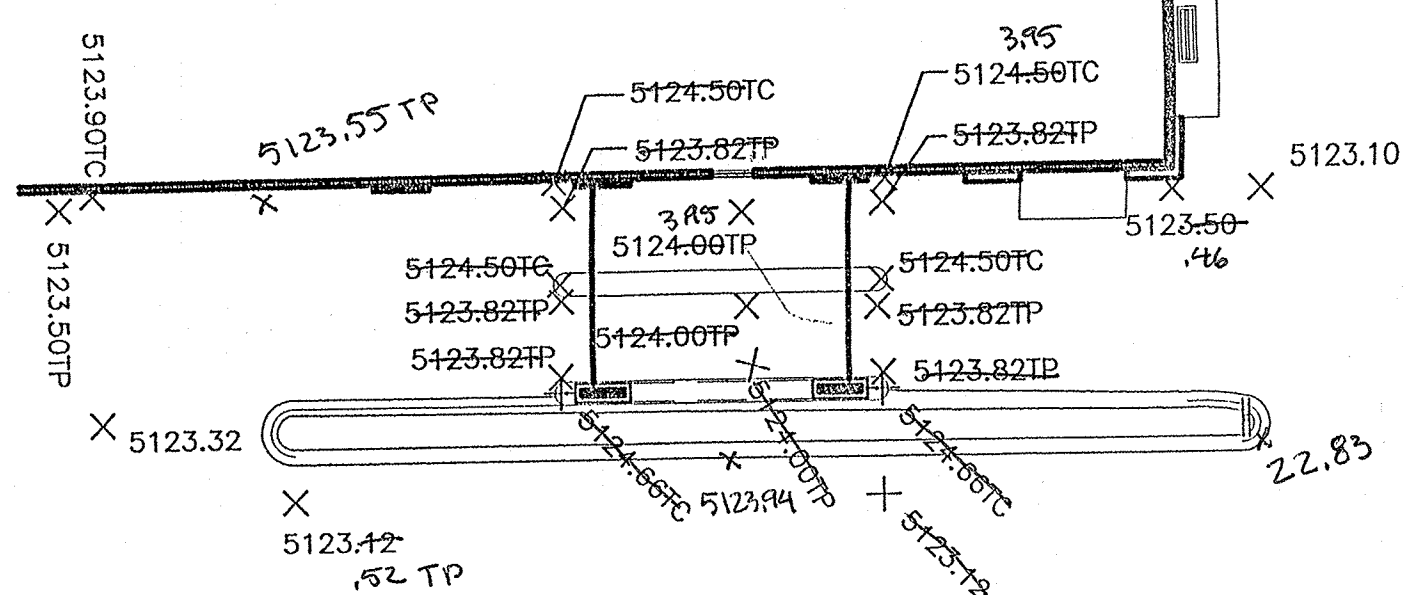


DETAIL-A



DRAINAGE CERTIFICATION BY ENGINEER OF RECORD
12/28/01

DRAINAGE CERTIFICATION

I, TYLER J. ASHTON, ENGINEER OF RECORD, HEREBY CERTIFY THAT THE PROJECT HAS BEEN GRADDED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/22/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR:

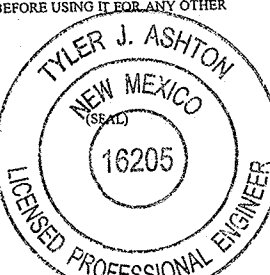
THIS CERTIFICATION IS FOR STORM DRAINAGE PURPOSES ONLY.

CURBS AND GUTTERS ALONG THE NORTH SIDE OF THE PROPERTY NEED TO BE INSTALLED TO MAINTAIN THE PROPOSED FLOWLINE.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: 12-29-06

APPROVED BY THE EXECUTIVE COMMITTEE ON 12/29/06



RETAINING WALL
SEE SHEET 19
OF PLANS

1/35 MARCADAS 1/3

SINGLE "C" INLET
GRATE=5122.24
INV=5118.74

RETAINING WALL
SEE SHEET 19
OF PLANS

169' OF 18" RCP @ 0.5%

26'-8"x36" CONCRETE PAD

6'-12" CONCRETE STOOP

C-39L-DR
CENTER ENTRY
PHARMACY LEFT
DOCK RIGHT
GROSS S.F.=39,690
FF=5124.00
UDOP 7-15-04

CONNECT DOWNSPOUTS
TO UNDERGROUND SD

24" RCP

6" CURB

24" RCP

6" CURB

24" RCP

6" CURB

24" RCP

6" CURB

24" RCP

6" CURB

24" RCP

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24" RCP

6" CURB

AREA CERTIFIED

EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS. PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE

DRAINAGE CERTIFICATION WORK BY OTHERS
12/28/01

DRAINAGE CERTIFICATION

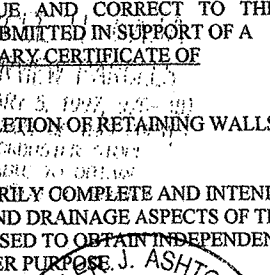
I, TYLER ASHTON, ENGINEER OF THE FIRM, TERRA WEST, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADDED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/22/01. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR:

