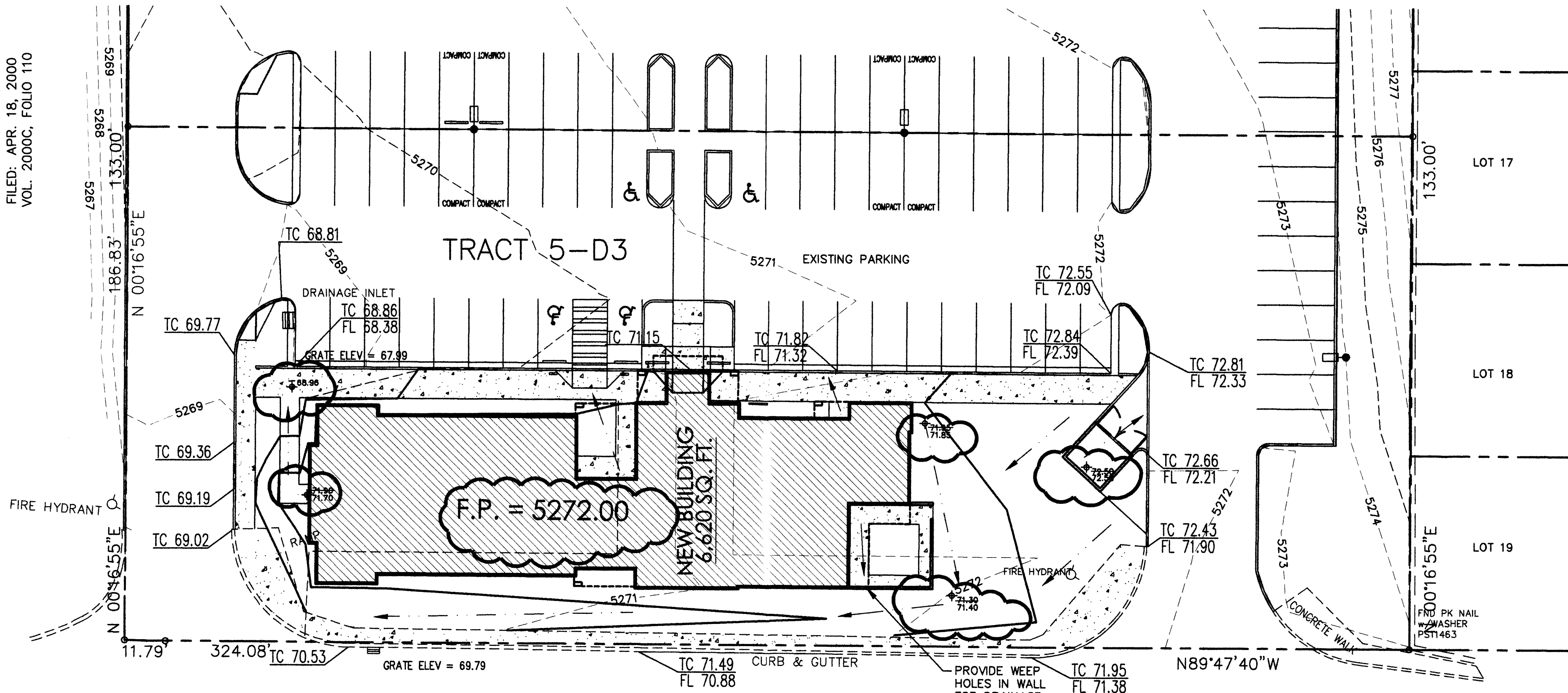


STANDARD ROOF DRAIN NOTE:
ALL ROOF DRAINS SHALL BE EITHER ROUTED THROUGH A PIPE OR SIDEWALK CULVERT AROUND THE PERIMETER OF THE BUILDINGS TO DRAIN TO THE PARKING/ASPHALT AREAS. NO ROOF DRAINS SHALL DRAIN DIRECTLY ONTO PEDESTRIAN TRAFFIC AREAS.

LEGEND	
EXISTING	PROPOSED
CONTOUR	5820 5850
PROPERTY LINE	
ROAD	
SETBACK	
WALL	
SPOT ELEVATION	TC 71.82 FL 71.32 AS-BUILT (FIELD VERIFIED)
AS BUILT SPOT ELEVATION	71.95

TRACT 5-D2
PARADISE VALLEY
FILED: APR. 18, 2000
VOL. 2000C, FOLIO 110



MARNA LYNN AVE. N.W.

GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN, THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
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- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

MULLEN-HELLER/DR. HAWK BLDG.

DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque Ordinance, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A new building is proposed for the subject property in accordance with the previously approved grading & drainage plan prepared by Huitt-Zollars, Inc. with associated access, parking and landscaping.

EXISTING CONDITION:

Presently the site has been prepared for a building pad similar to the one proposed. The site is bounded on the north and west by commercial property, on the west by private residential property, and on the south by Marna Lynn Ave. NW. The site slopes from the east to the west and is not located in a 100-year floodplain per FEMA Map Panel No. 116. A storm drainage system with inlets and culverts has been installed in accordance with the approved grading and drainage plan for this property. A negligible amount of offsite runoff enters the property from the east.

PROPOSED CONDITION:

As shown by the plan, the new building is proposed for a previously approved building pad location with associated parking, landscaping and utility improvements. Parking/paving exists for the development of this lot. Free discharge is allowed from these properties into the existing storm drainage system that was designed and constructed as part of the overall development of this business complex by Huitt-Zollars. All negligible offsite runoff which currently enters the site will be allowed to continue to drain through the site in the same existing manner.

