

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 19, 2023

Brandon Alley, P.E.
Galloway & Company INC
5500 Greenwood Plaza Blvd, Suite 2020
Greenwood Village, CO 80111

Re: Walmart/ 6441 8511 Golf Course Rd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Engineer's Stamp dated 08-23-2022 (C12-D002C2)
Certification dated 01-17-23

Dear Mr. Alley,

Based upon the information provided in your submittal received 01-17-23, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact Ernest Armijo at (505) 924-3991 or at earmijo@cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

\xxx via: email
C: CO Clerk, File

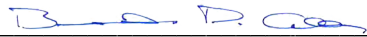


5500 Greenwood Plaza Blvd, Suite 2020
Greenwood Village, CO 80111
303.770.8884 • GallowayUS.com

TRAFFIC CERTIFICATION

I, BRANDON ALLEY, NMPE OF GALLOWAY & COMPANY, INC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 1/12/2022. EDITS TO THE APPROVED PLANS DATED 1/12/2022 HAVE BEEN REDLINED IN THE INCLUDED AS-BUILT DRAWINGS. I FURTHER CERTIFY THAT A PROFESSIONAL ENGINEER UNDER MY DIRECT SUPERVISION VISITED THE PROJECT SITE ON 12/1/2022 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE APPROVED REDLINED PLANS DATED 1/12/2022 ARE REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Signature of Engineer

1/17/2023

Date



01/17/2023

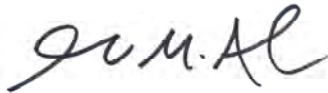


ADMINISTRATIVE AMENDMENT

FILE #: SI-2022-01185

PROJECT #: PR-2020-003905

Updated striping for create Online Grocery Pickup (OGP) designated parking (with
stall designation signs); Addition of directional signs in parking lot; Exterior paint up
Exterior wall sign updates. All changes meet VPO-2 and Site Plan standards.



Digitally signed by James M. Aranda
DN: cn=James M. Aranda, o=City of Albuquerque,
ou=Planning Department, email=jmaranda@cabq.gov, c=US
Date: 2022.08.23 10:21:19 -06'00'