THIS CERTIFICATION IS FOR STORM DRAINAGE PURPOSES ONLY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

DATE: 1-27-06

APPROVED BY THE EXECUTIVE COMMITTEE ON 1-27-06



RETAINING WALL
SEE SHEET 19
OF PLANS

1/35 MARCADAS 1/3

SINGLE "C" INLET
GRATE=5122.24
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RETAINING WALL
SEE SHEET 19
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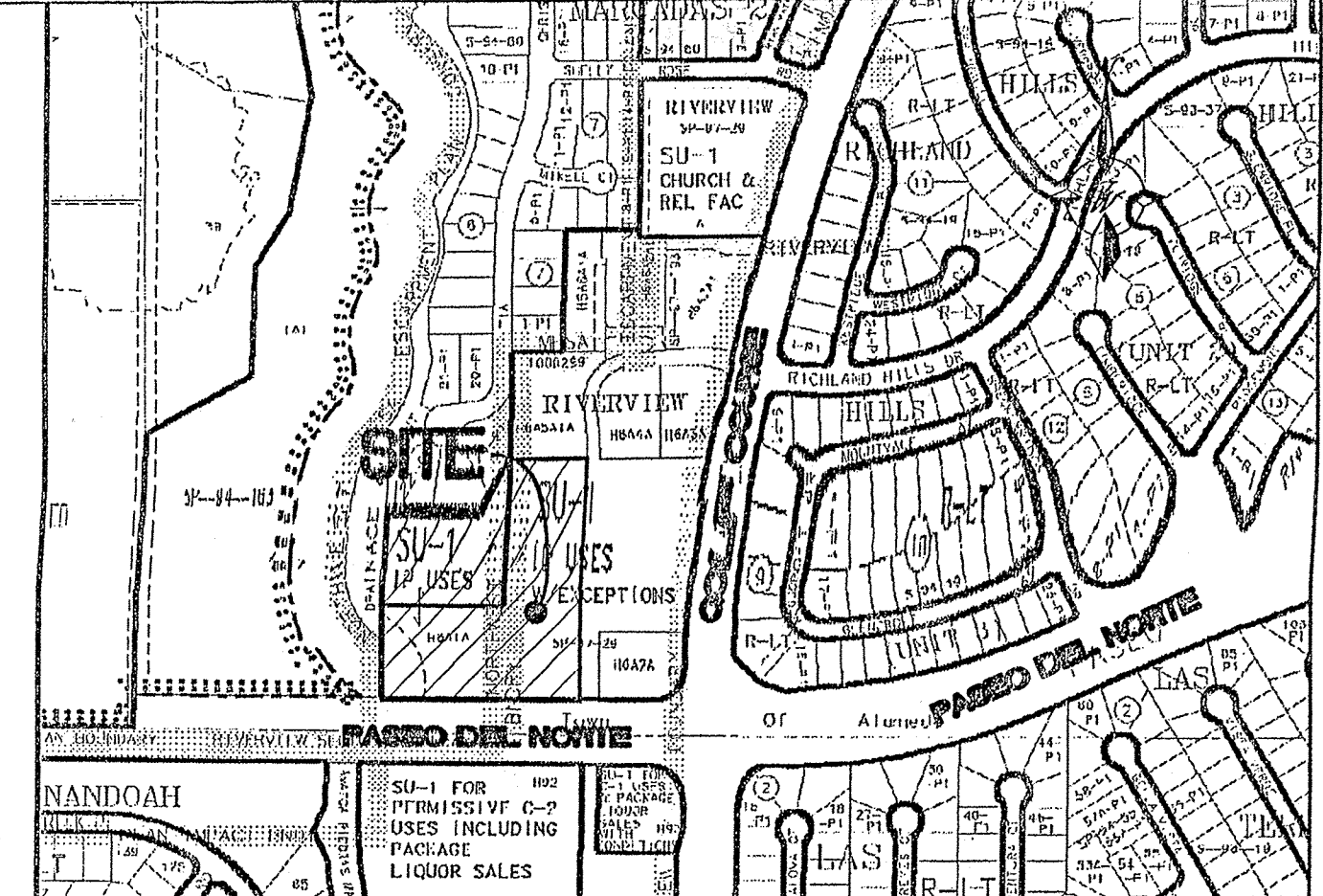
6" CURB

24" RCP

6" CURB

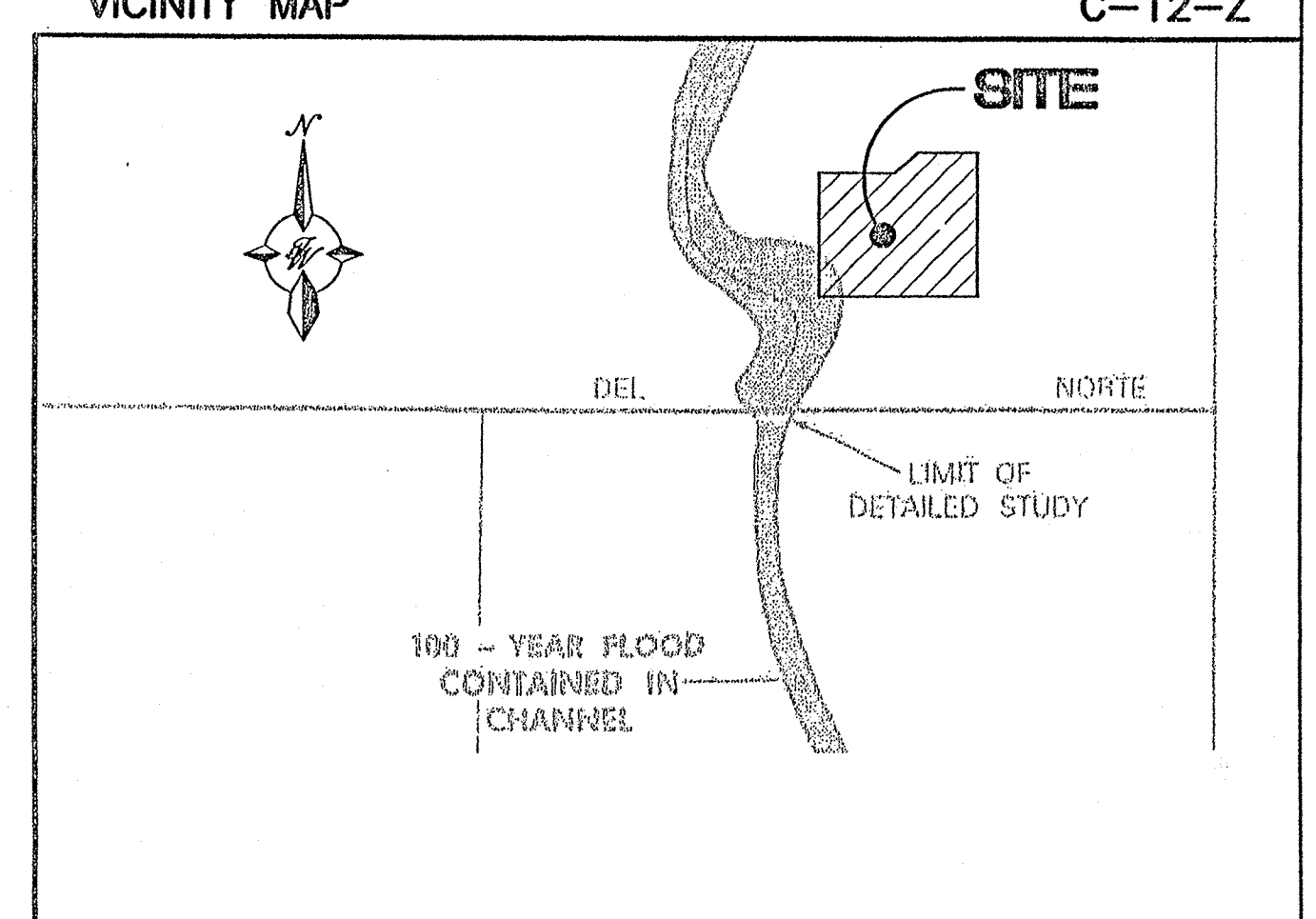
24" RCP

6" CURB



VICINITY MAP

C-12-Z



FIRM MAP

35001C0112.D

LEGAL DESCRIPTION

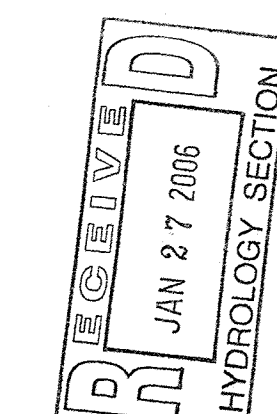
TOWNSHIP 11 NORTH, RANGE 2 EAST, PARCEL H-6A-1-A OF THE PLAT OF RIVERVIEW PARCELS H-6A-1-A THRU H-6A-7-A AND PARCEL "A" CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

NOTES

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

- PROPOSED STORM SEWER MANHOLE
- PROPOSED CURB INLET
- PROPOSED CATCH BASIN
- 24" RCP PROPOSED STORM SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- EXISTING BOUNDARY LINE
- EASEMENT
- PROPOSED PERIMETER WALL
- PROPOSED RETAINING WALL
- EXISTING CONTOUR
- EXISTING INDEX CONTOUR
- GRADING HIGH POINT
- SLOPE TIE
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION



ROUGH GRADING APPROVAL

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	PASEO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #3317-00 8511 GOLF COURSE RD. NW		
DRAWN BY rwm	GRADING AND DRAINAGE PLAN		
	ALBUQUERQUE NEW MEXICO		
DATE 11-18-2004	TERRA WEST, LLC		
	8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		
SHEET #			7 OF 26
JOB #			238700-11-12-04X

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 18" CURB & GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
- ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- TOTAL LAND AREA IS 6.4955± ACRES.
- NO WETLANDS WERE PRESENT ON THIS SITE AS INDICATED BY THE PHASE I REPORT CONDUCTED BY TERRACON DATED, SEPTEMBER 30, 2004.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE WAL-MART STANDARD SITE WORK SPECIFICATIONS.
- PLYON SIGNS SHALL BE CONSTRUCTED BY OTHERS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.