CALCULATIONS:

The calculations shown hereon define the 100 year/6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, latest edition.

Existing 100-year runoff Volume = 6014 cu. ft.
Proposed 100-year runoff Volume = 6728 cu. ft.

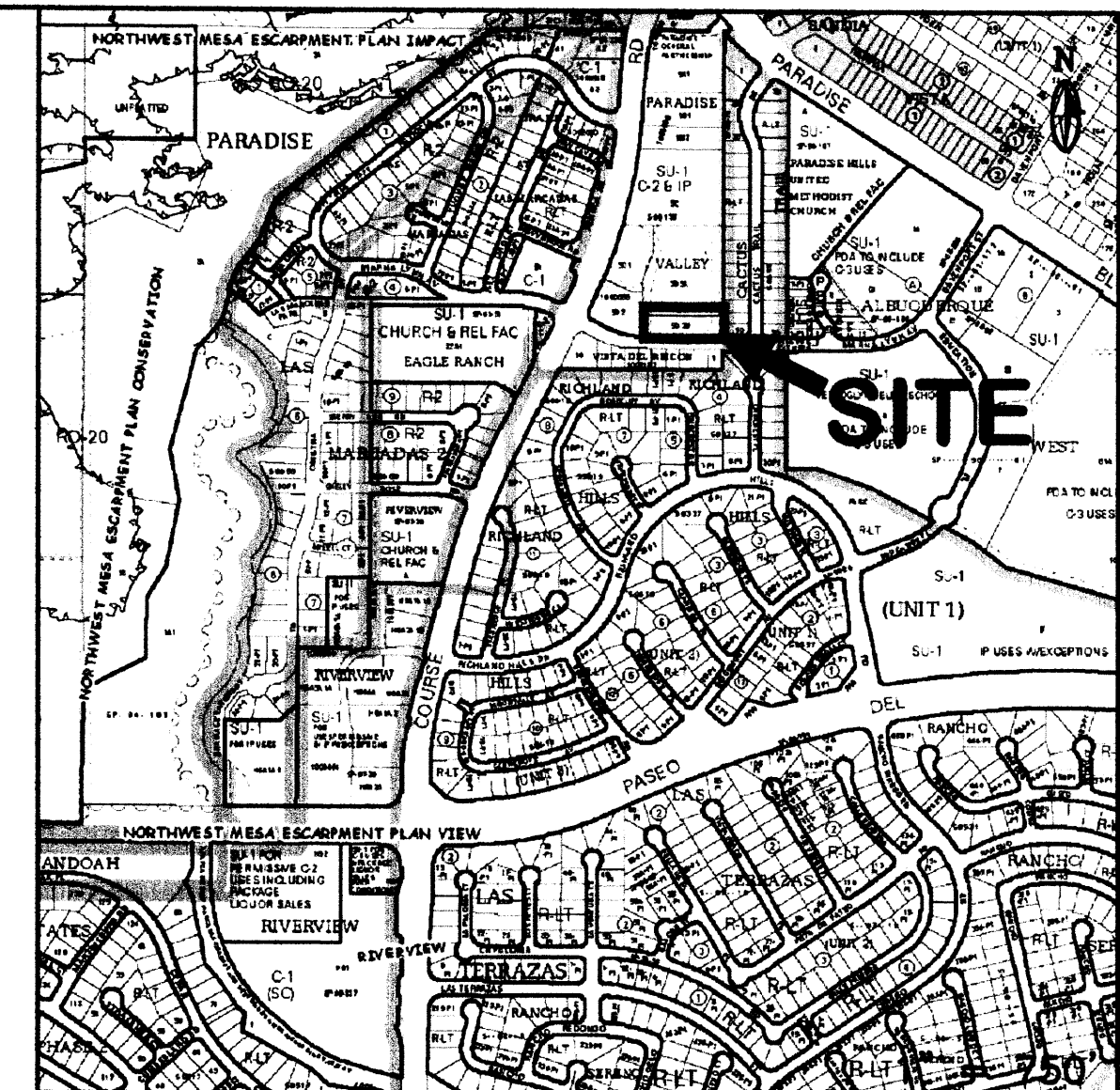
Existing 100-year flow rate = 3.91 cfs
Proposed 100-year flow rate = 4.18 cfs

PROPERTY ADDRESS:

