

SITE PLAN NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- ALL ISLANDS WITH CURB & GUTTER SHALL BE LANDSCAPED. THOSE ISLANDS ARE TO HAVE 10' CURB & GUTTER. ALL REMAINING ISLANDS ARE TO BE STRIPED AS SHOWN.
- ALL CURBED RADII ARE TO BE 10' UNLESS OTHERWISE NOTED. STRIPED RADII ARE TO BE 5'.
- ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY A LAND SURVEYOR.
- TOTAL LAND AREA IS 6.4955± ACRES.
- NO WETLANDS WERE PRESENT ON THIS SITE AS INDICATED BY THE PHASE I REPORT CONDUCTED BY TERRACON DATED: SEPTEMBER 30, 2004.
- THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE WAL-MART STANDARD SITE WORK SPECIFICATIONS".
- PLYON SIGNS SHALL BE CONSTRUCTED BY OTHERS.
- REFER TO ARCH. PLANS FOR SITE LIGHTING AND ELECTRICAL PLANS.

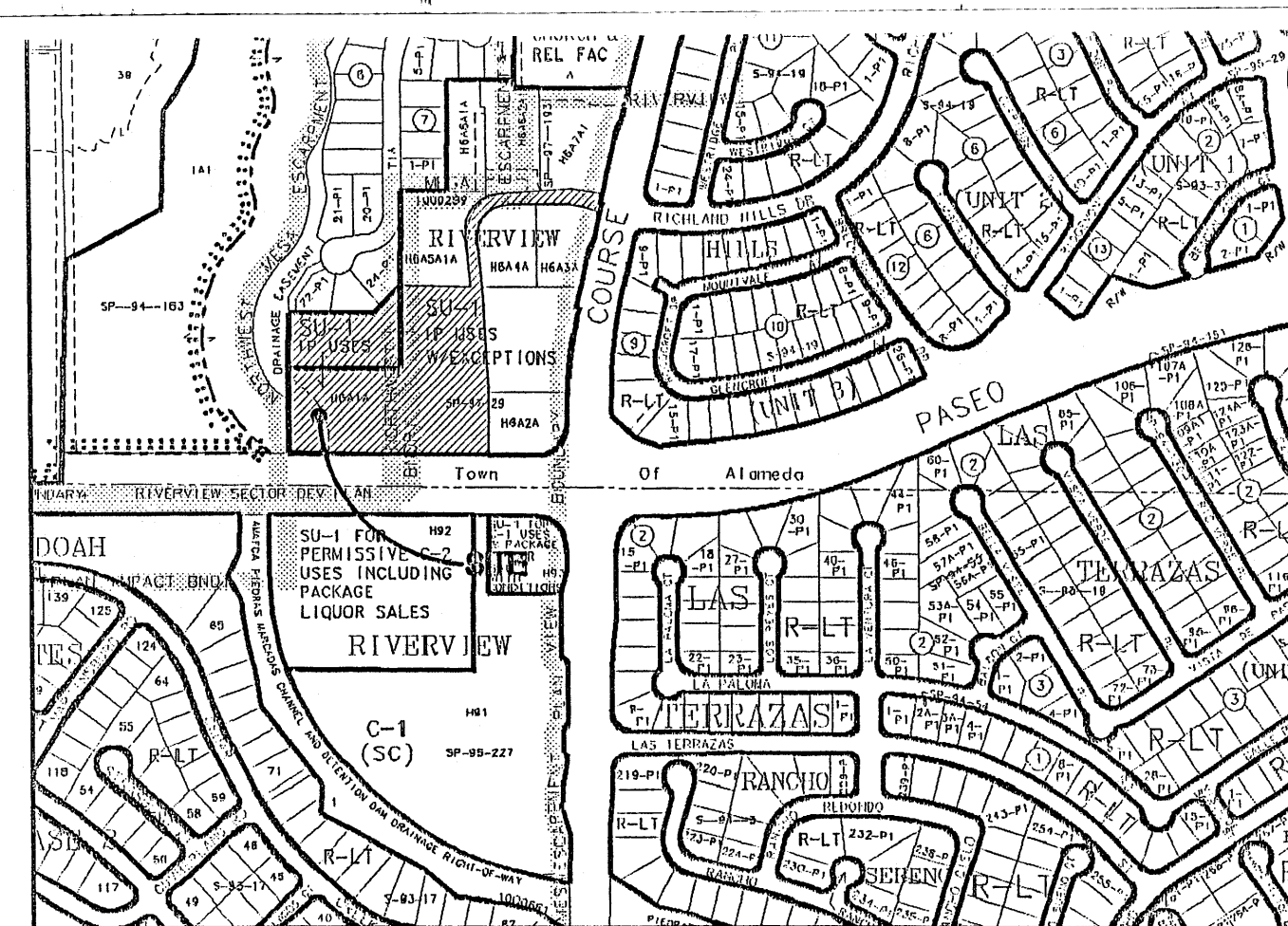
KEYED NOTES

- BIKE RACK(TYP.)
- PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH
- 6" MEDIAN CURB & GUTTER
- UNIDIRECTIONAL HANDICAP RAMP PER COA STD DWG #2426
- CART CORRAL (TYP.)
- TRASH COMPACTOR
- 6" DIA. PIPE BOLLARD(TYP.)
- AWNINGS (PER ARCHITECTURAL PLANS)
- 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE(TYP.)
- "YIELD" PAINTED YELLOW ON PAVEMENT TYP.
- HANDICAP PARKING SIGN
- PAINTED 6" RED STRIPE W/ 4" WHITE LETTERS "NO PARKING FIRE ZONE"
- CONCRETE SIDEWALK
- 10'x15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
- ELECTRICAL TRANSFORMER
- PEDESTRIAN CROSSING SIGN W/4-2 AND W/4-2a TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
- PAINTED DIRECTIONAL ARROW (TYP.)
- CART CROSSING WITH PLANTER
- ACCESSIBLE PARKING SPACE (TYP.) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
- 5'x5' LANDSCAPE PLANTERS
- 400 SF TREE SHADED PATIO AREA