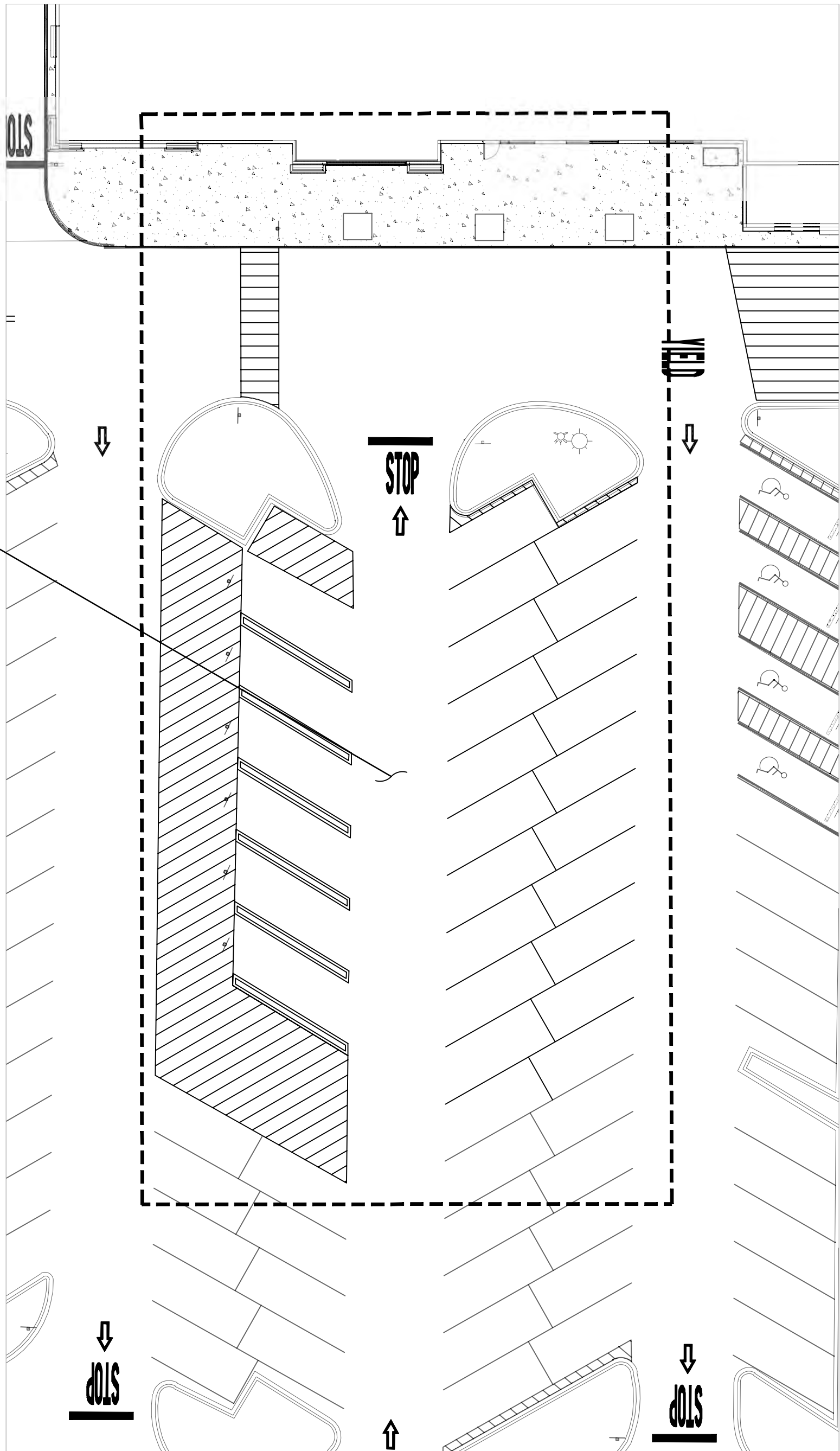
8/23/2022

APPROVED BY

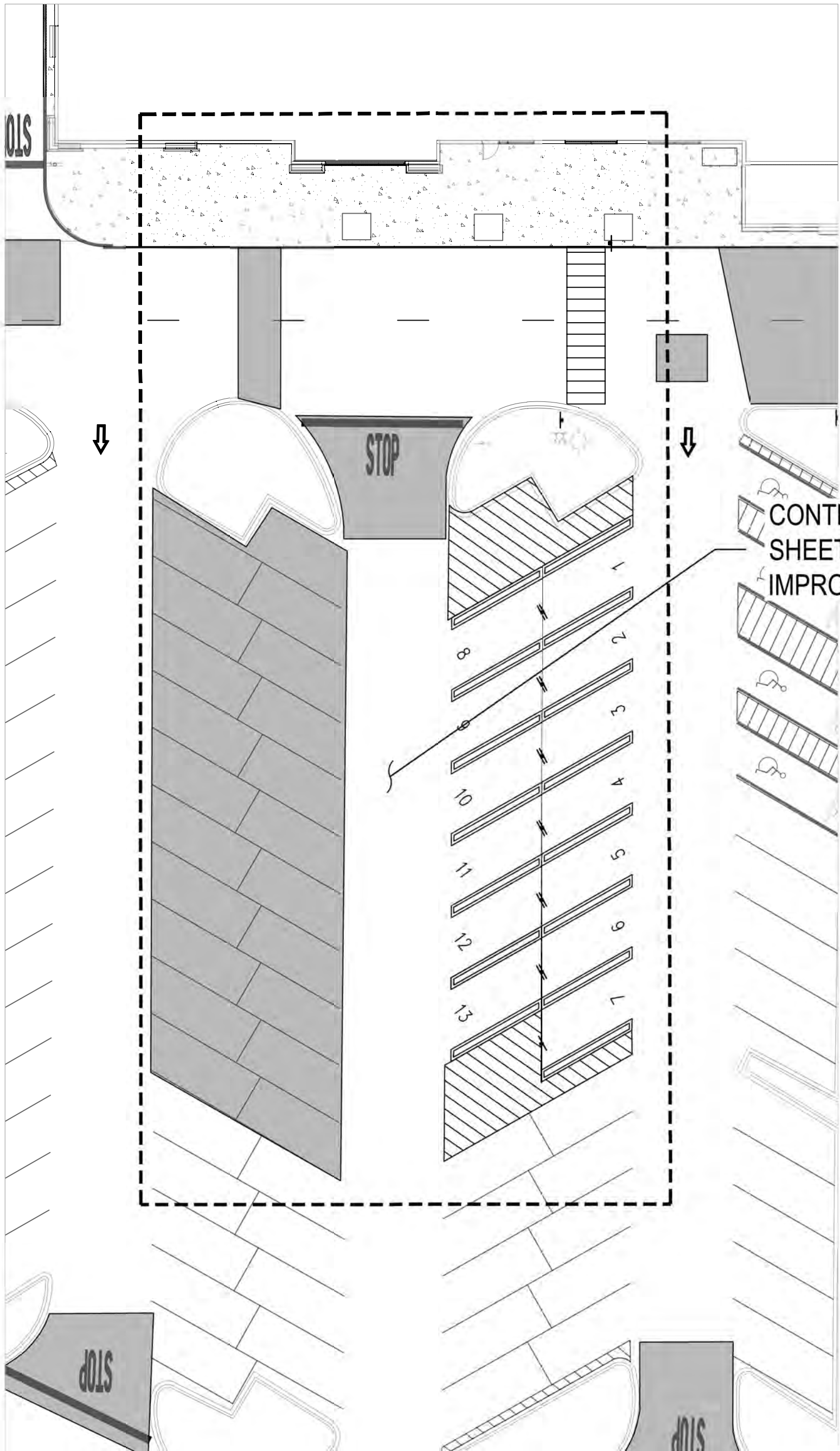
DATE

Site Conditions were confirmed to be constructed per approved AA Amendment per site visit completed by Galloway & Company on 12/1/22 with the exceptions noted.