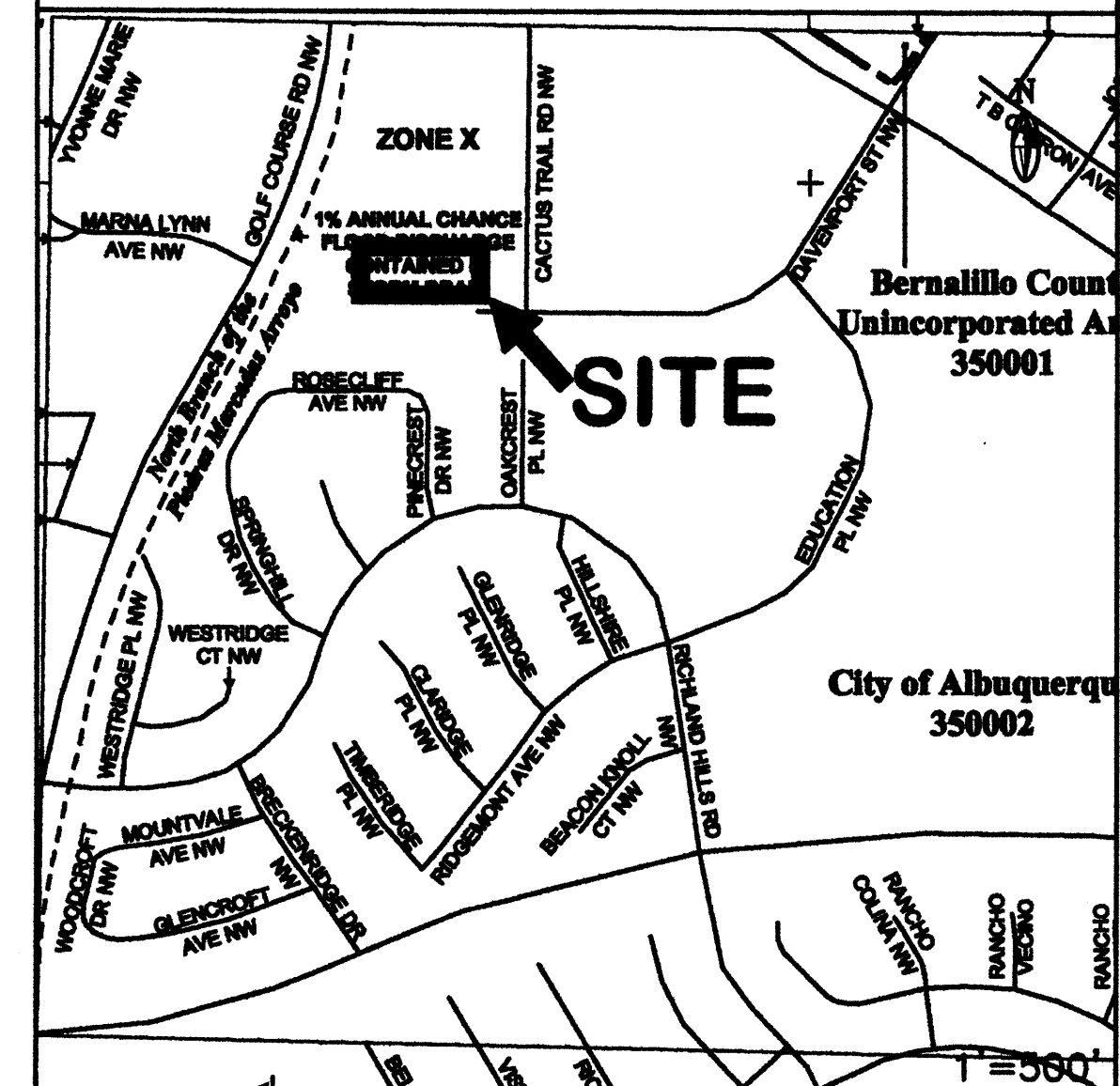
9210 Golf Course Road, NW

TOPOGRAPHY:

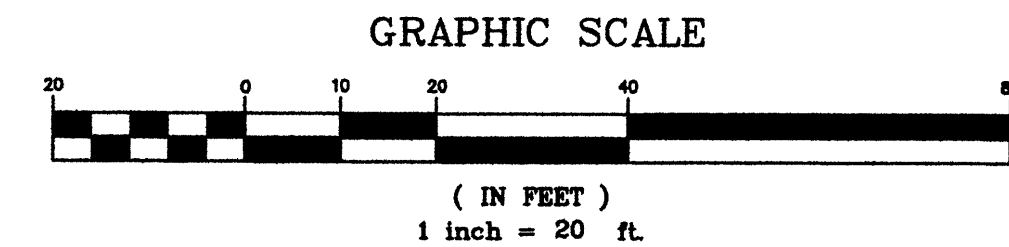
Survey information used from Huitt-Zollars approved Grading & Drainage plan dated September 23, 2004.



VICINITY MAP ZONE ATLAS: C-12



FEMA FLOODWAY MAP PANEL #116



DRAINAGE CERTIFICATION:

I, JACKIE S. MCDOWELL, P.E., OF MCDOWELL ENGINEERING, INC. NMPE #10903 HEREBY CERTIFY THAT THE AS-BUILT DRAINAGE CONDITIONS OF THE SITE ARE IN SUBSTANTIAL COMPLIANCE WITH THE APPROVED GRADING AND DRAINAGE PLAN, TO THE BEST OF MY KNOWLEDGE AND BELIEF. AS-BUILT ELEVATIONS ARE SHOWN ON THE PLAN WHERE THE ORIGINAL DESIGN ELEVATION HAS BEEN CROSSED OUT AND THE AS-BUILT ELEVATION ADDED.

JACKIE S. MCDOWELL
REGISTERED PROFESSIONAL ENGINEER
10-7-07

JACKIE S. MCDOWELL
REGISTERED PROFESSIONAL ENGINEER
3-30-07

RECEIVED
OCT 05 2007
HYDROLOGY SECTION

CITY OF ALBUQUERQUE, BERNALILLO COUNTY		NEW MEXICO			
TRACT 5-D3B PARADISE VALLEY					
MULLEN-HELLER/DR. HAWK GRADING & DRAINAGE PLAN					
McDowell Engineering, Inc.					
7820 Beverly Hills Ave. NE Albuquerque, NM 87122 tele: (505) 828-2430 fax: (505) 821-4857					
Designed JSM	Drawn STAFF	Checked JSM	Sheet of		
File MUL0107L	Date MARCH, 2007	C-101			

revision	by	sae	date	rev
1	SAE	5/27/05	1	SAE
2	SAE	3/19/05	2	SAE
3	SAE	02/28/05	3	SAE
4	SAE	02/11/05	4	SAE

Mullen Heller
Architecture P.C.
1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144 [p]
505 268 4244 [f]

