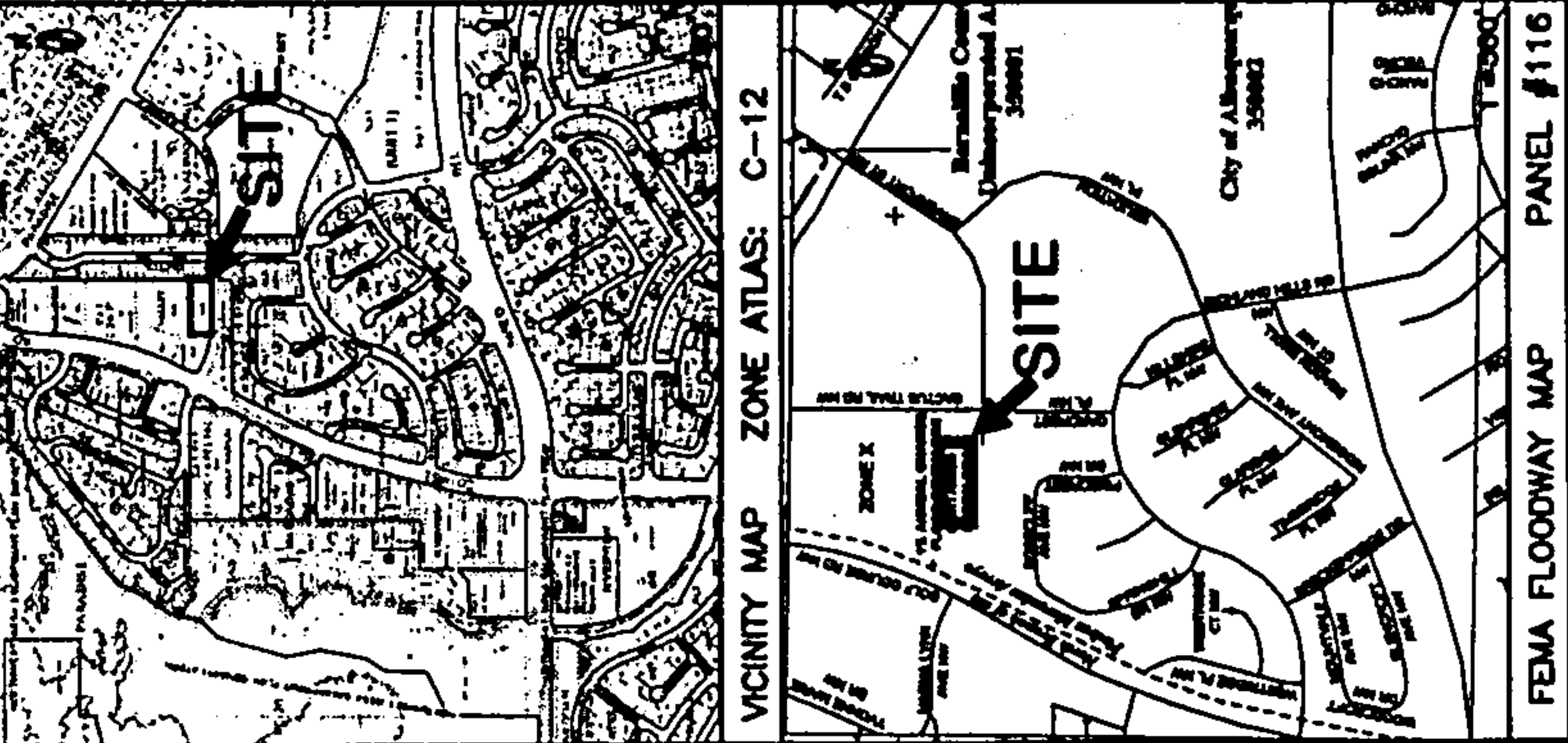
PROPERTY ADDRESS:

9210 Golf Course Road, NW

TOPOGRAPHY:

Survey information used from Huitt-Zollars approved Grading & Drainage plan dated September 23, 2004.





MARNA LYNN AVE. N.W.

MILLER-HELLER/DR. HAWK BLDG.