- 6" CONCRETE SIDEWALK
- STANDARD CURB AND GUTTER
- 12" PAINTED (WHITE) STOP BAR W/PAVEMENT MAKING "STOP" IN 8" LETTERS
- BARRICADE-TYPE-III

SITE DATA

PARCEL H-6A1A-1	5.1472 ± AC
PARCEL H-6A1A-2	1.3483 ± AC
	6.4955 ± AC
LAND USE CLASSIFICATION:	COMMERCIAL
ZONING CLASSIFICATION:	SU-1 FOR IP WITH EXCEPTIONS DRIVE-UP WINDOW MUST BE 75' MINIMUM FROM NEAREST RESIDENCE
LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION:	ZONED X UNSHADED



VICINITY MAP: C-12-Z

LEGEND

	PROPOSED CURB & GUTTER
	SETBACK
	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	PROPOSED RETAINING WALL
	PROPOSED PARKING SPACES
	CART CORRAL
	MULTIPLE OCCUPANCY VEHICLE SPACE
	SMALL CAR PARKING SPACE
	HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT
	STANDARD DUTY CONCRETE
	STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
	PROPOSED LIGHTING CONCRETE PIER

PARKING DATA

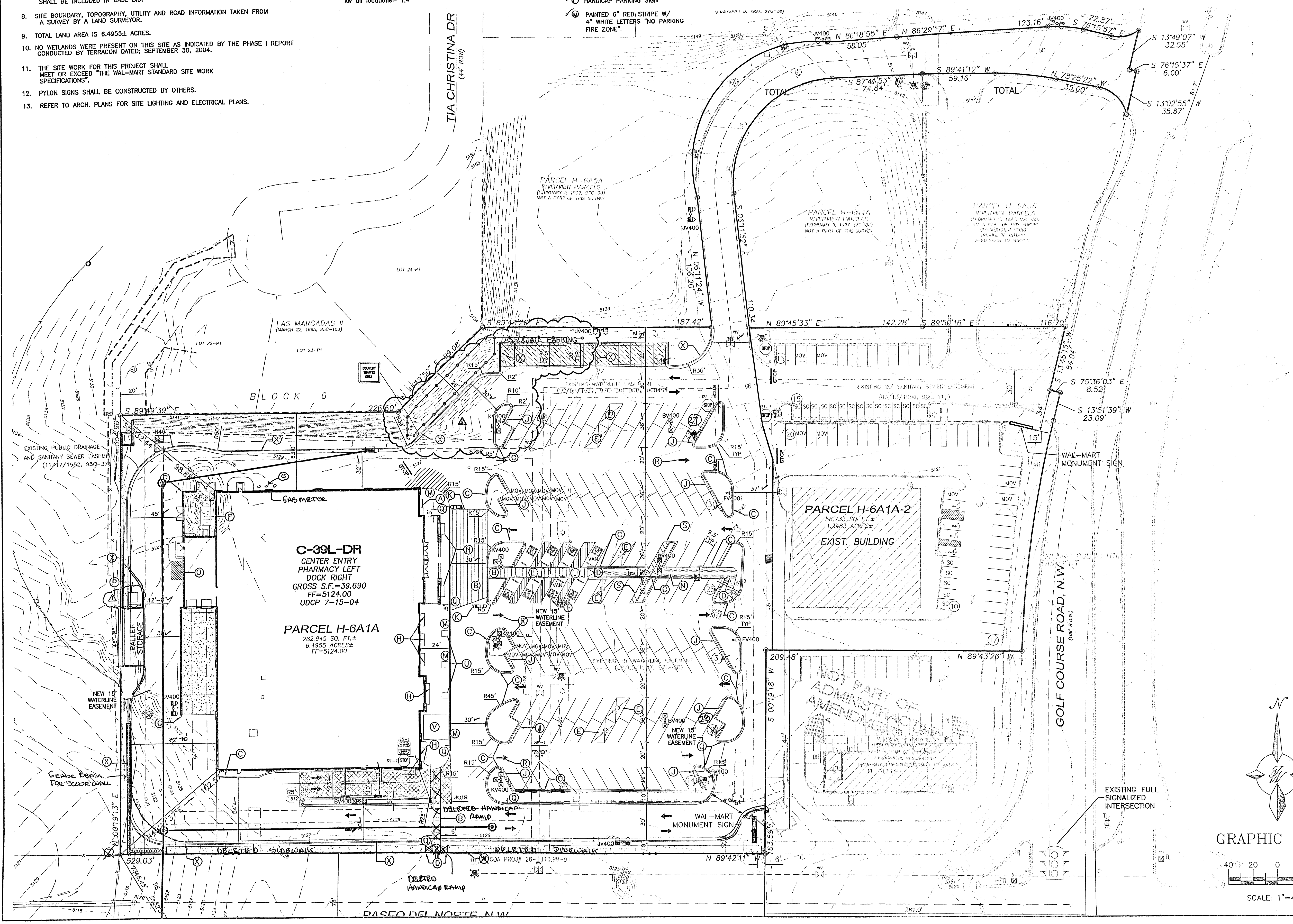
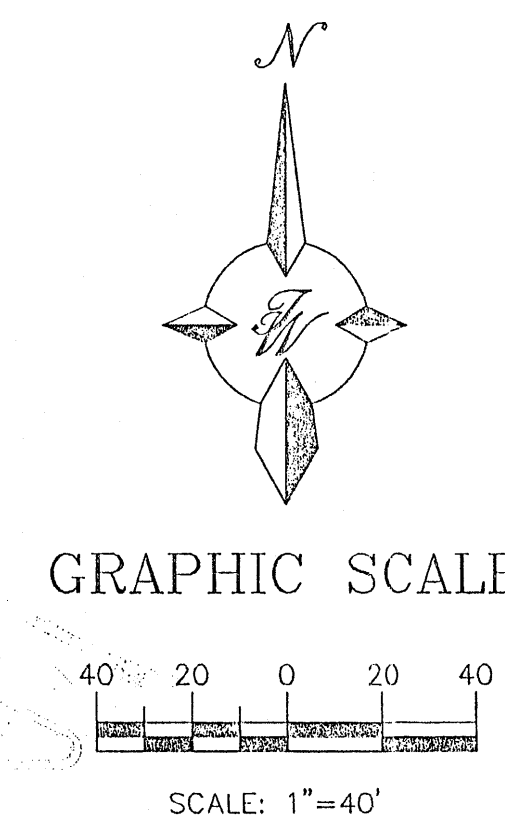
PARCEL H-6A1A-1	39,690 S.F./200=	202 SPACES
PARCEL H-6A1A-2	10,080 S.F./200=	50 SPACES
TOTALS	49,770 S.F.	252 SPACES
TOTAL PARKING REQUIRED		249 SPACES
LESS 10% BUS CREDIT		225 SPACES