KEYED NOTES

- BIKE RACK(TYP.)
 - PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH
 - 6" MEDIAN CURB & GUTTER
 - CART CORRAL (TYP)
 - TRASH COMPACTOR
 - 6" DIA. PIPE BOLLARD(TYP)
 - AWNINGS (PER ARCHITECTUAL PLANS)
 - 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE(TYP.)
 - "YIELD" PAINTED YELLOW ON PAVEMENT TYP.
 - HANDICAP PARKING SIGN
 - PAINTED 6" RED STRIPE W/ 4" WHITE LETTERS "NO PARKING FIRE ZONE".
- CONCRETE SIDEWALK
 - 10'x15' STRIPED AREA PAINTED SYS/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
 - ELECTRICAL TRANSFORMER
 - PEDESTRIAN CROSSING SIGN W/4-2 and W/4-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
 - PAINTED DIRECTIONAL ARROW (TYP)
 - CART CROSSING WITH PLANTER
 - ACCESSIBLE PARKING SPACE (TYP.) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN"- INDICATES VAN ACCESSIBLE SPACE).
 - 5'x5' LANDSCAPE PLANTERS
 - 400 SF TREE SHADED PATIO AREA

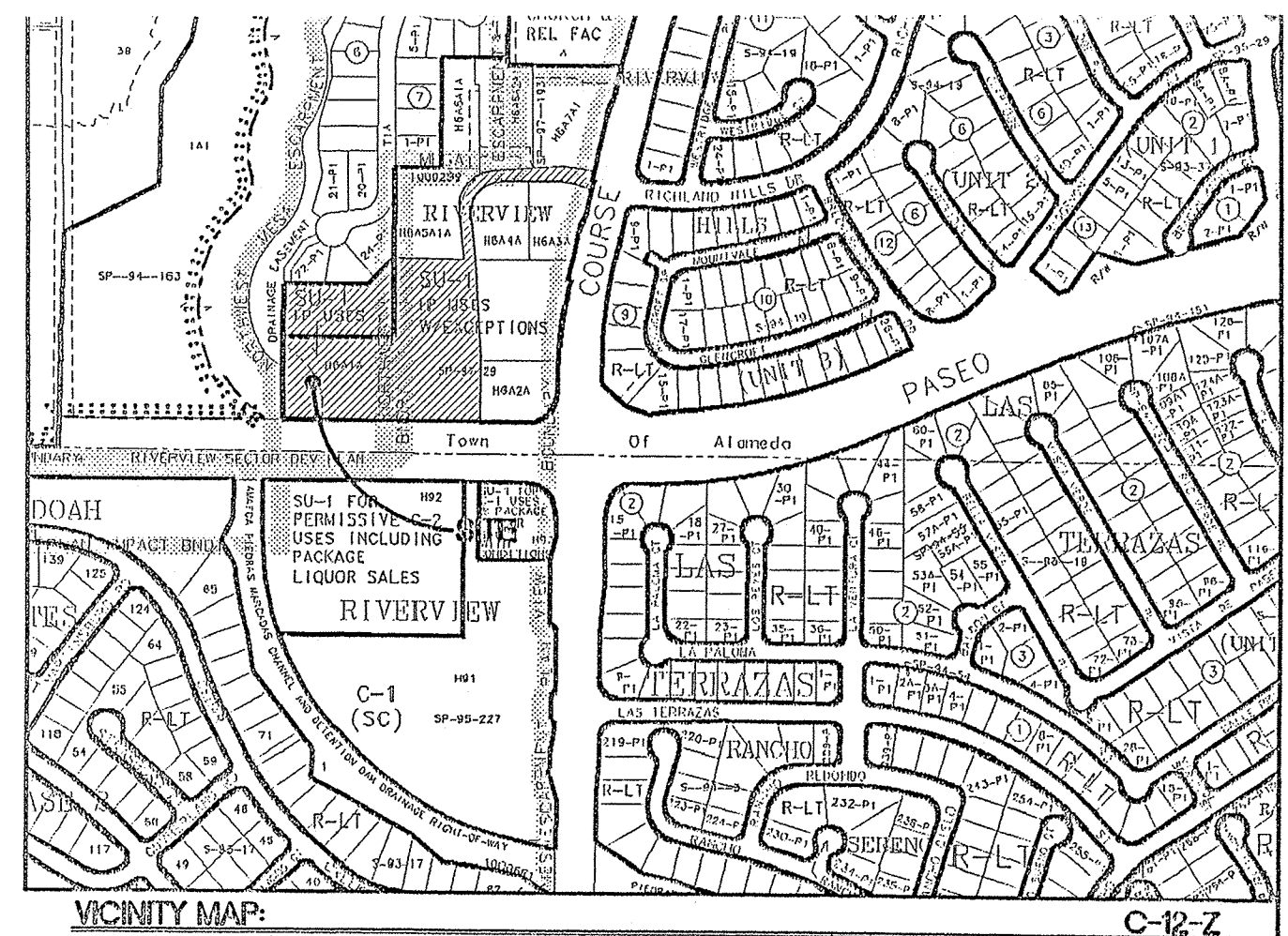
- 6" CONCRETE SIDEWALK
- STANDARD CURB AND GUTTER
- 12" PAINTED (WHITE) STOP BAR W/PAVEMENT MAKING "STOP" IN 8" LETTERS
- BARRICADE-TYPE-III

SITE DATA

PARCEL H-6A1A-1 5.1472 ± AC
PARCEL H-6A1A-2 1.3483 ± AC
6.4955 ± AC

LAND USE CLASSIFICATION: COMMERCIAL
ZONING CLASSIFICATION: SU-1 FOR IP WITH EXCEPTIONS
DRIVE-UP WINDOW MUST BE 75' MINIMUM FROM NEAREST RESIDENCE

LOCAL JURISDICTION: CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION: ZONED X UNSHADED



LEGEND

- PROPOSED CURB & GUTTER
- SETBACK
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED PARKING SPACES
- CART CORRAL
- MOV
- SC
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY CONCRETE
- STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
- PROPOSED LIGHTING
- CONCRETE PIER