DRAINAGE PLAN

SCOPE

Pursuant to the latest City of Albuquerque Ordinances, the Drainage Plan shown herein outlines the drainage management criteria for controlling developed runoff on and within the project site. A new building is proposed for the subject property in accordance with the previously approved grading & drainage plan prepared by Multi-Zellers, Inc. with associated access, parking and landscaping.

EXISTING CONDITION

Presently the site has been prepared for a building pad similar to the one proposed. The site is bounded on the north and west by commercial property, on the east by private residential property, and on the south by Marna Lynn Ave. NW. The site slopes from the east to the west and is not located in a 100-year floodplain per FEMA Map Panel No. 116. A storm drainage system with pipes and curbs has been installed in accordance with the approved grading and drainage plan for this property. A negligible amount of offsite runoff enters the property from the west.

PROPOSED CONDITION

As shown by the plan, the new building is proposed for a previously approved building pad location with associated parking, landscaping and utility improvements. Parking/paving areas for the development of this lot. Free discharge is allowed from these properties into the existing storm drainage system that was designed and constructed as part of the overall development of this business complex by Multi-Zellers. All negligible offsite runoff which currently enters the site will be allowed to continue to drain through the site in the same existing manner.

CALCULATIONS

The calculations shown herein define the 100 year/75 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico" in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing 100-year runoff Volume = 6014 cu. ft.  
Proposed 100-year runoff Volume = 8728 cu. ft.  
Existing 100-year flow rate = 3.91 cfs  
Proposed 100-year flow rate = 4.18 cfs

PROPERTY ADDRESS

9210 Golf Course Road, NW

TOPOGRAPHY

Survey information used from Multi-Zellers approved Grading & Drainage plan dated September 23, 2004.

STANDARD ROOF DRAIN NOTE:  
ALL ROOF DRAINS SHALL BE EITHER ROUTED THROUGH A PIPE OR EXTERNAL CULVERT AROUND THE PERIMETER OF THE BUILDING TO DRAIN TO THE PARKING/ASPHALT AREAS. NO ROOF DRAINS SHALL DRAIN DIRECTLY ONTO PEDESTRIAN TRAFFIC AREAS.

TRACT 5-D2  
PARADISE VALLEY  
FILED: APR. 18, 2000  
VOL. 2000C, FOLIO 110

LEGEND	
EXISTING	PROPOSED
CONTOUR	ROAD
PROPERTY LINE	WALL
ROAD	SPOT ELEVATION
SETBACK	AS-BUILT (FIELD VERIFIED)
WALL	

GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, INACCURATE AT THE TIME OF CONSTRUCTION, OR THE ENGINEER HAS NOT VERIFIED THE LOCATION OF THESE UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREOF. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES IN PLANNING AND CONDUCTING EXCAVATIONS. THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL PROCESSES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMIS AND BY SETTING THE SOIL TO KEEP IT FROM BLOWING.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO

TRACT 5-D38

PARADISE VALLEY

MILLER-HELLER/DR. HAWK GRADING & DRAINAGE PLAN

McDowell Engineering, Inc.

1620 Broadway Ave. NE Albuquerque, NM 87107

Phone: (505) 833-3333 Fax: (505) 833-3333

Prepared: JHM Drawn: JHM Checked: JHM

Scale: AS SHOWN

Sheet: 1 of 1

Date: 04/03/2007

C-101

30-Mar-07

Calculations: Total Basin

MULLEN-HELLER/DR. HAWK  
ON-SITE CALCS

Calculations are based on "Section 22.2 Hydrology of the Development Process Manual, Volume 2, Design Criteria for the City of Albuquerque, New Mexico, latest edition - basins < 40 acres".