CONTRACTOR SHALL REFER TO SHEET C008 FOR ADDITIONAL IMPROVEMENT DETAILS AT PICKUP



DEMOLITION PLAN

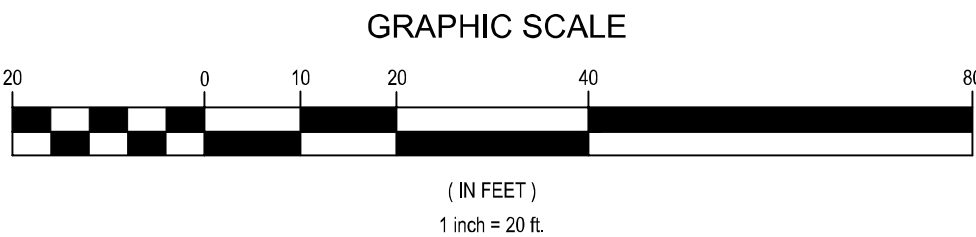
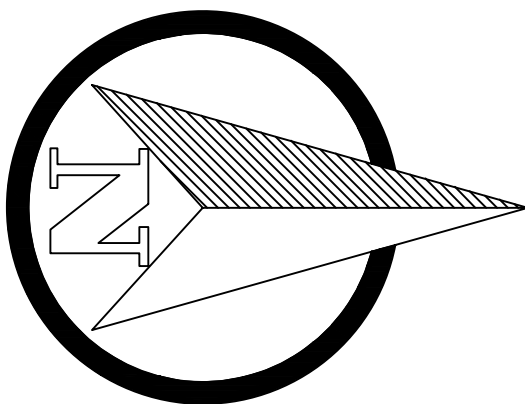


SITE CONSTRUCTION PLAN

Site Conditions were confirmed to be constructed per approved AA Amendment per site visit completed by Galloway & Company on 12/1/22.