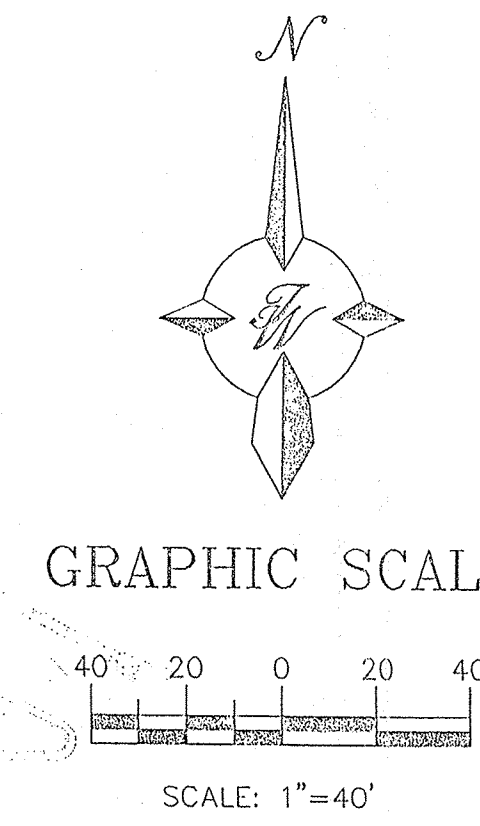
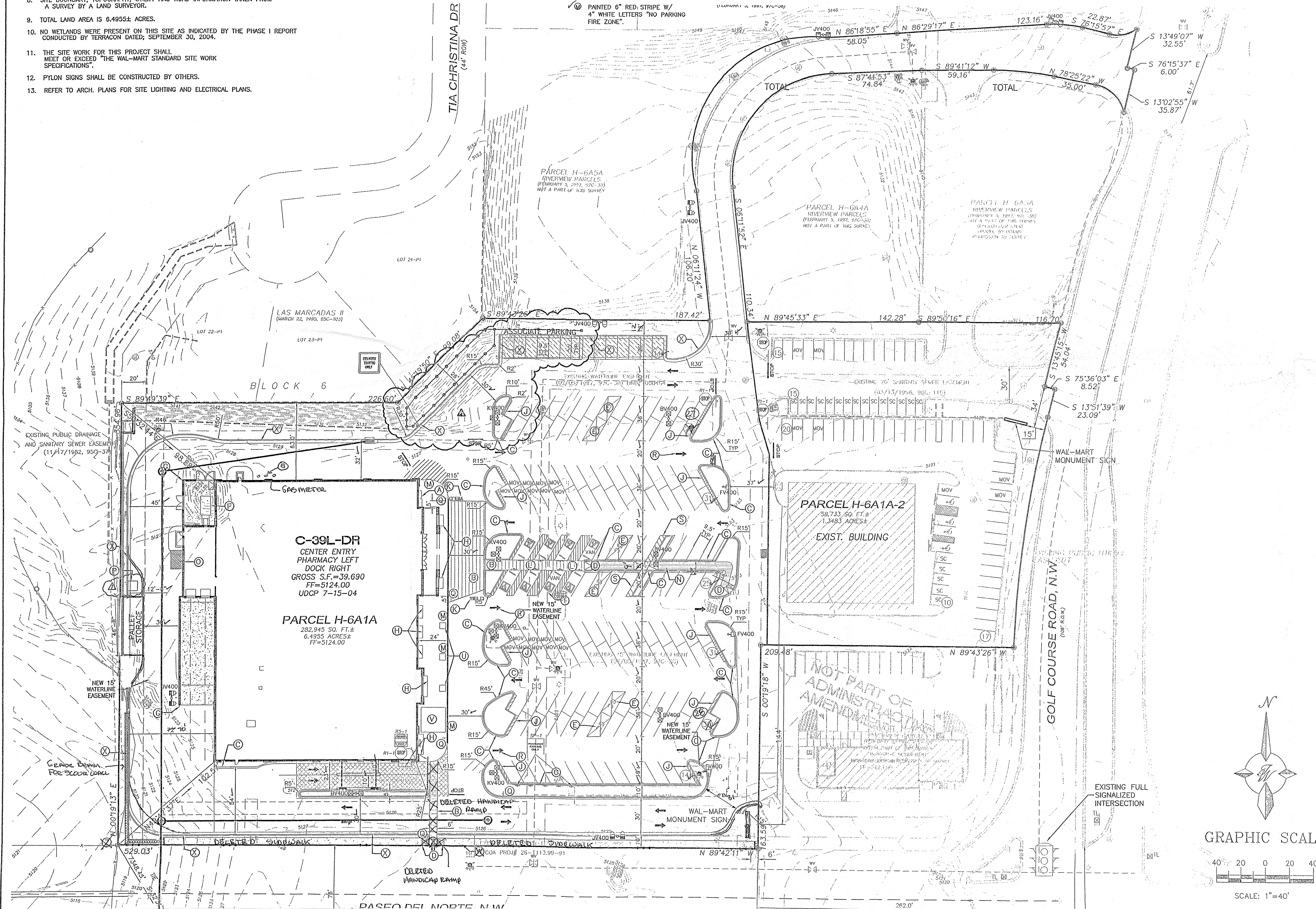
PARKING DATA

PARCEL H-6A1A-1	39,690 S.F./200=	202 SPACES
PARCEL H-6A1A-2	10,080 S.F./200=	50 SPACES
TOTALS	49,770 S.F.	252 SPACES
TOTAL PARKING REQUIRED		249 SPACES
LESS 10% BUS CREDIT		225 SPACES
STANDARD SPACES	252 SPACES(20 SMALL CAR)	
MULTIPLE OCCUPANCY VEHICLE SPACES	25 SPACES	
ACCESSIBLE SPACES PARCEL H-6A1A-1	8 SPACES	
ACCESSIBLE SPACES PARCEL H-6A1A-2	4 SPACES	
CART CORRALS	6 SPACES	
TOTAL PARKING REQUIRED	225 SPACES	
TOTAL PARKING PROVIDED	246 SPACES	
RATIO FOR PARCEL H-6A1A-1	5.09/1,000 S.F.	

NOTES

- ALL CALCULATIONS BASED ON TOTAL GROSS SQUARE FOOTAGE OF BUILDING
- WAL-MART PREFERRED PARKING (5.0 SP/1,000 S.F.)
CODE REQUIRED PARKING SPACES (5.0/1,000 S.F.)
- MEDIAN AGE OF SITE: 35.3 YEARS OLD
WAL-MART ACCESSIBLE REQUIREMENTS (2% OF 202+2): 6
CITY OF ALBUQUERQUE ACCESSIBLE REQUIREMENTS: 8
- PARKING LAYOUT MEETS WAL-MART STANDARDS WHICH IS WITHIN LOCAL REQUIREMENTS.
CITY OF ALBUQUERQUE DOES NOT ALLOW CREDIT FOR CART CORRALS.
- PARKING SHOWN CONTAINS BOTH 60° AND 90° PARKING SPACES.
TYPICAL DIMENSIONS:
WIDTH: 9.5'
DEPTH: 20'
ONE WAY AISLES: 20'
TWO WAY AISLES: 25' ±
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (MEP) FOR LOCATIONS AND SPECIFICATIONS FOR ALL PARKING LOT LIGHTING AND LIGHT POLES.