Precipitation Zone = 1

Depth at 100-year, 6-hour storm: (Table A-2)

P(360) = 2.20 inches  
P(10 day) = 3.67 inches

Land Treatments:

From Table 5 - Percent Treatment D

Single Family Residential =

$7 \cdot \text{SQR}((N \cdot N) + (5 \cdot N))$

where N = units/acre

N = ----- = -----, ok < 6

Areas: (acres)	Existing	Proposed
Treatment A	0.00	0.00
Treatment B	0.03	0.12
Treatment C	0.32	0.00
Treatment D	0.67	0.90
Total (acres) =	1.02	1.02

Volume	100 year Existing	100 year Proposed	10 year Existing	10 year Proposed	2 year Existing	2 year Proposed
Volume (acre-feet) =	0.138	0.154	0.082	0.095	0.043	0.054
Volume (cubic feet) =	6,014	6,728	3,551	4,147	1,892	2,357

Total Q(p), cfs:	100 year Existing Q(p)*A	100 year Proposed Q(p)*A	10 year Existing Q(p)*A	10 year Proposed Q(p)*A	2 year Existing Q(p)*A	2 year Proposed Q(p)*A
Treatment A	0.00	0.00	0.00	0.00	0.00	0.00
Treatment B	0.06	0.24	0.02	0.09	0.00	0.00
Treatment C	0.92	0.00	0.48	0.00	0.15	0.00
Treatment D	2.93	3.93	1.94	2.60	1.13	1.52
Total Q (cfs) =	3.91	4.18	2.44	2.69	1.28	1.52

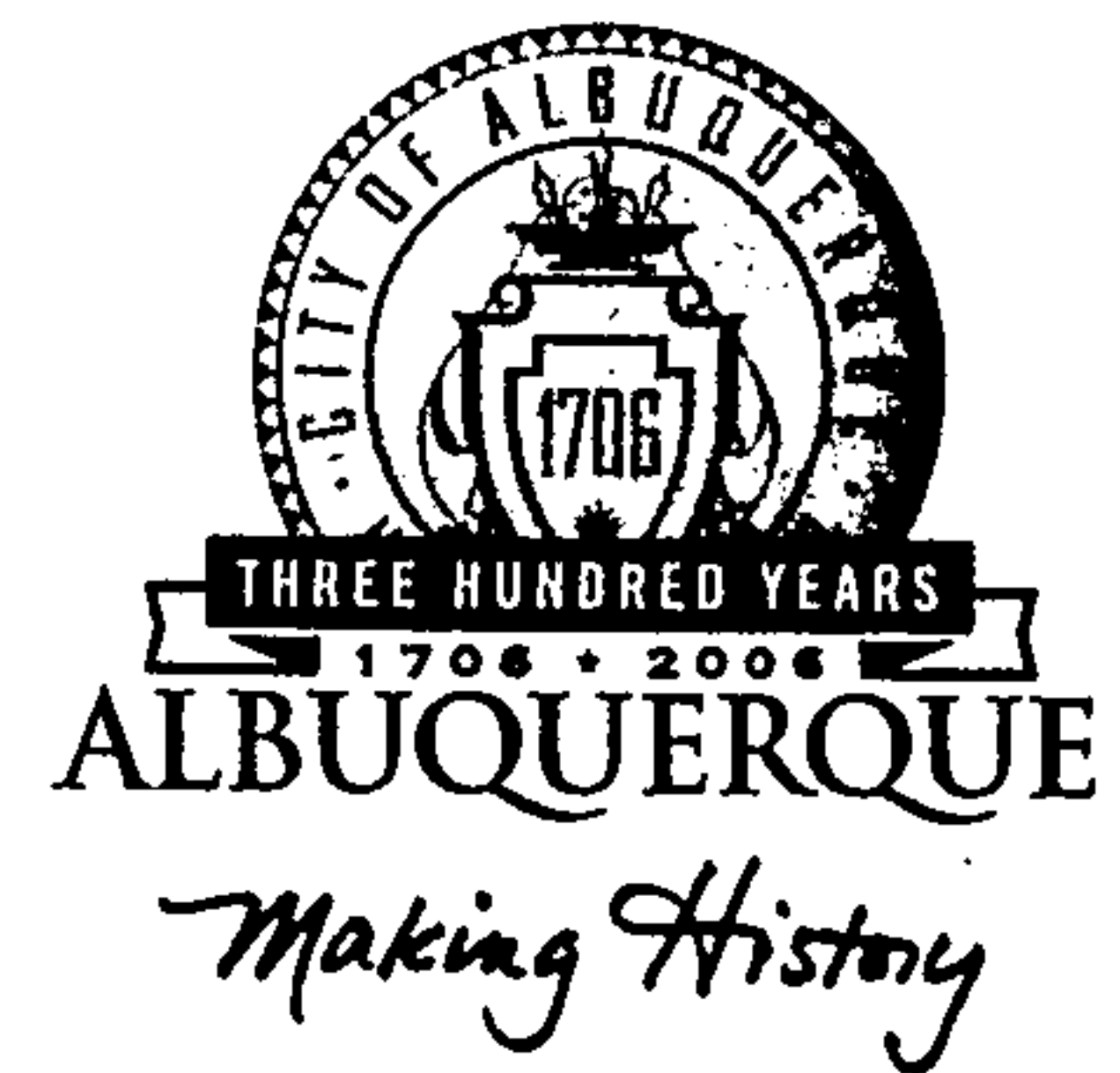
$$V(10 \text{ day}) = V(360) + A(D) \cdot (P_{10\text{day}} - P_{360}) / 12 \text{ in/ft} = 0.2647 \text{ ac-ft}$$