STANDARD SPACES	252 SPACES(20 SMALL CAR)
MULTIPLE OCCUPANCY VEHICLE SPACES	25 SPACES
ACCESSIBLE SPACES PARCEL H-6A1A-1	8 SPACES
ACCESSIBLE SPACES PARCEL H-6A1A-2	4 SPACES
CART CORRALS	6 SPACES
TOTAL PARKING REQUIRED	225 SPACES
TOTAL PARKING PROVIDED	246 SPACES
RATIO FOR PARCEL H-6A1A-1	5.08/1,000 S.F.

NOTES

- ALL CALCULATIONS BASED ON TOTAL GROSS SQUARE FOOTAGE OF BUILDING
- WAL-MART PREFERRED PARKING (5.0 SP/1,000 S.F.) CODE REQUIRED PARKING SPACES (5.0/1,000 S.F.)
- MEDIAN AGE OF SITE: 35.3 YEARS OLD
WAL-MART ACCESSIBLE REQUIREMENTS (2% OF 202+2): 6
CITY OF ALBUQUERQUE ACCESSIBLE REQUIREMENTS: 8
- PARKING LAYOUT MEETS WAL-MART STANDARDS WHICH IS WITHIN LOCAL REQUIREMENTS.
CITY OF ALBUQUERQUE DOES NOT ALLOW CREDIT FOR CART CORRALS.
- PARKING SHOWN CONTAINS BOTH 60° AND 90° PARKING SPACES.
TYPICAL DIMENSIONS:
WIDTH: 9.5' ✓
DEPTH: 20' ✓
ONE WAY AISLES: 20' ✓
TWO WAY AISLES: 25' +
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (MEP) FOR LOCATION AND SPECIFICATIONS FOR ALL PARKING LOT LIGHTING AND LIGHT POLES.

NO.	DATE	REVISIONS	BY
1	8-16-05	ADJUSTED CURB & GUTTER FOR NEW RETAINING WALL DESIGN	rwm
2	4-18-05	RELOCATED TRANSFORMER PAD	TJA
REVISIONS			
ENGINEER'S SEAL	PASEO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #3317-00 8511 GOLF COURSE RD. NW		
SITE PLAN			DRAWN BY rwm
ALBUQUERQUE NEW MEXICO			DATE 08-10-2005
TIERRA WEST, LLC			23875PO 08-05-05X
8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100			SHEET #
RONALD R. BOHANNAN P.E. #7868			6 OF 27
			RECEIVED
			LAND DEVELOPMENT SECTION