HUITT-ZOLLARS, INC.
Consulting Engineers
17-0510-01
KS
SAE
02/11/05

project title
PETER PIPER PIZZA
9260 Golf Course Road NW
Albuquerque, New Mexico
sheet title
Grading and Drainage Plan

job number
drawn by
project manager
date

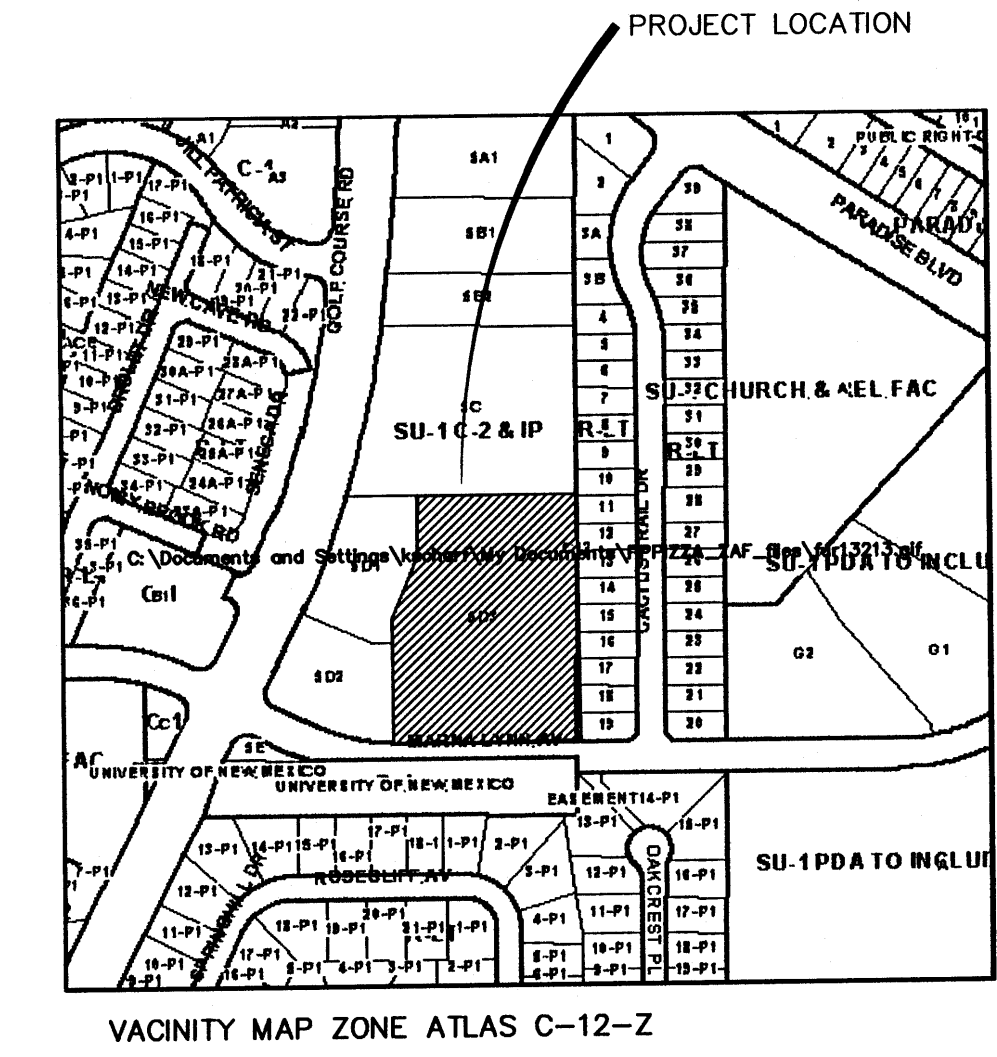
sheet-
C001

GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
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KEYED NOTES

- REMOVE TYPE "C" INLET
- CONSTRUCT TYPE "C" INLET
- CONSTRUCT CURB & GUTTER TO MATCH EXISTING CURB
- CONSTRUCT CURB & GUTTER PER SITE PLAN
- CONSTRUCT SIDEWALK PER SITE PLAN
- CONSTRUCT HANDICAP RAMP PER SITE PLAN
- INSTALL ASPHALT PAVING



CALCULATIONS

THE FOLLOWING CALCULATIONS WERE DEVELOPED USING THE CITY OF ALBUQUERQUE DPM SECTION 22.2

SITE CHARACTERISTICS:
SITE LOCATION: ZONE 3
PRECIPITATION: P=2.60 inches

LAND TREATMENT:
UNCOMPACTED SOIL - TREATMENT A
LANDSCAPE - TREATMENT B
COMPACTED SOIL - TREATMENT C
BUILDINGS & PAVING - TREATMENT D

EXCESS PRECIPITATION:
TREATMENT A E = 0.66 inches
TREATMENT B E = 0.92 inches
TREATMENT C E = 1.29 inches
TREATMENT D E = 2.36 inches

PEAK DISCHARGE:
TREATMENT A = 1.87 cfs/acre
TREATMENT B = 2.60 cfs/acre
TREATMENT C = 3.45 cfs/acre
TREATMENT D = 5.02 cfs/acre
TOTAL AREA = 2.90 AC.