$$= 11530 \text{ cu-ft}$$

6



# CITY OF ALBUQUERQUE



June 6, 2005

Mr. Scott Eddings, P.E.  
**HUITT-ZOLLARS, Inc.**  
333 Rio Rancho Blvd.  
Rio Rancho, NM 87124

**Re: PETER PIPER PIZZA**  
**9260 Golf Course Rd. NW**  
**Approval of Permanent Certificate of Occupancy (C.O.)**  
**Engineer's Stamp dated 02/11/2005 (C-12/D2A1)**  
**Certification dated 06/03/2005**

P.O. Box 1293

Dear Scott:

Albuquerque

Based upon the information provided in your submittal received 06/06/2005, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

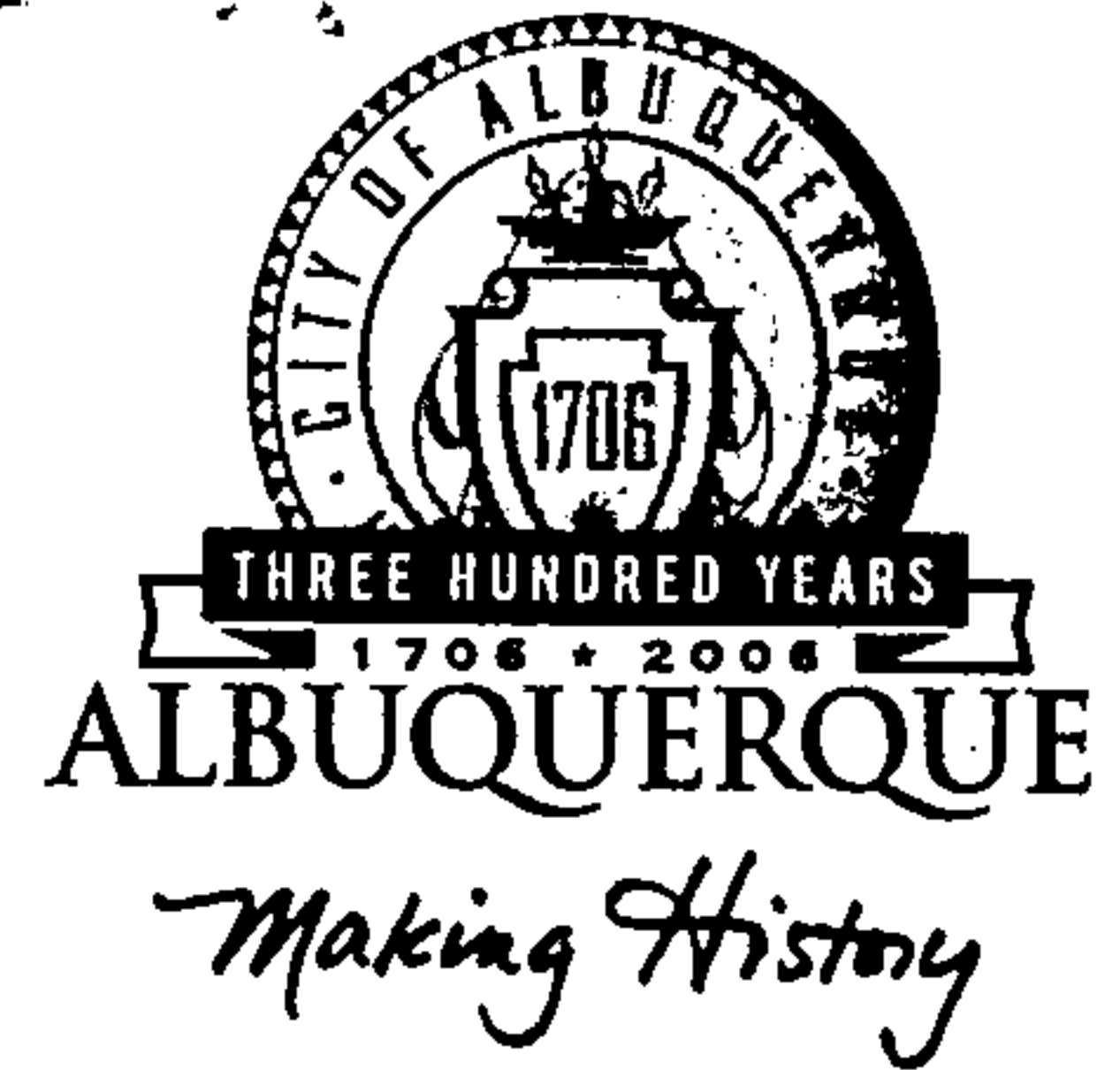
Sincerely,

[www.cabq.gov](http://www.cabq.gov)

Arlene V. Portillo  
Plan Checker, Planning Dept. - Hydrology  
Development and Building Services

C: Phyllis Villanueva  
File

# CITY OF ALBUQUERQUE



March 2, 2005

Mr. Robert Demeule III, PE  
Mr. Scott Eddings, PE  
Huitt-Zollars, Inc.  
333 Rio Rancho Blvd.  
Rio Rancho, NM 87124

**Re: Peter Piper Pizza, 9260 Golf Course Road, Grading and Drainage Plan  
Engineer's Stamp dated 2-11-05 (C12/D2A1)**

Dear Mr. Demeule,

Based upon the information provided in your submittal received 2-14-05, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

P.O. Box 1293

Albuquerque

New Mexico 87103

It appears that all of your construction is to take place on private property, not within a public right of way or easement. Therefore a SO #19 is not required. If your work does require modifying an public system improvement than a SO #19 will be required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit. Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

[www.cabq.gov](http://www.cabq.gov)

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 (Charles Caruso).