NOTES TO CONTRACTOR:

1. REFERENCE SITE CONSTRUCTION PLAN FOR SITE SPECIFIC DIMENSIONS OF CROSSWALK STRIPING AND LOCATION OF SIGNAGE.
2. PROVIDE A COMPREHENSIVE CONSTRUCTION PHASING PLAN FOR THIS WORK TO THE STORE MANAGER 7 DAYS PRIOR TO STARTING ANY WORK. IT IS TO PROVIDE FOR DATES, TIMES AND DURATION OF LANE CLOSURES, TEMPORARY VEHICLE AND PEDESTRIAN TRAFFIC CONTROL.
3. ALL EXISTING STRIPING AND PAVEMENT MARKINGS OR TEXT ALONG THE BFR (BUILDING FRONTAGE ROAD) SHALL BE REMOVED. GRIND OUT ANY DIRECTIONAL ARROWS OR STOP BARS/TEXT THAT ARE NOT CORRECTLY LOCATED OR INCONSISTENT WITH THE DETAILS PROVIDED. APPLY SEAL COAT TO THE COMPLETE EXTENT THAT THE STRIPING OR TEXT HAS BEEN REMOVED IN A SINGLE COMPLETE RECTANGLE TO COVER ALL REMOVED STRIPING (DO NOT APPLY SEAL COAT OVER EXISTING STRIPING OR CONCRETE). INSTALL NEW STRIPING AND SIGNAGE AS SHOWN ON THE SITE CONSTRUCTION PLAN.
4. ALL SIGNS LOCATED ON THE BUILDING SIDE OF THE BFR SHALL BE INSTALLED ON A SINGLE POST WITH BOLLARD.



DEMOLITION AND SITE CONSTRUCTION PLAN

REVISIONS	BY

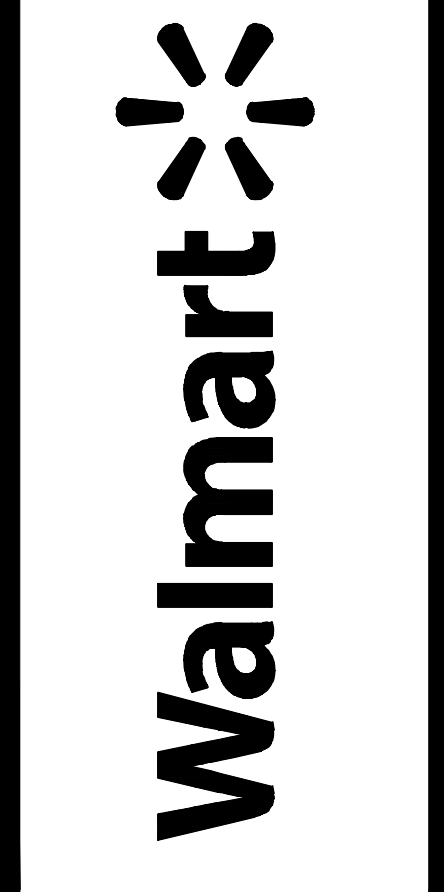


Galloway
6142 S. Willow Drive, Suite 320
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BRANDON ALSET
NEW MEXICO
25037
PROFESSIONAL ENGINEER
01/12/2022


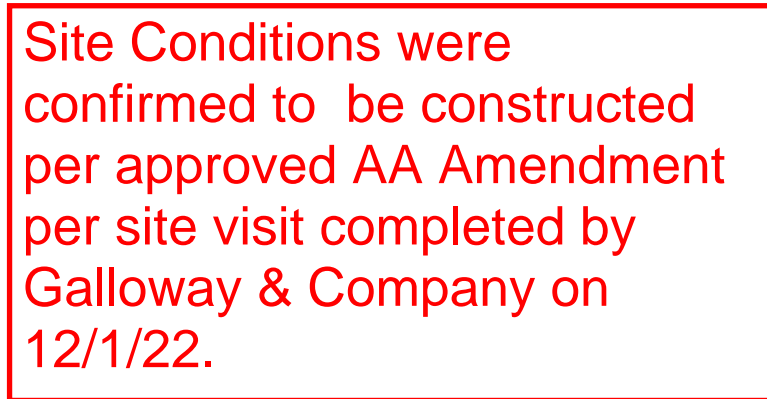
NEIGHBORHOOD MARKET #03317 -221
8511 GOLF COURSE RD NW
ALBUQUERQUE, BERNALILLO, NEW MEXICO
WAL-MART STORES, INC.
BENTONVILLE, AR