EXISTING PROPOSED
TREATMENT A = 2.90 AC. = 0.0% 0.00 AC. = 0.0%
TREATMENT B = 0.00 AC. = 0.0% 0.12 AC. = 15.1%
TREATMENT C = 0.00 AC. = 0.0% 0.33 AC. = 10.0%
TREATMENT D = 0.00 AC. = 0.0% 2.40 AC. = 74.9%

ONSITE - EXCESS PRECIPITATION & VOLUMETRIC RUNOFF:
EXISTING RUNOFF:
WEIGHTED E = [(0.66)(2.90)+(0.92)(0.00)+(1.29)(0.00)+(2.36)(0.00)]/2.90
= 1.91 inches
V100-6HR = (0.66)(2.90)/12 = 0.1595 acre ft = 6,948 cf

DEVELOPED RUNOFF:
WEIGHTED E = [(0.66)(0.00)+(0.92)(0.12)+(1.29)(0.33)+(2.36)(2.40)]/2.90
= 2.49 inches
V100-6hr = (2.49)(2.90)/12 = 0.60175 acre ft = 26,212cf

ON-SITE - PEAK DISCHARGE
EXISTING DISCHARGE:
Q100 = (1.87)(2.90)+(2.60)(0.00)+(3.45)(0.00)+(5.02)(0.00) = 5.42 cfs
DEVELOPED DISCHARGE:
Q100 = (1.87)(0.00)+(2.60)(0.12)+(3.45)(0.33)+(5.02)(2.40) = 13.50 cfs

RESULTS:
DEVELOPED VOLUMETRIC RUNOFF:
2,6212 - 6,948 = 19,264 cf INCREASE IN RUNOFF VOLUME
DEVELOPED PEAK DISCHARGE:
13.50 - 5.42 = 8.08 cfs INCREASE IN PEAK DISCHARGE

DRAINAGE CERTIFICATION

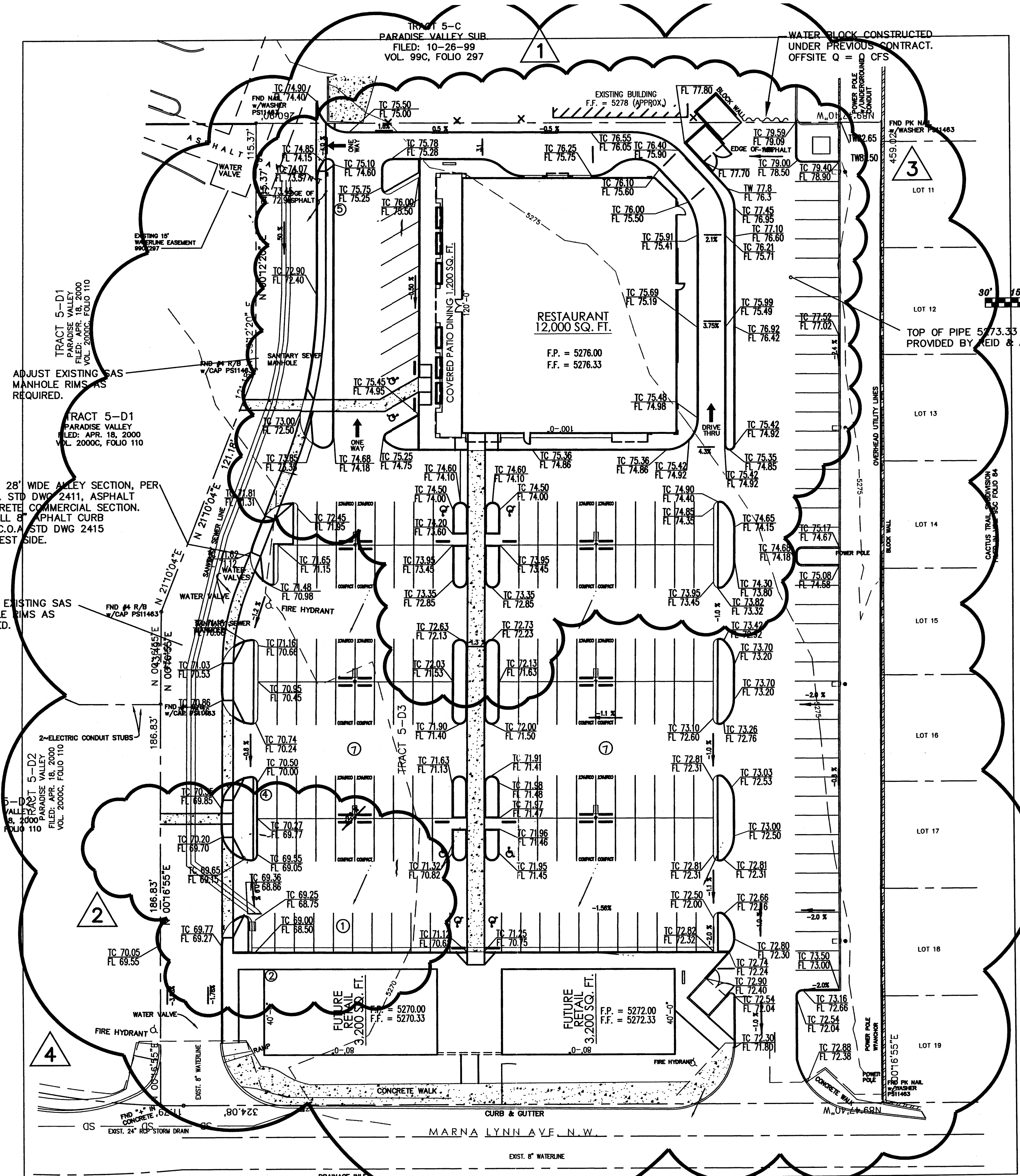
I, SCOTT A. EDDINGS, NMPE 12856, OF HUITT-ZOLLARS, INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED FEB 2, 2005. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY DAN B. HOLMES, NMPS 9243, OF HUITT-ZOLLARS, INC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Signature
SCOTT A. EDDINGS, NMPE 12856
DATE 4/3/05

Designed By:

HUITT-ZOLLARS
Rio Rancho
333 Rio Rancho Drive NE, Suite 101
Rio Rancho, New Mexico 87124
Phone (505) 892-5141 Fax (505) 892-3259



FLOOD ZONE

PER THE FEMA MAP NUMBER 350002 0008 C DATED OCTOBER 14, 1983 THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE AREA.