NO.	DATE	REVISIONS	REMARKS	BY
1	8-16-05	ADJUSTED CURB & GUTTER FOR NEW RETAINING WALL DESIGN		rwm
2	4-18-05	RELOCATED TRANSFORMER PAD		TJA
<p>ENGINEER'S SEAL</p> <p>PARCEL H-6A1A-1 AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #3317-00 8511 GOLF COURSE RD. NW</p> <p>SITE PLAN</p> <p>ALBUQUERQUE NEW MEXICO</p> <p>TIERRA WEST, LLC</p> <p>8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100</p> <p>RONALD R. BOHANNAN P.E. #7868</p>				
DRAWN BY rwm		DATE 08-10-2005		
23875PO 08-05-05X		SHEET # 6 OF 27		
<p>RECEIVED</p> <p>MAR 18 2006</p> <p>LAND DEVELOPMENT SECTION</p>				



CONDITIONS

1. THE FOLLOWING PUBLIC WORKS CONDITIONS SHALL BE MET BEFORE FINAL DRB SIGN OFF:
 - a. INCLUSION OF A NOTE ON THE SITE PLAN WHICH STATES THAT DIRECT ACCESS ONTO PASO DEL NORTE IS PROHIBITED.
 - b. CONSTRUCTION OF REQUIRED PAVEMENT, MEDIAN, CURBS, GUTTERS AND 6 FOOT SIDEWALK ON PASO DEL NORTE.
 - c. PROVISION OF A 30 FOOT UNOBSTRUCTED SERVICE DRIVE FOR LARGE VEHICLES, FROM THE STREET ENTRANCE TO LOADING DOCK AREAS. CONSTRUCTION OF 25 FOOT CORNER RADI ARE REQUIRED FOR THE SERVICE ROUTE. A MINIMUM OF A 3 FOOT SETBACK IS REQUIRED TO PROTECT BUILDINGS AND WALLS.
 - d. PROVISION OF ADEQUATE TURNDOWN AREA FOR LARGE VEHICLES ADJACENT TO THE DOCK AREA.
 - e. THE SITE PLAN MUST IDENTIFY SURROUNDING USES AND PROVIDE DIMENSIONS WHERE APPROPRIATE, I.E., STRUCTURES, STREETS, MEDIANS, DRIVE AISLES, PARKING SPACES, WALLS, SIGNS, ETC.
 - f. LOCATION AND DIMENSION OF PROPOSED FIRE LANES MUST MEET FIRE CODE REQUIREMENTS AS PER THE DPM.
 - g. COORDINATION WITH THE SOLID WASTE DEPARTMENT WITH REGARD TO REFUSE CONTAINER LOCATION AND ACCESS.
2. THE FOLLOWING SITE PLAN CONDITIONS SHALL BE MET BEFORE FINAL DRB SIGN OFF:
 - a. INDICATION OF THE BOUNDARIES OF THE NORTHWEST MESA ESCARPMENT PLAN IMPACT ARE AND VIEW AREAS OVERLAY ZONES.
 - b. A NOTE WHICH INDICATES THAT LIGHTING SHALL HAVE THE MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS.
 - c. PROVIDE DIMENSIONS OF ALL MAJOR SITE ELEMENTS, INCLUDING ALL SIDEWALKS AND PEDESTRIAN PATHS.
 - d. REVISION OR ELIMINATION OF PARKING SPACES ON THE WEST SIDE OF THE SITE, BEHIND THE FURR'S SUPERMARKET BUILDING.
 - e. THE DRIVE AISLE/PARKING/LANDSCAPE CONFIGURATION ON THE SOUTH SIDE OF THE FURR'S SHALL BE REVISED TO AVOID VEHICLE OVERHANG. THE SIDEWALK ALONG THE SOUTH SIDE OF FURR'S SHALL BE A MINIMUM OF 6 FEET WIDE AND SHALL INCLUDE A CONNECTION TO THE TRAIL ALONG PASO DEL NORTE.
3. THE FOLLOWING PEDESTRIAN RELATED CHANGES SHALL BE MADE TO THE SITE PLAN, TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRB SIGN OFF:
 - a. PROVISION OF SIDEWALKS TO THE PARKING SPACES ON THE WEST AND SOUTH SIDE OF FURR'S.
 - b. REVISE THE PEDESTRIAN PATH BETWEEN THE FURR'S AND SHOP B TO MAKE IT HANDICAP ACCESSIBLE AND CONSISTENT WITH THE LANDSCAPING PLAN.
 - c. THERE SHALL BE A MINIMUM 15 FOOT WIDE SIDEWALK AND LANDSCAPE AREA SETBACK FROM THE FRONT FACADE OF THE BUILDING TO THE DRIVE AISLE OR PARKING AREA. THE SIDEWALK SHALL BE SHADED WITH PORTALS, CANOPIES OR SHADE TREES.
 - d. PROVIDE A MINIMUM OF 15 FOOT SIDEWALK AND LANDSCAPE AREA ALONG THE ENTIRE EAST FRONT OF FURR'S. THE SIDEWALK SHALL BE SHADED WITH PORTALS, CANOPIES OR SHADE TREES AT 20 TO 30 FEET ON CENTER IN 5 FOOT BY 5 FOOT PLANTERS.
4. THE FOLLOWING CHANGES SHALL BE MADE TO THE ELEVATIONS, TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRB SIGN OFF:
 - a. 70% OF THE BUILDING MATERIALS SHALL BE SPLIT FACED CMU BLOCK, AS IS CONSISTENT WITH THE "PAD ARCHITECTURE STANDARDS."
 - b. A NOTE SHALL BE ADDED TO THE ELEVATIONS WHICH INDICATES THAT ALL GUIDELINES OF THE "PAD ARCHITECTURE STANDARDS" SHALL BE FOLLOWED.
 - c. A NOTE SHALL BE ADDED TO THE "PAD ARCHITECTURE STANDARDS" WHICH STATES VINYL COATED PLASTIC REFLECTIVE TYPE AWINGS SHALL NOT BE PERMITTED.
5. THE FOLLOWING CHANGES TO THE LANDSCAPING PLAN SHALL BE MADE TO THE SATISFACTION OF THE PLANNING DEPARTMENT BEFORE FINAL DRB SIGN OFF:
 - a. PROVISION OF TREES ALONG PASO DEL NORTE IN COMPLIANCE WITH THE STREET ORDNANCE.
 - b. THE LANDSCAPE BUFFER ALONG THE WEST SIDE, ADJACENT TO THE RESIDENTIAL PROPERTY, SHALL CONSIST PRIMARILY OF TREES AT LEAST EIGHT FEET HIGH AT THE TIME OF PLANTING AND CAPABLE OF REACHING A HEIGHT AT MATURITY OF AT LEAST 25 FEET. SPACING OF THE TREES SHALL BE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER.
 - c. REVISION OF THE LANDSCAPING ON THE PEDESTRIAN PATH BETWEEN FURR'S AND SHOP B SUCH THAT IT IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN AND THAT IT IS HANDICAP ACCESSIBLE.
 - d. THE LANDSCAPING PALATE SHALL BE CONSISTENT WITH THAT OF THE NORTHWEST MESA ESCARPMENT PLAN.
 - e. PROVISION OF THE STREET TREES/LANDSCAPING IN THE AREAS BETWEEN THE CURB AND THE SIDEWALKS ALONG PASO DEL NORTE AND GOLF COURSE ROAD.
6. THE GRADING AND DRAINAGE PLAN MUST BE APPROVED BY THE CITY ENGINEER BEFORE FINAL DRB SIGN OFF.
7. A WATER AVAILABILITY STATEMENT FROM NEW MEXICO UTILITIES, INC. MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE FINAL DRB SIGN OFF. REQUIRED INFRASTRUCTURE MUST BE FINANCIALLY GUARANTEED PRIOR TO SITE PLAN AND PLAT APPROVAL BY THE DRB. ALL PUBLIC INFRASTRUCTURE MUST BE DESIGNED TO CITY OF ALBUQUERQUE STANDARDS, INCLUDING WATER AND/OR SANITARY SEWER LINES OWNED AND OPERATED BY NMU.
8. NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED; ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS.
9. OUTDOOR PATIO SPACE SHALL BE PROVIDED WITH ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE. A PATIO WHICH IS A MINIMUM OF 400 SQUARE FEET IN SIZE SHALL BE PROVIDED ON THE FURR'S PAD, AND A PATIO WHICH IS A MINIMUM OF 200 SQUARE FEET SHALL BE PROVIDED ON PAD B. THE PATIO SHALL HAVE ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE THAT INTEGRATES INTO THE ARCHITECTURE.
10. THIS IS A DESIGNATED SHOPPING CENTER SITE, THEREFORE OFF-PREMISE SIGNS SHALL NOT BE PERMITTED.
11. THE FUTURE TRAIL EXTENSION SHOWN ALONG THE SOUTHERN BOUNDARY OF THE SITE PLAN AND THE CURBED TRAIL ADJACENT TO THE PIEDRAS MERCADAS ARROYO SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DRB.