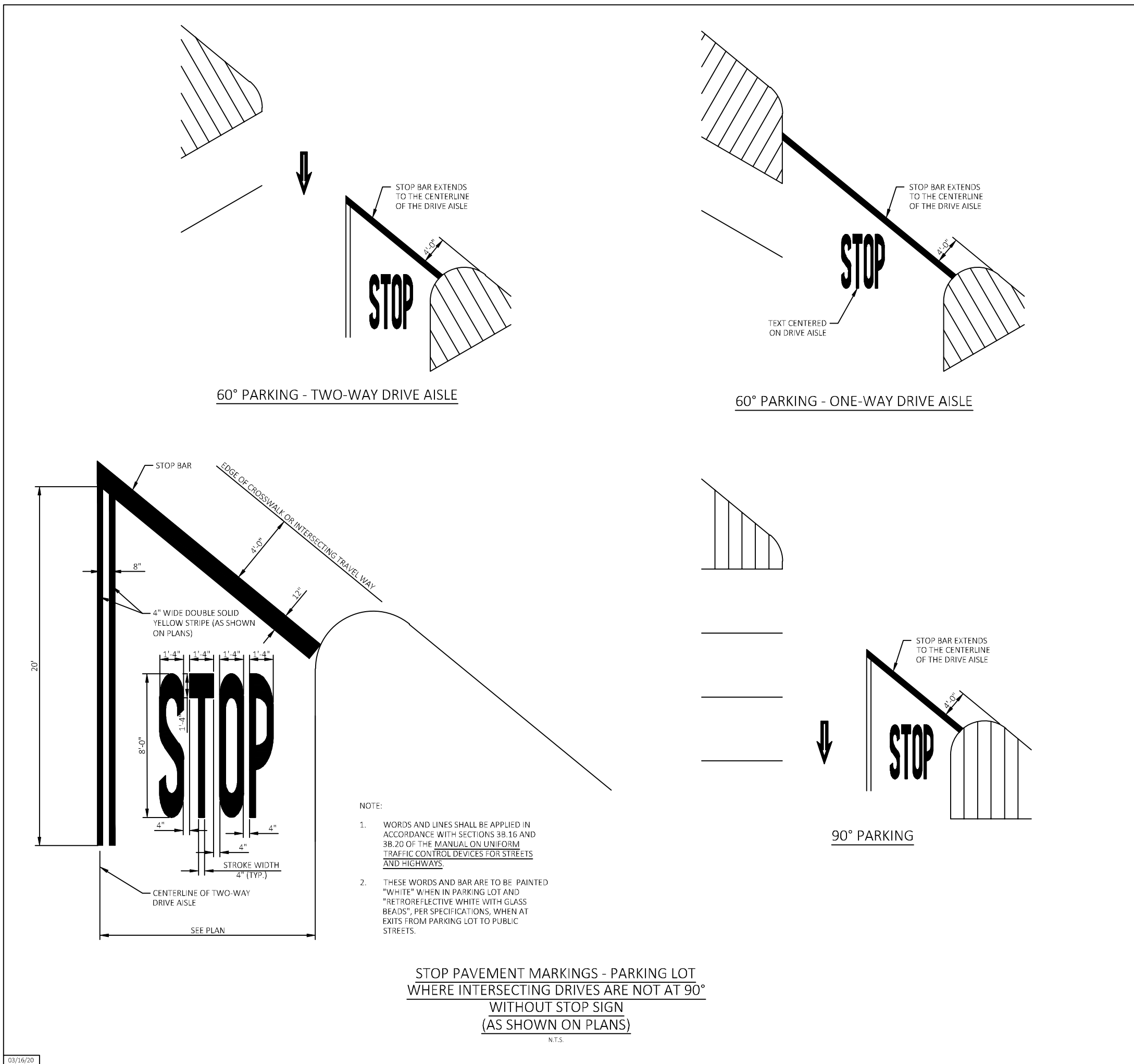