BENCHMARK

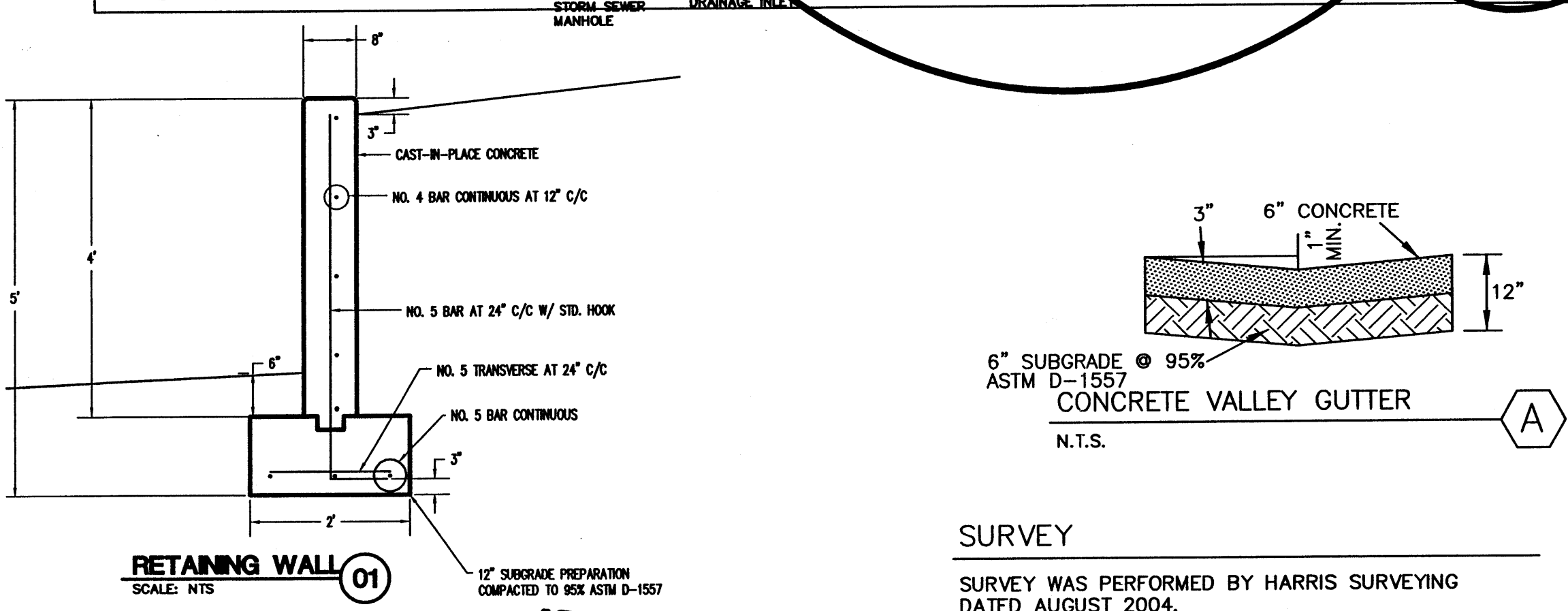
CHISELED "C" IN TOP BACK OF CURB BEHIND FOUND DRILL HOLE
ELEV. = 34.57

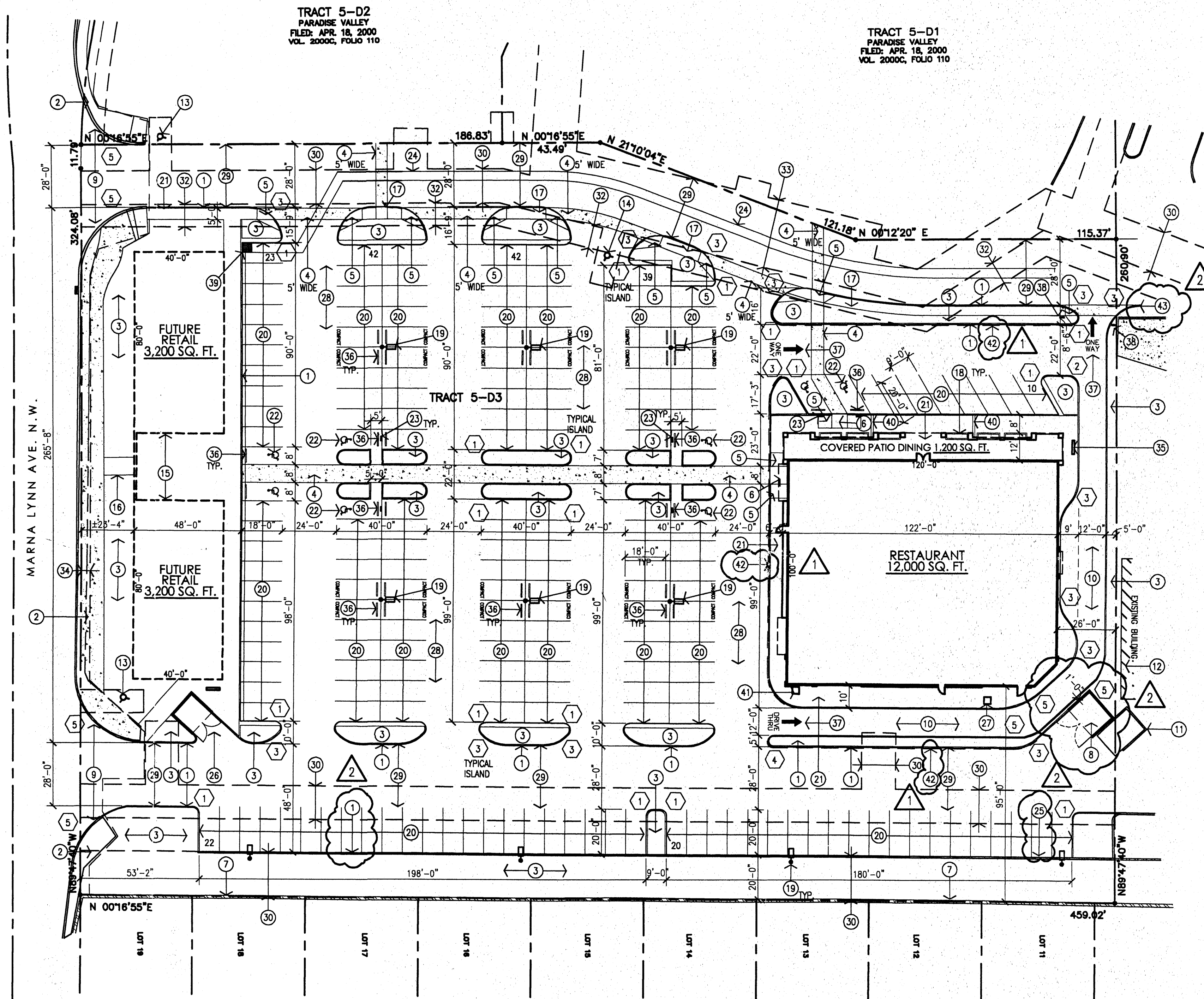
LEGAL DESCRIPTION

TRACT 5.D.3 OF THE PLOT OF THE TRACT 5A,5B,5C,5D, AND 5E, PARADISE VALLEY SUBDIVISION.

SURVEY

SURVEY WAS PERFORMED BY HARRIS SURVEYING DATED AUGUST 2004.





1 Architectural Site Plan

Scale: 1"=30'-0"



GENERAL NOTES:

[A] ALL SITE DEVELOPMENT RELATED TO THE FUTURE RETAIL PADS IS TO BE DONE AT A LATER DATE, EXCEPT FOR THE CONCRETE PARKING LOT CURBING AROUND THE PERIMETER OF THE BUILDING. LANDSCAPE THIS AREA PER LANDSCAPING PLAN.

KEYED NOTES:

- [1] CONCRETE CURB. SEE 3/A002 AND 4/A002.
- [2] EXISTING CONCRETE SIDEWALK.
- [3] LANDSCAPING.
- [4] CONCRETE PEDESTRIAN WALKWAY TO MATCH SHOPPING CENTER STANDARD. SEE 5/A002 AND 6/A002 FOR SIDEWALK ADJACENT TO LANDSCAPE ISLANDS.
- [5] HC RAMP. SEE 8.9/A002.
- [6] THIS AREA FLUSH WITH ASPHALT PAVING.
- [7] EXISTING 6' HIGH MASONRY SCREEN WALL.
- [8] NEW DUMPSTER ENCLOSURE. SEE 1/A002.
- [9] EXISTING CURB CUT AND CURBING TO REMAIN.
- [10] 12' WIDE DRIVE-THRU LANE.
- [11] EXISTING DUMPSTER ENCLOSURE TO REMAIN.
- [12] EXISTING BUILDING TO REMAIN.
- [13] EXISTING FIRE HYDRANT TO REMAIN.
- [14] EXISTING FIRE HYDRANT TO BE RELOCATED TO LANDSCAPE ISLAND.