CONDITIONS

1. THE FOLLOWING PUBLIC WORKS CONDITIONS SHALL BE MET BEFORE FINAL DRB SIGN OFF:
 - a. INCLUSION OF A NOTE ON THE SITE PLAN WHICH STATES THAT DIRECT ACCESS ONTO PASO DEL NORTE IS PROHIBITED.
 - b. CONSTRUCTION OF REQUIRED PAVEMENT, MEDIAN, CURBS, GUTTERS AND 6 FOOT SIDEWALK ON PASO DEL NORTE.
 - c. PROVISION OF A 30 FOOT UNOBSTRUCTED SERVICE DRIVE FOR LARGE VEHICLES FROM THE STREET ENTRANCE TO LOADING DOCK AREAS. CONSTRUCTION OF 25 FOOT CORNER RADIUS ARE REQUIRED FOR THE SERVICE ROUTE. A MINIMUM OF A 3 FOOT SETBACK IS REQUIRED TO PROTECT BUILDINGS AND WALLS.
 - d. PROVISION OF ADEQUATE TURNAROUND AREA FOR LARGE VEHICLES ADJACENT TO THE DOCK AREA.
 - e. THE SITE PLAN MUST IDENTIFY SURROUNDING USES AND PROVIDE DIMENSIONS WHERE APPROPRIATE, I.E., STRUCTURES, STREETS, MEDIANS, DRIVE AISLES, PARKING SPACES, WALLS, SIGNS, etc.
 - f. LOCATION AND DIMENSION OF PROPOSED FIRE LANES MUST MEET FIRE CODE REQUIREMENTS AS PER THE DPM.
 - g. COORDINATION WITH THE SOLID WASTE DEPARTMENT WITH REGARD TO REFUSE CONTAINER LOCATION AND ACCESS.
2. THE FOLLOWING SITE PLAN CONDITIONS SHALL BE MET BEFORE FINAL DRB SIGN OFF:
 - a. INDICATION OF THE BOUNDARIES OF THE NORTHWEST MESA ESCARPMENT PLAN IMPACT ARE AND VIEW AREAS OVERLAY ZONES.
 - b. A NOTE WHICH INDICATES THAT LIGHTING SHALL HAVE THE MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS.
 - c. PROVIDE DIMENSIONS OF ALL MAJOR SITE ELEMENTS, INCLUDING ALL SIDEWALKS AND PEDESTRIAN PATHS.
 - d. REVISION OR ELIMINATION OF PARKING SPACES ON THE WEST SIDE OF THE SITE, BEHIND THE FURR'S SUPERMARKET BUILDING.
 - e. THE DRIVE AISLE/PARKING/ LANDSCAPE CONFIGURATION ON THE SOUTH SIDE OF THE FURR'S SHALL BE REVISED TO AVOID VEHICLE OVERHANG. THE SIDEWALK ALONG THE SOUTH SIDE OF FURR'S SHALL BE A MINIMUM OF 6 FEET WIDE AND SHALL INCLUDE A CONNECTION TO THE TRAIL ALONG PASO DEL NORTE.
3. THE FOLLOWING PEDESTRIAN RELATED CHANGES SHALL BE MADE TO THE SITE PLAN, TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRB SIGN OFF:
 - a. PROVISION OF SIDEWALKS TO THE PARKING SPACES ON THE WEST AND SOUTH SIDE OF FURR'S.
 - b. REVISE THE PEDESTRIAN PATH BETWEEN THE FURR'S AND SHOP B TO MAKE IT HANDICAP ACCESSIBLE AND CONSISTENT WITH THE LANDSCAPING PLAN.
 - c. THERE SHALL BE A MINIMUM 15 FOOT WIDE SIDEWALK AND LANDSCAPE AREA SETBACK FROM THE FRONT FACADE OF THE BUILDING TO THE DRIVE AISLE OR PARKING AREA. THE SIDEWALK SHALL BE SHADED WITH PORTALS, CANOPIES OR SHADE TREES.
 - d. PROVIDE A MINIMUM OF 15 FOOT SIDEWALK AND LANDSCAPE AREA ALONG THE ENTIRE EAST FRONT OF FURR'S. THE SIDEWALK SHALL BE SHADED WITH PORTALS, CANOPIES OR SHADE TREES AT 20 TO 30 FEET ON CENTER IN 5 FOOT BY 5 FOOT PLANTERS.
4. THE FOLLOWING CHANGES SHALL BE MADE TO THE ELEVATIONS, TO THE SATISFACTION OF THE PLANNING DEPARTMENT, BEFORE FINAL DRB SIGN OFF:
 - a. 70% OF THE BUILDING MATERIALS SHALL BE SPLIT FACED CMU BLOCK, AS IS CONSISTENT WITH THE "PAD ARCHITECTURE STANDARDS".
 - b. A NOTE SHALL BE ADDED TO THE ELEVATIONS WHICH INDICATES THAT ALL GUIDELINES OF THE "PAD ARCHITECTURE STANDARDS" SHALL BE FOLLOWED.
 - c. A NOTE SHALL BE ADDED TO THE "PAD ARCHITECTURE STANDARDS" WHICH STATES VINYL COATED PLASTIC REFLECTIVE TYPE AWNINGS SHALL NOT BE PERMITTED.
5. THE FOLLOWING CHANGES TO THE LANDSCAPING PLAN SHALL BE MADE TO THE SATISFACTION OF THE PLANNING DEPARTMENT BEFORE FINAL DRB SIGN OFF:
 - a. PROVISION OF TREES ALONG PASO DEL NORTE IN COMPLIANCE WITH THE STREET ORDINANCE.
 - b. THE LANDSCAPE BUFFER ALONG THE WEST SIDE, ADJACENT TO THE RESIDENTIAL PROPERTY, SHALL CONSIST PRIMARILY OF TREES AT LEAST EIGHT FEET HIGH AT THE TIME OF PLANTING AND CAPABLE OF REACHING A HEIGHT AT MATURITY OF AT LEAST 25 FEET. SPACING OF THE TREES SHALL BE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER.
 - c. REVISION OF THE LANDSCAPING ON THE PEDESTRIAN PATH BETWEEN FURR'S AND SHOP B SUCH THAT IT IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN AND THAT IT IS HANDICAP ACCESSIBLE.
 - d. THE LANDSCAPING PALATE SHALL BE CONSISTENT WITH THAT OF THE NORTHWEST MESA ESCARPMENT PLAN.
 - e. PROVISION OF THE STREET TREES/LANDSCAPING IN THE AREAS BETWEEN THE CURB AND THE SIDEWALKS ALONG PASO DEL NORTE AND GOLF COURSE ROAD.
6. THE GRADING AND DRAINAGE PLAN MUST BE APPROVED BY THE CITY ENGINEER BEFORE FINAL DRB SIGN OFF:
7. A WATER AVAILABILITY STATEMENT FROM NEW MEXICO UTILITIES, INC. MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE FINAL DRB SIGN OFF. REQUIRED INFRASTRUCTURE MUST BE FINANCIALLY GUARANTEED PRIOR TO SITE PLAN AND PLAT APPROVAL BY THE DRB. ALL PUBLIC INFRASTRUCTURE MUST BE DESIGNED TO CITY OF ALBUQUERQUE STANDARDS, INCLUDING WATER AND/OR SANITARY SEWER LINES OWNED AND OPERATED BY NMU.
8. NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED; ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS.
9. OUTDOOR PATIO SPACE SHALL BE PROVIDED WITH ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE. A PATIO WHICH IS A MINIMUM OF 400 SQUARE FEET IN SIZE SHALL BE PROVIDED ON THE FURR'S PAD, AND A PATIO WHICH IS A MINIMUM OF 200 SQUARE FEET SHALL BE PROVIDED ON PAD B. THE PATIO SHALL HAVE ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE THAT INTEGRATES INTO THE ARCHITECTURE.
10. THIS IS A DESIGNATED SHOPPING CENTER SITE, THEREFORE OFF-PREMISE SIGNS SHALL NOT BE PERMITTED.
11. THE FUTURE TRAIL EXTENSION SHOWN ALONG THE SOUTHERN BOUNDARY OF THE SITE PLAN AND THE CURBED TRAIL ADJACENT TO THE PIEDRAS MERCADAS ARROYO SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DRB.