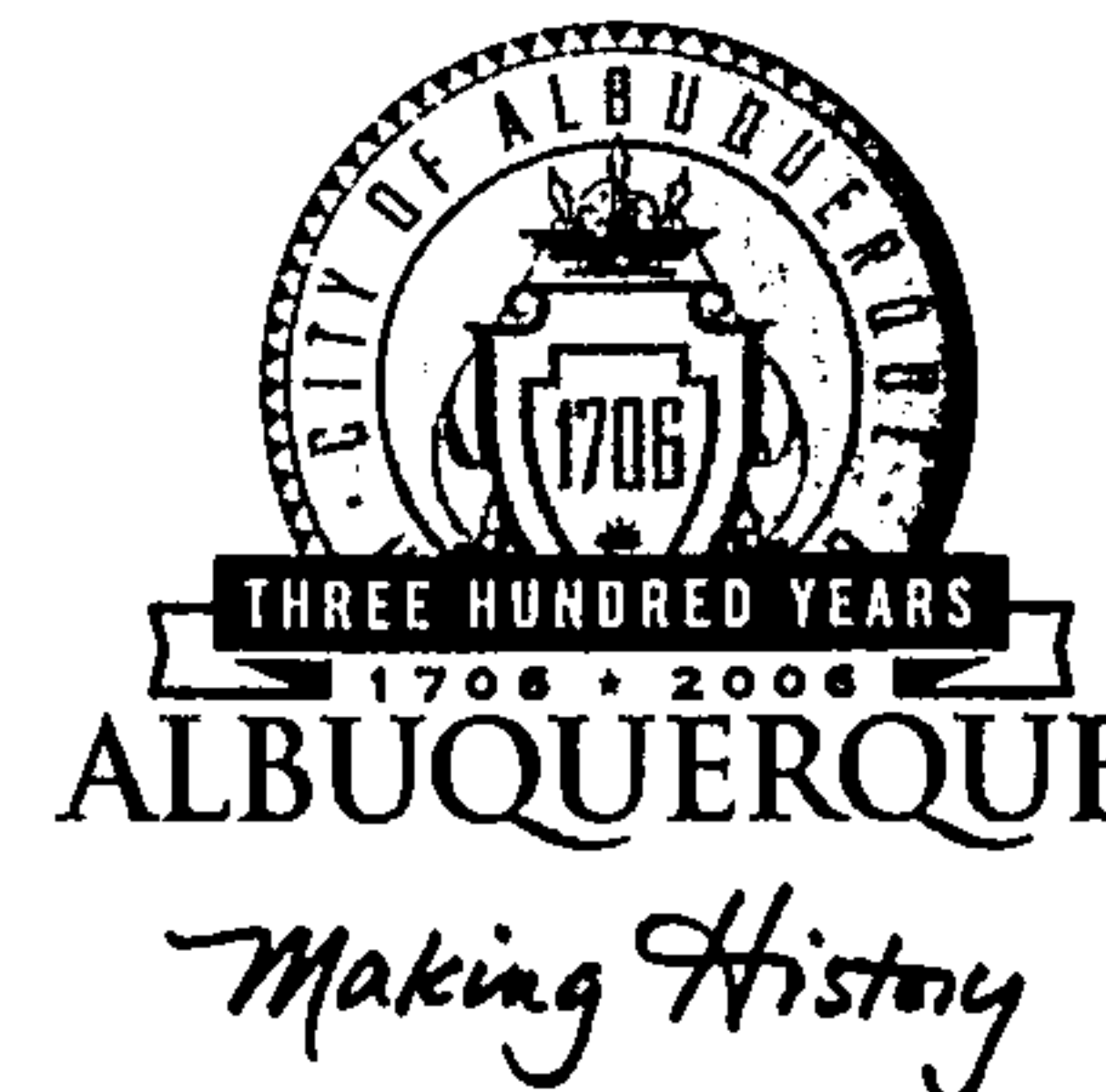
If you have any questions, you can contact me at 924-3999.

Sincerely,

Richard Dourte, PE  
Development and Building Services

C: Matt Cline, Arroyo Maintenance  
Pam Lujan, Excavation Permits  
Charles Caruso, DMD Storm Drainage Design  
File

# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

June 10, 2005

John Douglas Heller, Registered Architect  
1015 Tijeras Ave NW, Ste 220  
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Peter Piper Pizza, [C-12 / D2A1]  
9260 Golf Course Rd NW  
Architect's Stamp Dated 06/10/05

Dear Mr. Heller:

P.O. Box 1293

The TCL / Letter of Certification submitted on June 10, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103

  
Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

[www.cabq.gov](http://www.cabq.gov)

c: Engineer  
Hydrology file  
CO Clerk

June 10, 2005

Mr. Nilo Salgado-Fernandez  
City of Albuquerque  
Transportation Division  
600 Second Street NW  
Albuquerque, NM 87102

Re: Architects Certification for TCL  
Certificate of Occupancy  
Peter Piper Pizza  
9260 Golf Course Road NW  
Albuquerque, NM

Dear Nilo:

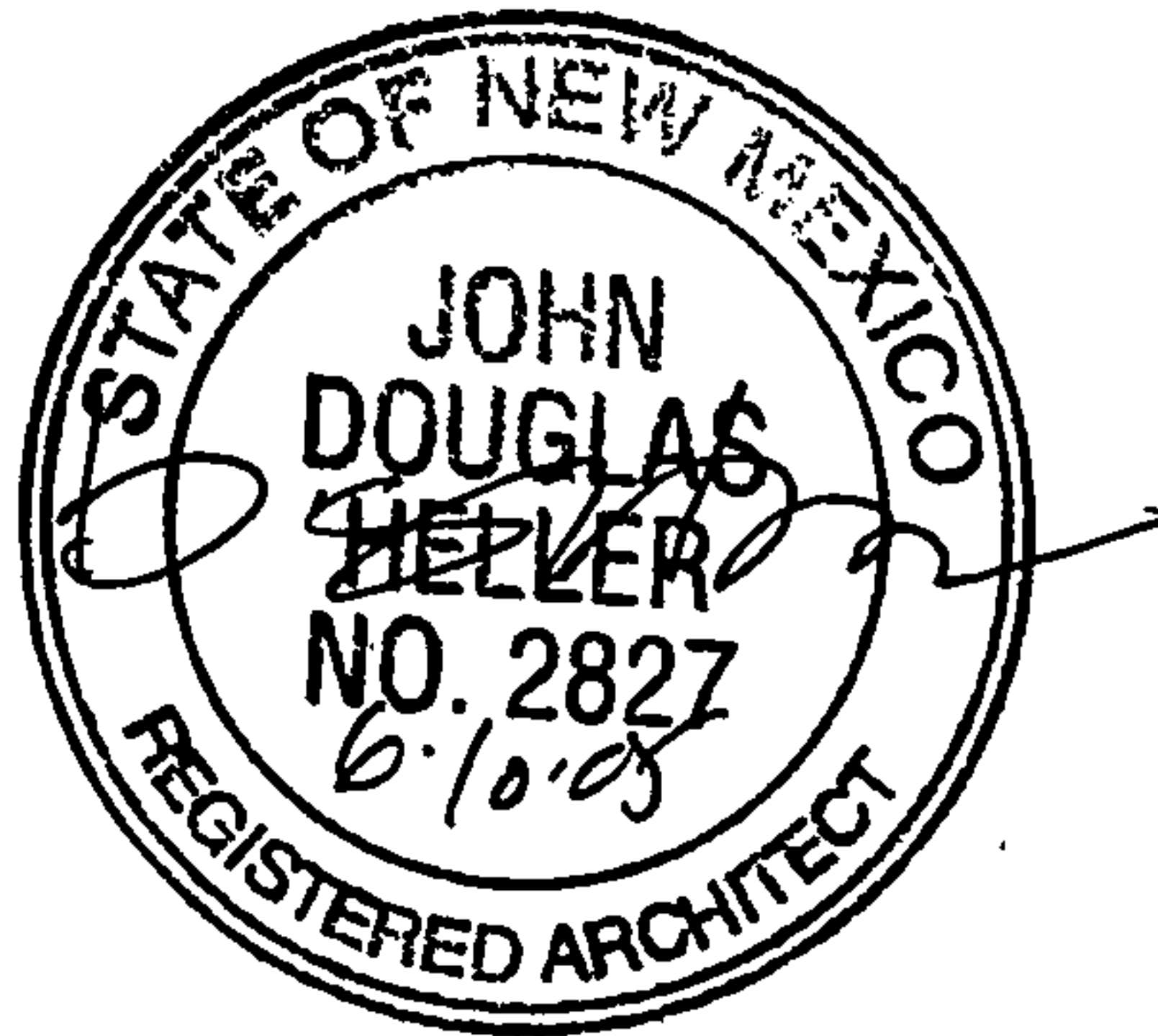
Attached is the as-built site plan and approved Traffic Circulation Layout for the above referenced project. I certify that the site has been built in substantial compliance as was approved through your office.

Please feel free to contact me if you have any questions.