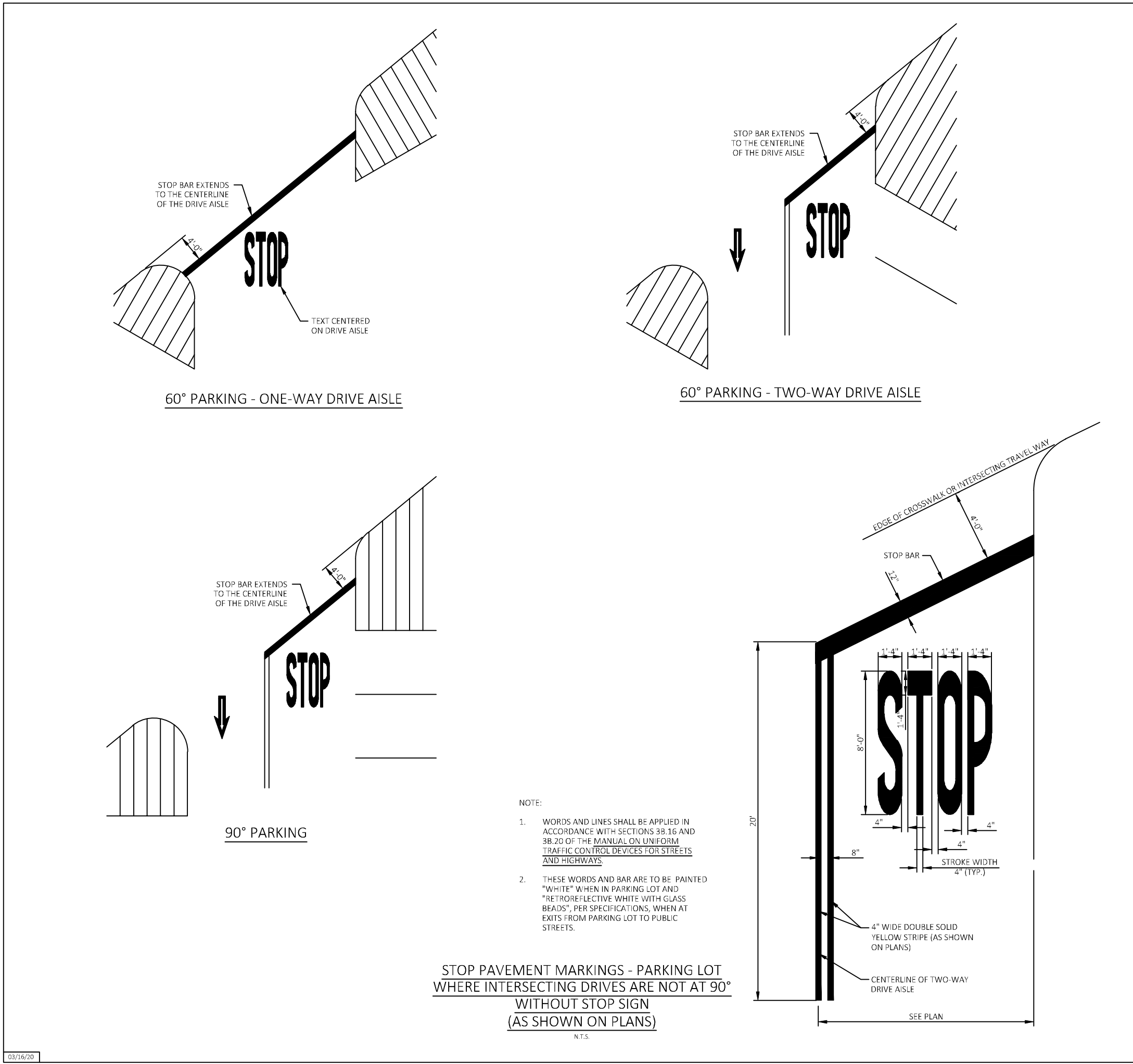