BUILDING DATA

GROSS BUILDING AREA: 39,890 ± S.F.
BUILDING SETBACKS REQD: BY SITE PLAN
BUILDING HEIGHT: Structure height up to 26 feet is permitted at any legal location. The height and width of the structure over 26' shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and adjacent public right-of-way centerline. To protect solar access, a structure over 26' may not exceed the northern boundary of these 45° planes, but may be sighted in any other direction within planes drawn at 60° angle from the same boundaries or centerline.

BUILDING COVERAGE: NEIGHBORHOOD MARKET20% ±

PROJECT NUMBER: Z-99-11

APPLICATION NUMBER: 00450-00000-00525

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date

* Environmental Health, if necessary 12/16/03

NEIGHBORHOOD MARKET

C-12-Z

GENERAL SITE REQUIREMENTS FROM PLANNING DEPARTMENT

- △ DIRECT ACCESS TO PASO DEL NORTE IS PROHIBITED
- △ LIGHTING SHALL HAVE A MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS
- △ ALL RAISED PEDESTRIAN PATHWAYS SHALL BE A MINIMUM OF 6 FEET WIDE
- △ NO OFF PREMISE SIGNS SHALL BE PERMITTED
- △ NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED
- △ ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS

KEYED NOTES

- ① BIKE RACK(TYP.)
- ② PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH
- ③ 6" MEDIAN CURB & GUTTER
- ④ UNIDIRECTIONAL HANDICAP RAMP PER COA STD DWG #2428
- ⑤ CART CORRAL (TYP)
- ⑥ TRASH COMPACTOR
- ⑦ 6" DIA. PIPE DOLLARD(TYP)
- ⑧ AWINGS (PER ARCHITECTURAL PLANS)
- ⑨ 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE(TYP.)
- ⑩ "YIELD" PAINTED YELLOW ON PAVEMENT TYP.
- ⑪ HANDICAP PARKING SIGN
- ⑫ PAINTED 6" RED STRIPE W/ 4" WHITE LETTERS "NO PARKING FIRE ZONE"
- ⑬ 6" CONCRETE SIDEWALK
- ⑭ 10'x15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
- ⑮ ELECTRICAL TRANSFORMER
- ⑯ PEDESTRIAN CROSSING SIGN W10-2 AND W10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
- ⑰ PAINTED DIRECTIONAL ARROW (TYP)
- ⑱ SMALL CAR MAKER, "COMPACT" PAINTED YELLOW ON PAVEMENT (TYP)
- ⑲ ACCESSIBLE PARKING SPACE (TYP.) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
- ⑳ 5'x5' LANDSCAPE PLANTERS
- ㉑ 400 SF TREE SHADED PATIO AREA
- ㉒ 6" CONCRETE SIDEWALK
- ㉓ STANDARD CURB AND GUTTER
- ㉔ 12" PAINTED (WHITE) STOP BAR W/PAVEMENT MARKING "STOP" IN 6" LETTERS

LEGEND

- PROPOSED CURB & GUTTER
- SETBACK
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED PARKING SPACES
- CART CORRAL
- MULTIPLE OCCUPANCY VEHICLE SPACE
- SMALL CAR PARKING SPACE
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY CONCRETE
- STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
- PROPOSED LIGHTING

0-8 JV400

SITE DATA

PARCEL H-6A1A-1	5.1472 ± AC
PARCEL H-6A1A-2	1.3483 ± AC
TOTAL	6.4955 ± AC
LAND USE CLASSIFICATION:	COMMERCIAL
ZONING CLASSIFICATION:	SU-1 FOR IP WITH EXCEPTIONS DRIVE-UP WINDOW MUST BE 75' MINIMUM FROM NEAREST RESIDENCE
LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION:	ZONED X UNSHADED

PARKING DATA

PARCEL H-6A1A-1	39,890 S.F./200=	199 SPACES
PARCEL H-6A1A-2	10,080 S.F./200=	50 SPACES
TOTALS	49,970 S.F.	249 SPACES
TOTAL PARKING REQUIRED		249 SPACES
LESS 10% BUS CREDIT		225 SPACES
STANDARD SPACES	254 SPACES(24 SMALL CAR)	
MULTIPLE OCCUPANCY VEHICLE SPACES	25 SPACES	
ACCESSIBLE SPACES	12 SPACES	
CART CORRALS	6 SPACES	
TOTAL PARKING REQUIRED	225 SPACES	
TOTAL PARKING PROVIDED	254 SPACES	
RATIO FOR PARCEL H-6A1A-1	5.04/1,000 S.F.	

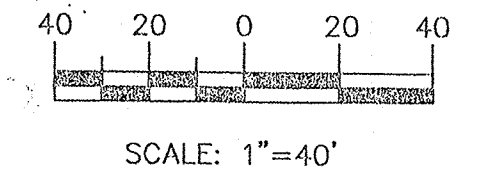
NOTES

1. ALL CALCULATIONS BASED ON TOTAL GROSS SQUARE FOOTAGE OF BUILDING
2. WAL-MART PREFERRED PARKING (5.0 SP/1,000 S.F.) CODE REQUIRED PARKING SPACES (5.0/1,000 S.F.)
3. PARKING LAYOUT MEETS WAL-MART STANDARDS WHICH IS WITHIN LOCAL REQUIREMENTS.
4. PARKING SHOWN CONTAINS BOTH 60' AND 90' PARKING SPACES. TYPICAL DIMENSIONS: WIDTH: 9.5' DEPTH: 20' ONE WAY AISLES: 20' TWO WAY AISLES: 25'
5. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (MEP) FOR LOCATION AND SPECIFICATIONS FOR ALL PARKING LOT LIGHTING AND LIGHT POLES.