GENERAL SITE REQUIREMENTS FROM PLANNING DEPARTMENT

- △ DIRECT ACCESS TO PASO DEL NORTE IS PROHIBITED
- △ LIGHTING SHALL HAVE A MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS
- △ ALL RAISED PEDESTRIAN PATHWAYS SHALL BE A MINIMUM OF 6 FEET WIDE
- △ NO OFF PREMISE SIGNS SHALL BE PERMITTED
- △ NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED
- △ ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS

BUILDING DATA

GROSS BUILDING AREA: 30,600± S.F.
 BUILDING SETBACKS REQ'D: BY SITE PLAN
 BUILDING HEIGHT: Structure height up to 26 feet is permitted at any legal location. The height and width of the structure over 26' shall fall within 45° angle planes drawn from the horizontal at the mean grade along each internal boundary of the premises and adjacent public right-of-way centerline. To protect solar access, a structure over 26' may not exceed the northern boundary of these 45° planes, but may be sighted in any other direction within planes drawn at 60° angle from the same boundaries or centerline.

BUILDING COVERAGE: NEIGHBORHOOD MARKET 20% ±

KEYED NOTES

- ① BIKE RACK (TYP.)
- ② PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH
- ③ 6" MEDIAN CURB & GUTTER
- ④ UNIDIRECTIONAL HANDICAP RAMP PER COA STD DWG #2426
- ⑤ CART CORRAL (TYP.)
- ⑥ TRASH COMPACTOR
- ⑦ 6" DIA. PIPE BOLLARD (TYP.)
- ⑧ AWNINGS (PER ARCHITECTURAL PLANS)
- ⑨ 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE (TYP.)
- ⑩ "YIELD" PAINTED YELLOW ON PAVEMENT TYP.
- ⑪ HANDICAP PARKING SIGN
- ⑫ PAINTED 6" RED STRIPE W/ 4" WHITE LETTERS "NO PARKING FIRE ZONE".
- ⑬ 6" CONCRETE SIDEWALK
- ⑭ 10'x15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JOB CRANE LOCATION. SEE ARCH. PLANS
- ⑮ ELECTRICAL TRANSFORMER
- ⑯ PEDESTRIAN CROSSING SIGN W/2- and W/4-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
- ⑰ PAINTED DIRECTIONAL ARROW (TYP.)
- ⑱ SMALL CAR MAKER, "COMPACT" PAINTED YELLOW ON PAVEMENT (TYP.)
- ⑲ ACCESSIBLE PARKING SPACE (TYP.) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE SIZE, SIGN AND SYMBOL ("VAN" INDICATES VAN ACCESSIBLE SPACE).
- ⑳ 5'x5' LANDSCAPE PLANTERS
- ㉑ 400 SF TREE SHADED PATIO AREA
- ㉒ 6" CONCRETE SIDEWALK
- ㉓ STANDARD CURB AND GUTTER
- ㉔ 12" PAINTED (WHITE) STOP BAR W/PAVEMENT MAKING "STOP" IN 6" LETTERS

LEGEND

- PROPOSED CURB & GUTTER
- SETBACK
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED PARKING SPACES
- CART CORRAL
- MULTIPLE OCCUPANCY VEHICLE SPACE
- SMALL CAR PARKING SPACE
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY CONCRETE
- STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
- PROPOSED LIGHTING

PARCEL DATA

PARCEL H-6A1A-1	5.1472 ± AC
PARCEL H-6A1A-2	1.3483 ± AC
TOTAL	6.4955 ± AC
LAND USE CLASSIFICATION:	COMMERCIAL
ZONING CLASSIFICATION:	SU-1 FOR IP WITH EXCEPTIONS DRIVE-UP WINDOW MUST BE 7'5" MINIMUM FROM NEAREST RESIDENCE
LOCAL JURISDICTION:	CITY OF ALBUQUERQUE
FLOOD ZONE CLASSIFICATION:	ZONED X UNSHADED

PARKING DATA

PARCEL H-6A1A-1	39,690 S.F./200=	199 SPACES
PARCEL H-6A1A-2	10,080 S.F./200=	50 SPACES
TOTALS	49,770 S.F.	249 SPACES
TOTAL PARKING REQUIRED		249 SPACES
LESS 10% BUS CREDIT		225 SPACES
STANDARD SPACES	254 SPACES (24 SMALL CAR)	
MULTIPLE OCCUPANCY VEHICLE SPACES	25 SPACES	
ACCESSIBLE SPACES	12 SPACES	
CART CORRALS	6 SPACES	
TOTAL PARKING REQUIRED	225 SPACES	
TOTAL PARKING PROVIDED	254 SPACES	
RATIO FOR PARCEL H-6A1A-1	5.04/1,000 S.F.	

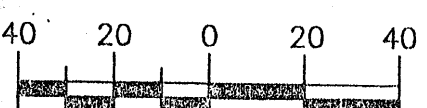
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3. PARKING LAYOUT MEETS WAL-MART STANDARDS WHICH IS WITHIN LOCAL REQUIREMENTS.
4. CITY OF ALBUQUERQUE DOES NOT ALLOW CREDIT FOR CART CORRALS.
5. PARKING SHOWN CONTAINS BOTH 60° AND 90° PARKING SPACES. TYPICAL DIMENSIONS: WIDTH: 9.5' DEPTH: 20' ONE WAY AISLES: 20' TWO WAY AISLES: 25'
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (MEP) FOR LOCATION AND SPECIFICATIONS FOR ALL PARKING LOT LIGHTING AND LIGHT POLES.