- [15] FUTURE PLAZA.
- [16] FUTURE 8' PEDESTRIAN CONNECTION FROM CITY SIDEWALK.
- [17] NEW 5' SIDEWALK.
- [18] RAISED PLANTER WITH LANDSCAPING.
- [19] 20' HIGH POLE LIGHTING WITH SHIELDED HEADS.
- [20] 9'-0" X 20'-0" PARKING SPACES.
- [21] CONCRETE SIDEWALK. SEE 7/A002.
- [22] HANDICAP PAVING SIGN. SEE 10/A002.
- [23] HANDICAP PARKING SIGN. SEE 11/A002.
- [24] CONCRETE VALLEY GUTTER. SEE CIVIL.
- [25] CONCRETE RETAINING WALL, 36" MAX.
- [26] 8' CHU DUMPSTER ENCLOSURE TO BE BUILT WITH FUTURE RETAIL BUILDINGS.
- [27] NEW ELECTRICAL TRANSFORMER.
- [28] STANDARD ASPHALT PAVING; 3" ASPHALT PAVING.
- [29] HEAVY DUTY ASPHALT PAVING; 3" ASPHALT PAVING OVER 4" BASE COURSE.
- [30] EXISTING 15' PUBLIC WATERLINE EASEMENT.
- [31] EXISTING 20' PUBLIC ACCESS UTILITY EASEMENT.
- [32] EXISTING 10' PUBLIC UTILITY EASEMENT.
- [33] EXISTING 30' PUBLIC SEWER AND WATERLINE EASEMENT.
- [34] EXISTING 4' PEDESTRIAN ACCESS EASEMENT.
- [35] BIKE RACK. SEE 13/A002.
- [36] PARKING BUMPER.
- [37] DIRECTIONAL PAVEMENT SIGNAGE.
- [38] "DO NOT ENTER" SIGNAGE. SEE 11/A002.
- [39] RELOCATED EXISTING STORM DRAIN INLET. SEE CIVIL.
- [40] GUTTER BOX. SEE 12/A002.
- [41] GAS METERS. SEE MECHANICAL.
- [42] STRIPE CURB FOR FIRE LANE WITH "NO PARKING FIRE LANE" TEXT.
- [43] TIE INTO EXISTING CURB.