FOR REFERENCE ONLY

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		PASEO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #8317-00 8511 GOLF COURSE RD. NW	DRAWN BY rwm
AMENDED SITE PLAN FOR BUILDING PERMIT		ALBUQUERQUE NEW MEXICO	DATE 12-01-2004
TERRA WEST, LLC		8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505) 255-3100	2307SPB-11-12-04X
RONALD R. BOHANNAN P.E. #7868		MAR 08 2005	DRC SHEET # 3 OF 9
LAND DEVELOPMENT SECTION			OTB SHEET # 7 OF 27
			JOB # 230087

GRAPHIC SCALE



EXISTING FULL SIGNALIZED INTERSECTION

CONDITIONS

- THE FOLLOWING PUBLIC WORKS CONDITIONS SHALL BE MET BEFORE FINAL DRG SIGN OFF:
 - INCLUSION OF A NOTE ON THE SITE PLAN WHICH STATES THAT DIRECT ACCESS ONTO PASO DEL NORTE IS PROHIBITED.
 - CONSTRUCTION OF REQUIRED PAVEMENT, MEDIAN, CURBS, GUTTERS AND 6 FOOT SIDEWALK ON PASO DEL NORTE.
 - PROVISION OF A 30 FOOT UNOBSTRUCTED SERVICE DRIVE FOR LARGE VEHICLES, FROM THE STREET ENTRANCE TO LOADING DOCK AREAS. CONSTRUCTION OF 25 FOOT CORNER RADI ARE REQUIRED FOR THE SERVICE ROUTE. A MINIMUM OF A 3 FOOT SETBACK IS REQUIRED TO PROTECT BUILDINGS AND WALLS.
 - PROVISION OF ADEQUATE TURNAROUND AREA FOR LARGE VEHICLES ADJACENT TO THE DOCK AREA.
 - THE SITE PLAN MUST IDENTIFY SURROUNDING USES AND PROVIDE DIMENSIONS WHERE APPROPRIATE, I.E., STRUCTURES, STREETS, MEDIANS, DRIVE AISLES, PARKING SPACES, WALLS, SIGNS, ETC.
 - LOCATION AND DIMENSION OF PROPOSED FIRE LANES MUST MEET FIRE CODE REQUIREMENTS AS PER THE DPM.
 - COORDINATION WITH THE SOLID WASTE DEPARTMENT WITH REGARD TO REFUSE CONTAINER LOCATION AND ACCESS.

GENERAL SITE REQUIREMENTS FROM PLANNING DEPARTMENT

- △ DIRECT ACCESS TO PASO DEL NORTE IS PROHIBITED
- △ LIGHTING SHALL HAVE A MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS
- △ ALL RAISED PEDESTRIAN PATHWAYS SHALL BE A MINIMUM OF 6 FEET WIDE
- △ NO OFF PREMISE SIGNS SHALL BE PERMITTED
- △ NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED
- △ ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS

ADMINISTRATIVE AMENDMENT

File #P4-01474 Project # 1000464
Building replacement with less square footage. See attached letter w/ conditions
1/28/05
APPROVED BY DATE

NG PUBLIC DRAINAGE
SANITARY SEWER EASEMENT
11/11/1982, 95C-37

C-38L-DR
CENTER ENTRY
PHARMACY LEFT
DOCK RIGHT
GROSS S.F.=39,690
FF=5124.00
UDCP 7-15-04

PARCEL H-6A1A-1
224,212 SQ. FT. ±
5.1472 ACRES ±

PASEO DEL NORTE, N.W.
(UN-IMPROVED) (15' ROW)

TIA CHRISTINA DR
(14' ROW)

- THE FOLLOWING CHANGES SHALL BE MADE TO THE ELEVATIONS, TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRG SIGN OFF:
 - INDICATION OF SIDEWALKS TO THE STREET SPACES ON THE WEST AND SOUTH SIDE OF FURR'S.
 - REVISION OF THE PEDESTRIAN PATH BETWEEN THE FURR'S AND SHOP 6 TO MAKE IT HANDICAP ACCESSIBLE AND CONSISTENT WITH THE LANDSCAPING PLAN.
 - THERE SHALL BE A MINIMUM 13 FOOT WIDE SIDEWALK AND LANDSCAPE AREA SETBACK FROM THE FRONT FACADE OF THE BUILDING TO THE DRIVE AISLE OR PARKING AREA. THE SIDEWALK SHALL BE SHADED WITH PORTALS, CANOPIES OR SIMILAR TREES.
 - PROVIDE A MINIMUM OF 15 FOOT SIDEWALK AND LANDSCAPE AREA ALONG THE ENTIRE EAST FRONT OF FURR'S. THE SIDEWALK SHALL BE SHADED WITH PORTALS, CANOPIES OR SHADE TREES AT 20 TO 30 FEET ON CENTER IN 5 FOOT BY 3 FOOT PLANTERS.
- THE FOLLOWING CHANGES TO THE LANDSCAPING PLAN SHALL BE MADE TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRG SIGN OFF:
 - 70% OF THE BUILDING MATERIALS SHALL BE SPLIT FACED CMU BLOCK, AS IS CONSISTENT WITH THE "TWO ARCHITECTURE STANDARDS."
 - A NOTE SHALL BE ADDED TO THE ELEVATIONS WHICH INDICATES THAT ALL GUIDELINES OF THE "TWO ARCHITECTURE STANDARDS" SHALL BE FOLLOWED.
 - A NOTE SHALL BE ADDED TO THE "TWO ARCHITECTURE STANDARDS" WHICH STATES VINYL COATED PLASTIC REFLECTIVE TYPE FINISHES SHALL NOT BE PERMITTED.
- THE FOLLOWING CHANGES TO THE LANDSCAPING PLAN SHALL BE MADE TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRG SIGN OFF:
 - PROVISION OF TREES ALONG PASO DEL NORTE IN COMPLIANCE WITH THE STREET ORDINANCE.
 - THE LANDSCAPE BUFFER ALONG THE WEST SIDE, ADJACENT TO THE RESIDENTIAL PROPERTY, SHALL CONSIST PRIMARILY OF TREES AT LEAST EIGHT FEET HIGH AT THE TIME OF PLANTING AT MATURITY OF AT LEAST 25 FEET. SPACING OF THE TREES SHALL BE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER.
 - REVISION OF THE LANDSCAPING ON THE PEDESTRIAN PATH BETWEEN FURR'S AND SHOP 6 SUCH THAT IT IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN AND THAT IT IS HANDICAP ACCESSIBLE.
 - THE LANDSCAPING PALATE SHALL BE CONSISTENT WITH THAT OF THE NORTHWEST MESA ESCARPMENT PLAN.
 - PROVISION OF THE STREET TREES/LANDSCAPING IN THE AREAS BETWEEN THE CURB AND THE SIDEWALKS ALONG PASO DEL NORTE AND GOLF COURSE ROAD.
- THE GRADING AND DRAINAGE PLAN MUST BE APPROVED BY THE CITY ENGINEER BEFORE FINAL DRG SIGN OFF.

- THIS IS A DESIGNATED SHOPPING CENTER SITE, THEREFORE OFF-PREMISE SIGNS SHALL NOT BE PERMITTED.
- THE FUTURE TRAIL EXTENSION SHOWN ALONG THE SOUTHERN BOUNDARY OF THE SITE PLAN AND THE CURBED TRAIL ADJACENT TO THE PIEDRAS MERCADAS ARROYO SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DRB.
- NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED; ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS.
- OUTDOOR PATIO SPACE SHALL BE PROVIDED WITH ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE. A PATIO WHICH IS A MINIMUM OF 400 SQUARE FEET IN SIZE SHALL BE PROVIDED ON THE FURR'S PAD, AND A PATIO WHICH IS A MINIMUM OF 200 SQUARE FEET SHALL BE PROVIDED ON PAD B. THE PATIO SHALL HAVE ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE THAT INTEGRATES INTO THE ARCHITECTURE.