FOR REFERENCE ONLY

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL	PASO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #3317-00 8511 GOLF COURSE RD. NW		
AMENDED SITE PLAN FOR BUILDING PERMIT ALBUQUERQUE NEW MEXICO			DRAWN BY: rwm
DATE: 12-01-2004			23875FB-11-12-04X
DRC SHEET # 3 OF 9			OTB SHEET # 7 OF 27
JOB # 230087			
TERRA WEST, L.L.C. 8509 JEFFERSON NE ALBUQUERQUE, NM 87117 (505) 255-3400 MAR 08 2006 LAND DEVELOPMENT SECTION			

GRAPHIC SCALE



SCALE: 1"=40'

EXISTING FULL SIGNALIZED INTERSECTION

MH

TL

TL

TL

TL

TL

COMMENTS

1. THE FOLLOWING PUBLIC WORKS CONDITIONS SHALL BE MET BEFORE FINAL DRG SIGN OFF:
 - a. INCLUSION OF A NOTE ON THE SITE PLAN WHICH STATES THAT DIRECT ACCESS ONTO PASEO DEL NORTE IS PROHIBITED.
 - b. CONSTRUCTION OF REQUIRED PAVEMENT, MEDIAN, CURBS, GUTTERS AND 6 FOOT SIDEWALK ON PASEO DEL NORTE.
 - c. PROVISION OF A 30 FOOT UNOBSTRUCTED SERVICE DRIVE FOR LARGE VEHICLES, FROM THE STREET ENTRANCE TO LOADING DOCK AREAS.
 - d. CONSTRUCTION OF 25 FOOT CORNER RADI ARE REQUIRED FOR THE SERVICE ROUTE. A MINIMUM OF A 3 FOOT SETBACK IS REQUIRED TO PROTECT BUILDINGS AND WALLS.
 - e. PROVISION OF ADEQUATE TURNOFF AREA FOR LARGE VEHICLES ADJACENT TO THE DOCK AREA.
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 - b. A NOTE WHICH INDICATES THAT LIGHTING SHALL HAVE THE MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS.
 - c. PROVIDE DIMENSIONS OF ALL MAJOR SITE ELEMENTS, INCLUDING ALL SIDEWALKS AND PEDESTRIAN PATHS.
 - d. REVISION OR ELIMINATION OF PARKING SPACES ON THE WEST SIDE OF THE SITE, BEHIND THE FURR'S SUPERMARKET BUILDING.
 - e. THE DRIVE AISLE/PARKING/LANDSCAPE CONFIGURATION ON THE SOUTH SIDE OF THE FURR'S SHALL BE REVISED TO AVOID VEHICLE OVERHANG. THE SIDEWALK ALONG THE SOUTH SIDE OF FURR'S SHALL BE A MINIMUM OF 6 FEET WIDE AND SHALL INCLUDE A CONNECTION TO THE TRAIL ALONG PASEO DEL NORTE.
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 - b. THE LANDSCAPE BUFFER ALONG THE WEST SIDE, ADJACENT TO THE RESIDENTIAL PROPERTY, SHALL CONSIST PRIMARILY OF TREES AT LEAST EIGHT FEET HIGH AT THE TIME OF PLANTING AND CAPABLE OF REACHING A HEIGHT AT MATURITY OF AT LEAST 25 FEET. SPACING OF TREES SHALL BE EQUAL TO 75% OF THE MATURE CANOPY DIAMETER.
 - c. REVISION OF THE LANDSCAPING ON THE PEDESTRIAN PATH BETWEEN FURR'S AND SHOP 5 SUCH THAT IT IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN AND THAT IT IS HANDICAP ACCESSIBLE.
 - d. THE LANDSCAPING PALATE SHALL BE CONSISTENT WITH THAT OF THE NORTHWEST MESA ESCARPMENT PLAN.
 - e. PROVISION OF THE STREET TREES/LANDSCAPING IN THE AREAS BETWEEN THE CURB AND THE SIDEWALKS ALONG PASEO DEL NORTE AND GOLF COURSE ROAD.
6. THE GRADING AND DRAINAGE PLAN MUST BE APPROVED BY THE CITY ENGINEER BEFORE FINAL DRG SIGN OFF.
7. A WATER AVAILABILITY STATEMENT FROM NEW MEXICO UTILITIES, INC. MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT BEFORE FINAL DRG SIGN OFF. REQUIRED INFRASTRUCTURE MUST BE FINANCIALLY GUARANTEED PRIOR TO SITE PLAN AND PLAT APPROVAL BY THE DRB. ALL PUBLIC INFRASTRUCTURE MUST BE DESIGNED TO CITY OF ALBUQUERQUE STANDARDS, INCLUDING WATER AND/OR SANITARY SEWER LINES OWNED AND OPERATED BY NMU.
8. NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED; ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS.
9. OUTDOOR PATIO SPACE SHALL BE PROVIDED WITH ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE. A PATIO WHICH IS A MINIMUM OF 400 SQUARE FEET IN SIZE SHALL BE PROVIDED ON THE FURR'S PAD, AND A PATIO WHICH IS A MINIMUM OF 200 SQUARE FEET SHALL BE PROVIDED ON PAD B. THE PATIO SHALL HAVE ADEQUATE SHADING PROVIDED BY TREES AND/OR CONSTRUCTED SHADE STRUCTURE THAT INTEGRATES INTO THE ARCHITECTURE.
10. THIS IS A DESIGNATED SHOPPING CENTER SITE, THEREFORE OFF-PREMISE SIGNS SHALL NOT BE PERMITTED.
11. THE FUTURE TRAIL EXTENSION SHOWN ALONG THE SOUTHERN BOUNDARY OF THE SITE PLAN AND THE CURBED TRAIL ADJACENT TO THE PIEDRAS MERCADAS ARROYO SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE DRB.