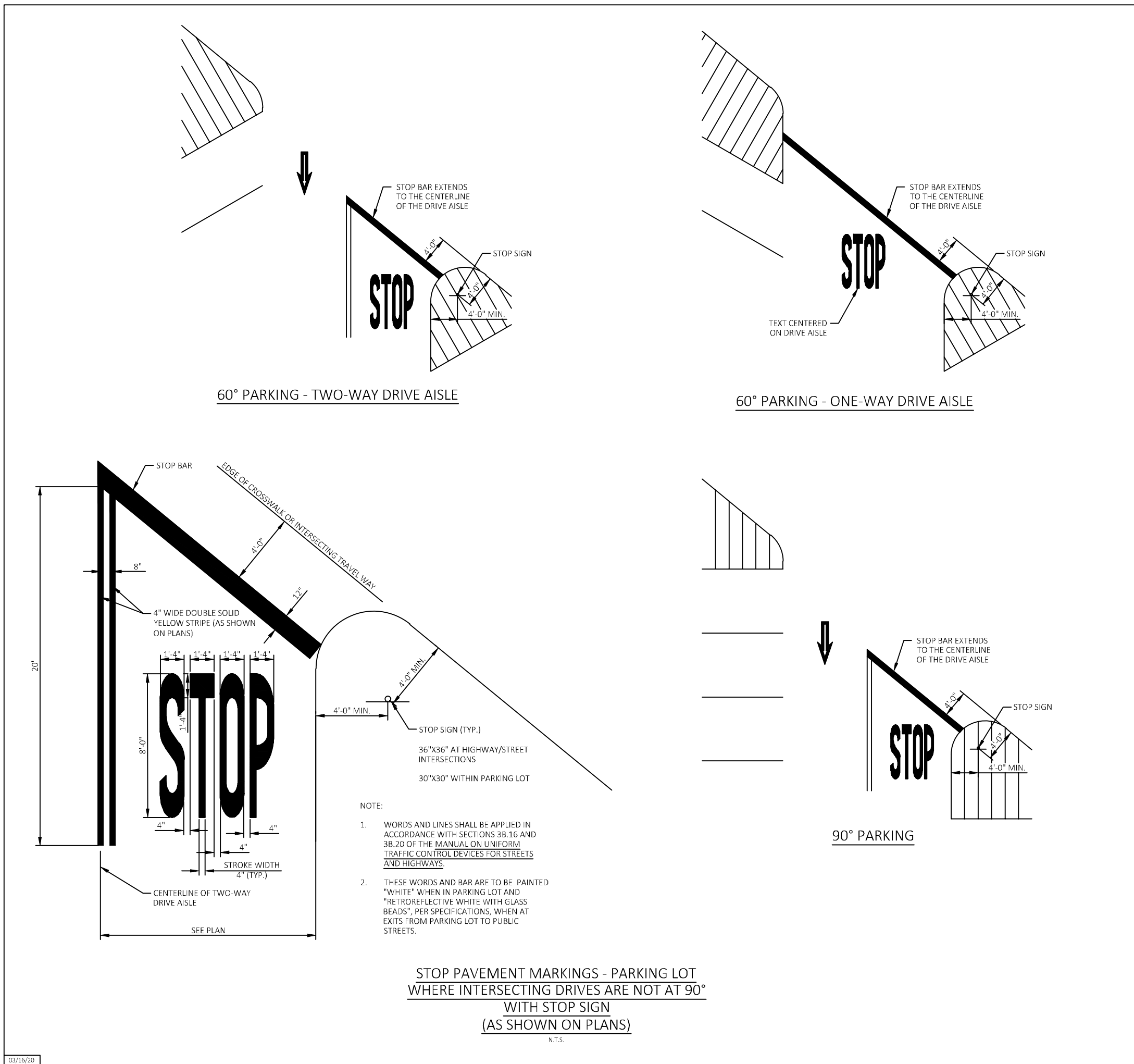