SITE LIGHTING NOTES:

THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY.

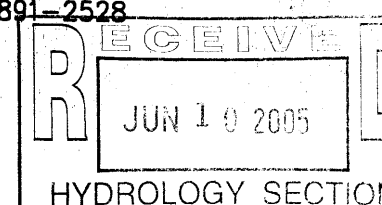
THE MAXIMUM HEIGHT OF A LIGHT POLE MEASURED FROM THE FINISH GRADE TO THE TOP OF THE POLE SHALL BE 20 FEET.

RADIUS INFORMATION:

- [1] RADIUS = 3'-0"
- [2] RADIUS = 5'-0"
- [3] RADIUS = 15'-0"
- [4] RADIUS = 2'-6"
- [5] RADIUS = 30'-0"



6300 Riverside Plaza Ln NW
Suite 220
Albuquerque, NM 87120
(505) 891-2528

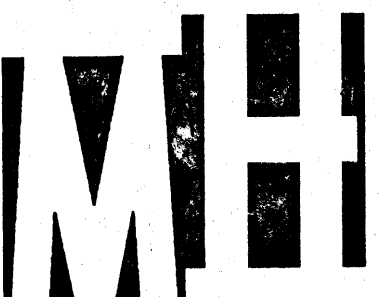


project title
Peter Piper Pizza
9260 Golf Course Road NW
Albuquerque, New Mexico

sheet title
Site Plan

sheet
A001

job number 04-32
drawn by DH
project manager JDH
date 02/18/05

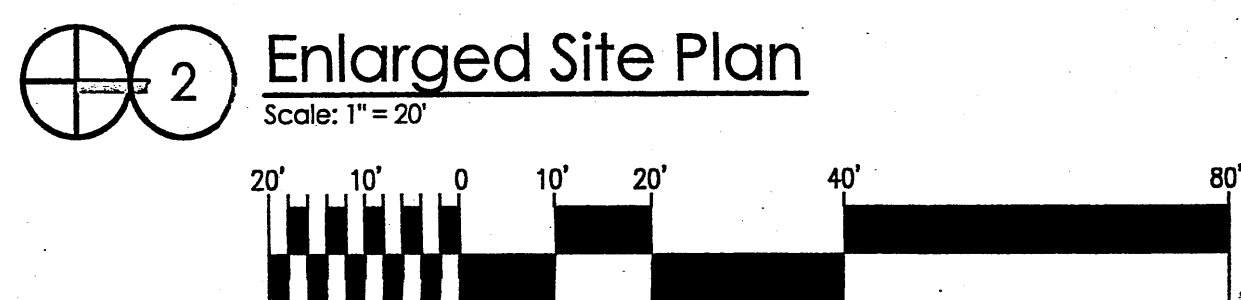
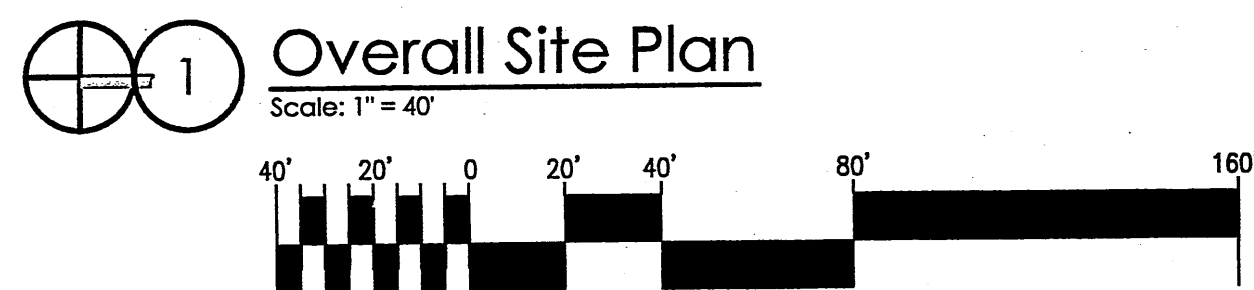


**Mullen Heller
Architecture P.C.**

1015 Tijeras Avenue NW
Suite 220
Albuquerque 87102
505 268 4144[p]
505 268 4244 [f]

revision	by	date
CH	CH	02/17/05
CH	CH	02/03/05

PER SITE & OWNER DISCUSSION
ADD FIRE LANES PER C-11-R-11



A. CONCRETE SITE WORK ON NORTH SIDE AND WEST SIDE OF BUILDING HAS BEEN ALTERED. PARKING CONFIGURATION IMMEDIATELY ADJACENT TO NORTH SITE WORK HAS ALSO BEEN ALTERED.

File # 074A 10047 Project # 1000086
Increase Front landscape area;
Revised disabled parking; Revised front
sidewalk; Revised west sidewalk
Danell B. B. B. 28 Aug '07
 APPROVED BY DATE

1015 Tijeras Avenue NW
Suite 220
Albuquerque, NM 87102
505 268 4144 [p]
505 268 4244 [f]

job number	06-39
drawn by	MAG
project manager	Michele Mullen, AIA
date	04/03/07

Project title	After Hours Pediatrics
2210 Golf Course	
Albuquerque, New Mexico	87114
Sheet title	Architectural Site Plan

sheet-
A001

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SEP 18 2007