GENERAL SITE REQUIREMENTS FROM PLANNING DEPARTMENT

- △ DIRECT ACCESS TO PASEO DEL NORTE IS PROHIBITED
- △ LIGHTING SHALL HAVE A MINIMUM EFFECT UPON ADJACENT RESIDENTIAL AREAS
- △ ALL RAISED PEDESTRIAN PATHWAYS SHALL BE A MINIMUM OF 6 FEET WIDE
- △ NO OFF PREMISE SIGNS SHALL BE PERMITTED
- △ NO FREESTANDING WIRELESS TELECOMMUNICATIONS FACILITIES SHALL BE PERMITTED
- △ ALL ANTENNAS SHALL BE ARCHITECTURALLY INTEGRATED INTO THE BUILDING ARCHITECTURE OR LIGHT STANDARDS

ADMINISTRATIVE AMENDMENT
 File #04-01474 Project # 1000464
 Building replacement with less square footage. See attached letter w/ conditions
 Approved by Bob Paul DATE 1/28/05

NG PUBLIC DRAINAGE
 SANITARY SEWER EASEMENT
 11/17/1982, SSC-37

C-38L-DR
 CENTER ENTRY
 PHARMACY LEFT
 DOCK RIGHT
 GROSS S.F.=39,690
 FF=5124.00
 UDCP 7-15-04

PARCEL H-6A1A-1
 224,212 SQ. FT. ±
 5.1472 ACRES ±

PARCEL H-6A1A-2
 58,733 SQ. FT. ±
 1.3483 ACRES ±

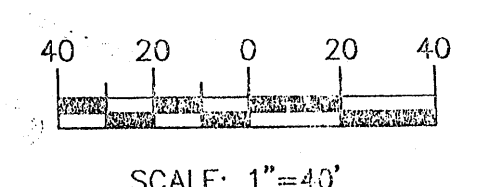
PASEO DEL NORTE, N.W.
 (UN-IMPROVED) (156' ROW)

TIA CHRISTINA DR
 (44' ROW)

GOLF COURSE ROAD, N.W.
 (106' R.O.W.)

EXISTING FULL
 SIGNALIZED
 INTERSECTION

GRAPHIC SCALE

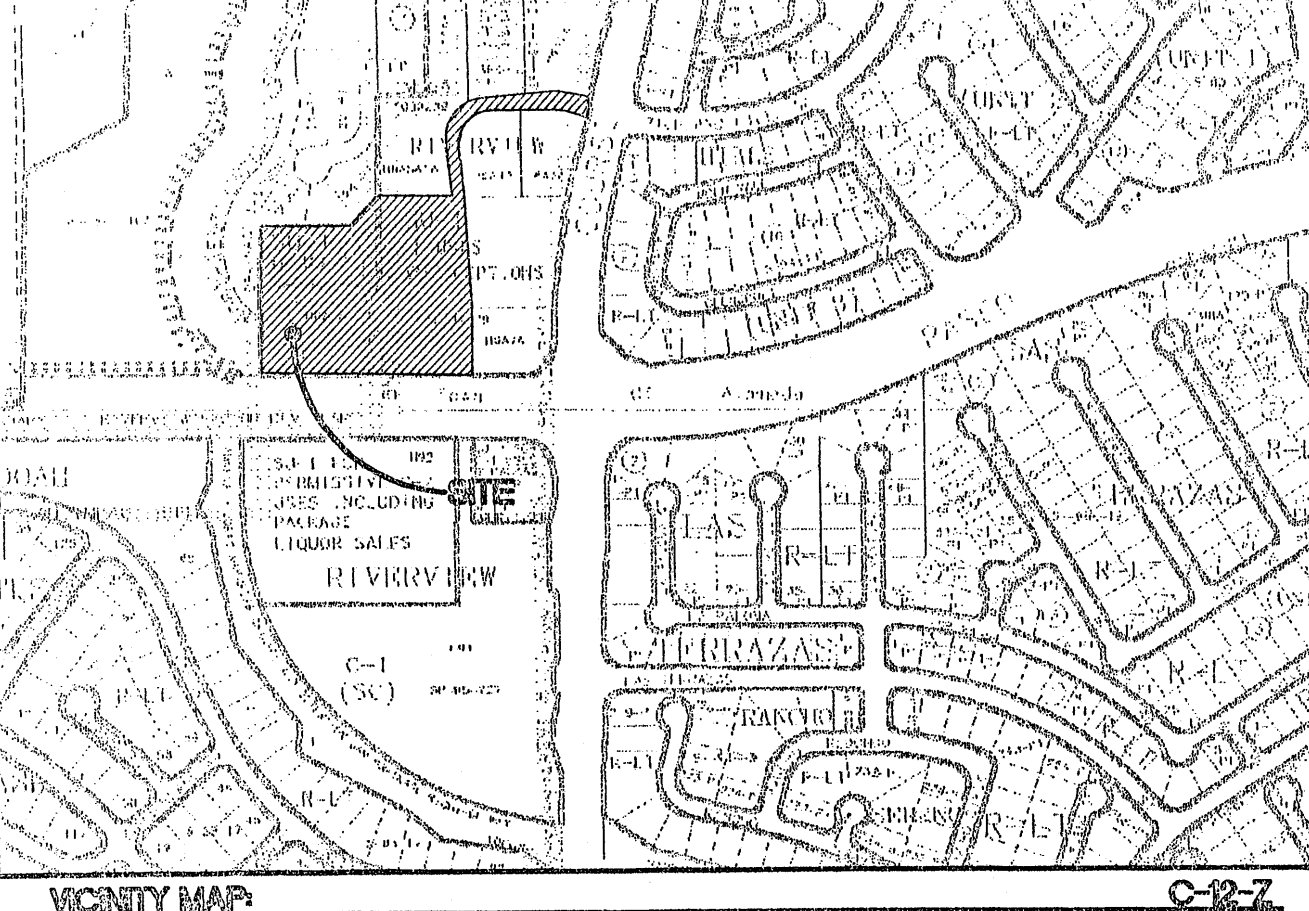


PROJECT NUMBER: Z-99-11
APPLICATION NUMBER: 00450-00000-00523

Is an Infrastructure List required? () Yes () No If Yes, then a set of approved DRG plans with a work order is required for any construction which Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineer, Transportation Division	Date
Utilities Development	Date
Parks & Recreation Department	Date
City Engineer	Date
* Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	12/6/03