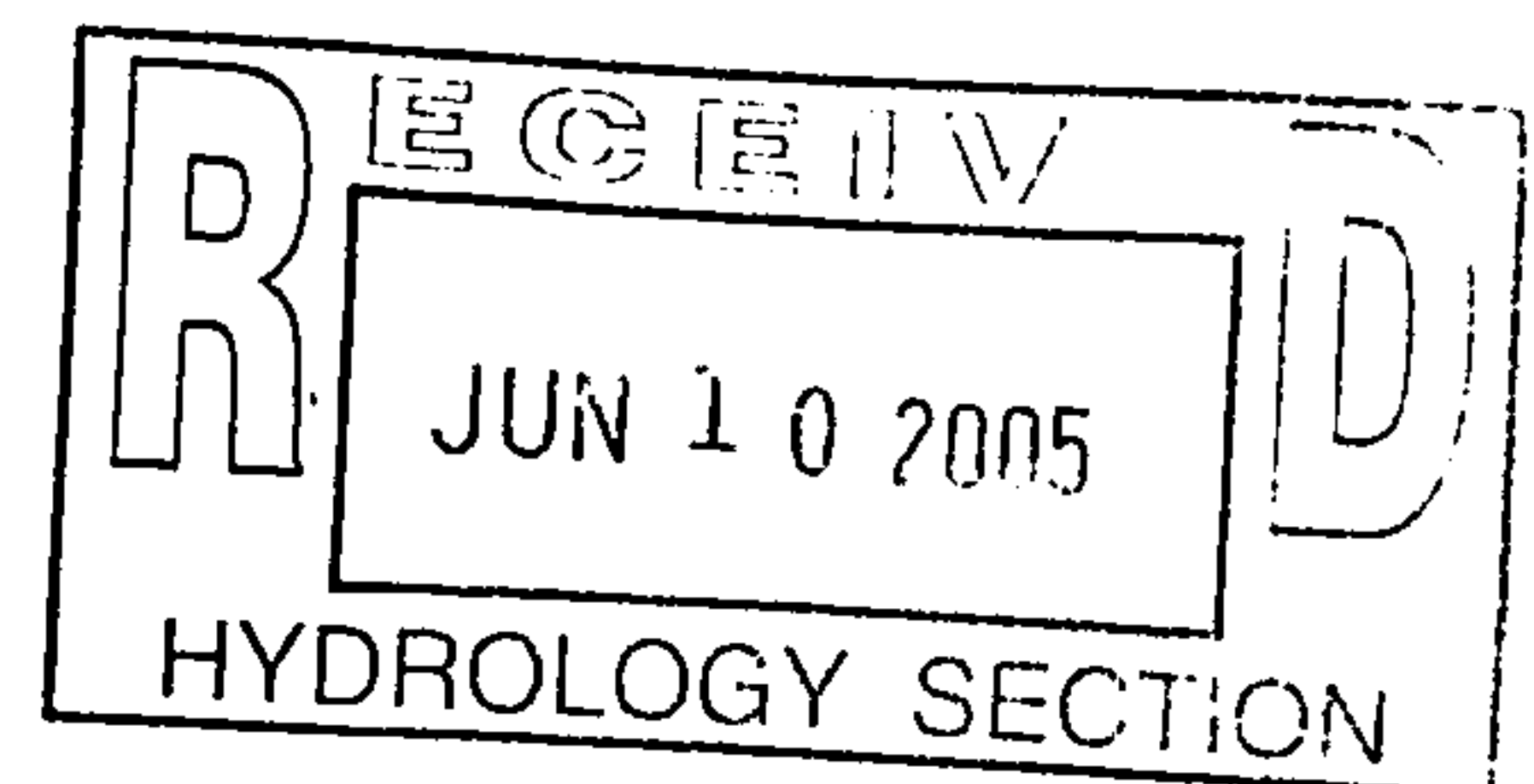
Sincerely,  
**Mullen Heller Architecture PC**



J. Douglas Heller, AIA



attachment





# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

September 19, 2007

Michele M. Mullen, Registered Architect  
Muller Heller Architecture P.C.  
924 Park Avenue SW, Ste. B  
Albuquerque, NM 87102

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Dr. Hawk's Pediatrics, [C-12 / D2A1]  
9210 Golf Course NW  
Architect's Stamp Dated 09/18/07

P.O. Box 1293

Dear Mr. Mullen:

Albuquerque

The TCL / Letter of Certification submitted on September 18, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

www.cabq.gov

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

September 18, 2007

Mr. Nilo Salgado-Fernandez, PE  
Senior Engineer, Planning Department  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: **Certificate of Occupancy for After Hours Pediatrics**  
**9210 Golf Course**  
**Albuquerque NM 87114**

Dear Nilo:

I, Michele Mullen, NMRA of Mullen Heller Architecture P.C., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the most recent approved Administrative Amendment dated August 28, 2007. I further certify that I personally visited the project site on September 13, 2007 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (TCL) for Temporary Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

Sincerely,  
**Mullen Heller Architecture PC**

  
Michele Mullen, AIA

Attachment: Approved Administrative Amendment  
Drainage and Transportation Information Sheet