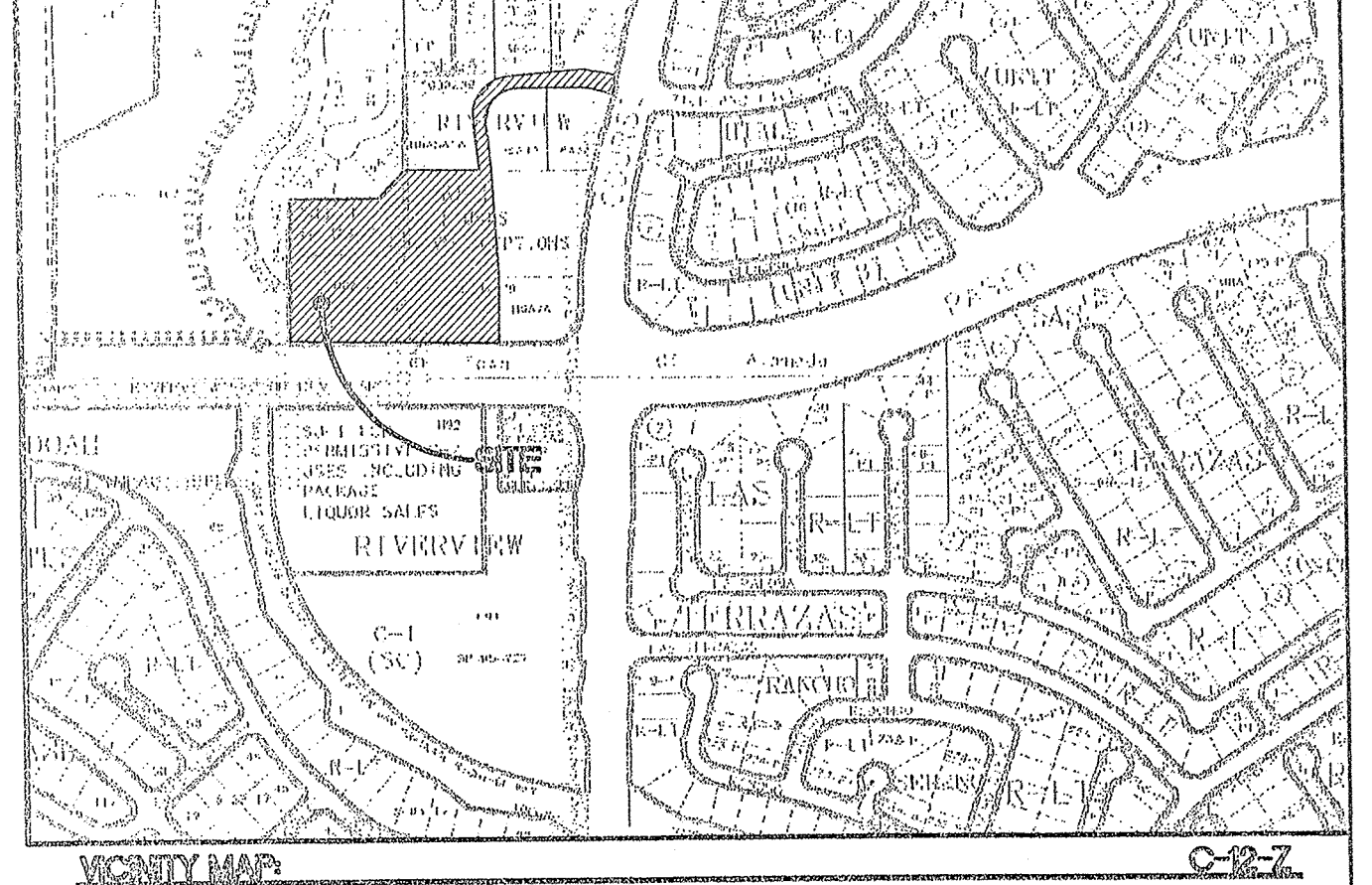
GROSS BUILDING AREA: 39,690± S.F.
BUILDING SETBACKS REQ'D: BY SITE PLAN
BUILDING HEIGHT: Structure height up to 28 feet is permitted at any legal location. The height and width of the structure over 28' shall fall within 45° angle planes drawn from the horizontal of the mean grade along each internal boundary of the premises and adjacent public right-of-way centerline. To protect solar access, a structure over 28' may not exceed the northern boundary of these 45° planes, but may be sited in any other direction within planes drawn at 60° angle from the same boundaries or centerline.

BUILDING COVERAGE: NEIGHBORHOOD MARKET 20% ±

PARCEL H-6A1A-2
58,733 SQ. FT. ±
1.3483 ACRES ±
EXIST. BUILDING

NOT PART OF
ADMINISTRATIVE
AMENDMENT

PROJECT NUMBER: Z-89-1
APPLICATION NUMBER: 00450-00000-00523
Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a road center is required for any construction within Public Right-of-Way or for construction of public improvements.
DRG SITE DEVELOPMENT PLAN APPROVAL:
Traffic Engineer, Transportation Division _____ Date _____
Utilities Development _____ Date _____
Parks & Recreation Department _____ Date _____
City Engineer _____ Date _____
* Environmental Health Department (conditional) _____ Date _____
Solid Waste Management _____ Date _____
DRB Chairperson, Planning Department _____ Date _____
* Environmental Health, if necessary 12/19/03



KEYED NOTES

- BIKE RACK(TYP.)
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-L' O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH
- 6" MEDIAN CURB & GUTTER
- UNIDIRECTIONAL HANDICAP RAMP PER COA STD DWG #2423
- CART CORRAL (TYP.)
- TRASH COMPACTOR
- 6" DIA. PIPE BOLLARD(TYP.)
- AWNINGS (PER ARCHITECTURAL PLANS)
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE(TYP.)
- "YIELD" PAINTED YELLOW ON PAVEMENT TYP.
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- PAINTED DIRECTIONAL ARROW (TYP.)
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
PROPOSED LIGHTING

SITE DATA	
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PARCEL H-6A1A-2	1.3483 ± AC
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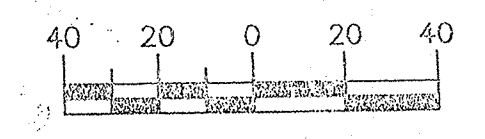
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CODE REQUIRED PARKING SPACES (5.0/1,000 S.F.)
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CITY OF ALBUQUERQUE DOES NOT ALLOW CREDIT FOR CART CORRALS.
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DEPTH: 20'
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FOR REFERENCE ONLY

NO.		DATE	REMARKS	BY
REVISIONS				
ENGINEER'S SEAL	PASEO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #337-00 85TH GOLF COURSE RD. NW			DRAWN BY rwm
				DATE 12-01-2004
				2397SPB-11-12-04X
				SHEET # 7 OF 27
				JOB # 230087
AMENDED SITE PLAN FOR BUILDING PERMIT ALBUQUERQUE NEW MEXICO				
			TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	
RONALD R. BOHANNAN P.E. #7868			RECEIVED	

GRAPHIC SCALE



RECEIVED
MAR 8 8 2005
LAND DEVELOPMENT SECTION