KEYED NOTES

1. BIKE RACK(TYP.)
2. PEDESTRIAN CROSSWALK WITH 4" WIDE PAINTED YELLOW STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-4" O.C. UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR WIDTH.
3. 6" MEDIAN CURB & GUTTER
4. UNIDIRECTIONAL HANDICAP RAMP PER COA STD DRG #2423
5. CART CORRAL (TYP)
6. TRASH COMPACTOR
7. 6" DIA. PIPE BOLLARD(TYP)
8. AWNINGS (PER ARCHITECTURAL PLANS)
9. 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO THE PARKING SPACE(TYP.)
10. "YIELD" PAINTED YELLOW ON PAVEMENT TYP.
11. HANDICAP PARKING SIGN
12. PAINTED 6" RED STRIPE W/ 4" WHITE LETTERS "NO PARKING FIRE ZONE".
13. 6" CONCRETE SIDEWALK
14. 10'x15' STRIPED AREA PAINTED SYSL/4" AT 45° @ 2'-0" O.C. AT JIB CRANE LOCATION. SEE ARCH. PLANS
15. ELECTRICAL TRANSFORMER
16. PEDESTRIAN CROSSING SIGN W/10-2 and W/10-2p TYPICAL AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS
17. PAINTED DIRECTIONAL ARROW (TYP)
18. SMALL CAR SYMBOL, "COMPACT" PAINTED YELLOW ON PAVEMENT (TYP)
19. ACCESSIBLE PARKING SPACE (TYP.) SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE, SIGN AND SYMBOL ("WAV" INDICATES VAN ACCESSIBLE SPACE).
20. 5'x6" LANDSCAPE PLANTERS
21. 400 SF TREE SHADED PATIO AREA
22. 6" CONCRETE SIDEWALK
23. STANDARD CURB AND GUTTER
24. 12" PAINTED (WHITE) STOP BAR W/PAVEMENT MARKING "STOP" IN 6" LETTERS

LEGEND

- PROPOSED CURB & GUTTER
- SETBACK
- BOUNDARY LINE
- EASEMENT
- PROPOSED SIDEWALK
- PROPOSED RETAINING WALL
- PROPOSED PARKING SPACES
- CART CORRAL
- MULTIPLE OCCUPANCY VEHICLE SPACE
- SMALL CAR PARKING SPACE
- HEAVY DUTY ASPHALTIC CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- STANDARD DUTY ASPHALTIC CONCRETE PAVEMENT
- STANDARD DUTY CONCRETE
- PROPOSED LIGHTING

PARCEL DATA

PARCEL H-6A1A-1	5.1472 ± AC	
PARCEL H-6A1A-2	1.3483 ± AC	
TOTAL	6.4955 ± AC	
LAND USE CLASSIFICATION:	COMMERCIAL	
ZONING CLASSIFICATION:	SU-1 FOR IP WITH EXCEPTIONS DRIVE-UP WINDOW MUST BE 75' MINIMUM FROM NEAREST RESIDENCE	
LOCAL JURISDICTION:	CITY OF ALBUQUERQUE	
FLOOD ZONE CLASSIFICATION:	ZONED X UNSHADED	
<u>PARKING DATA</u>		
PARCEL H-6A1A-1	39,690 S.F./200=	199 SPACES
PARCEL H-6A1A-2	10,000 S.F./200=	50 SPACES
TOTALS	49,770 S.F.	249 SPACES
TOTAL PARKING REQUIRED		249 SPACES
LESS 10% BUS CREDIT		225 SPACES

NOTES

1. ALL CALCULATIONS BASED ON TOTAL GROSS SQUARE FOOTAGE OF BUILDING
2. WAL-MART REQUIRED PARKING (5.0 SP/1,000 S.F.) CODE REQUIRED PARKING SPACES (5.0/1,000 S.F.)
3. PARKING LAYOUT MEETS WAL-MART STANDARDS WHICH IS WITHIN LOCAL REQUIREMENTS.
4. CITY OF ALBUQUERQUE DOES NOT ALLOW CREDIT FOR CART CORRALS.
5. PARKING SHOWN CONTAINS BOTH 60' AND 80' PARKING SPACES. TYPICAL DIMENSIONS:
 WIDTH: 9.5'
 DEPTH: 20'
 ONE WAY AISLES: 20'
 TWO WAY AISLES: 25'
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS (MEP) FOR LOCATION AND SPECIFICATIONS FOR ALL PARKING LOT LIGHTING AND LIGHT POLES.

FOR REFERENCE ONLY

NO.	DATE	REMARKS	BY
REVISIONS			
ENGINEER'S SEAL		PASEO DEL NORTE AND GOLF COURSE WAL-MART NEIGHBORHOOD MARKET #3317-00 5511 GOLF COURSE RD. NW	DRAWN BY rwm
		AMENDED SITE PLAN FOR BUILDING PERMIT	DATE 12-01-2004
		ALBUQUERQUE NEW MEXICO	2387SPB-11-12-04X
		Tierra West, LLC	SHEET #
		8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	7 OF 27
		RONALD R. BOHANNAN P.E. #7868	JOB # 230087

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 LAND DEVELOPMENT SECTION