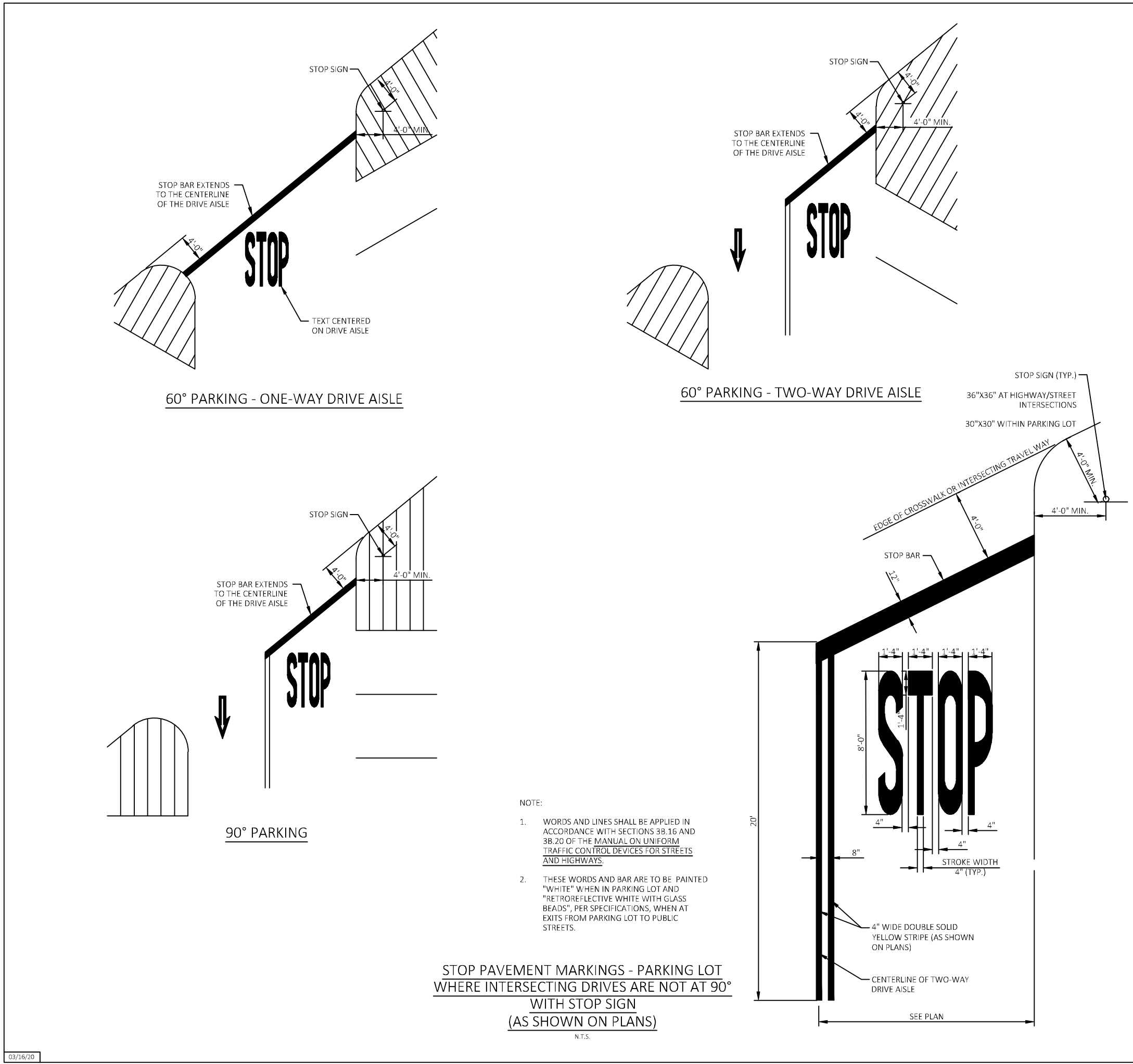
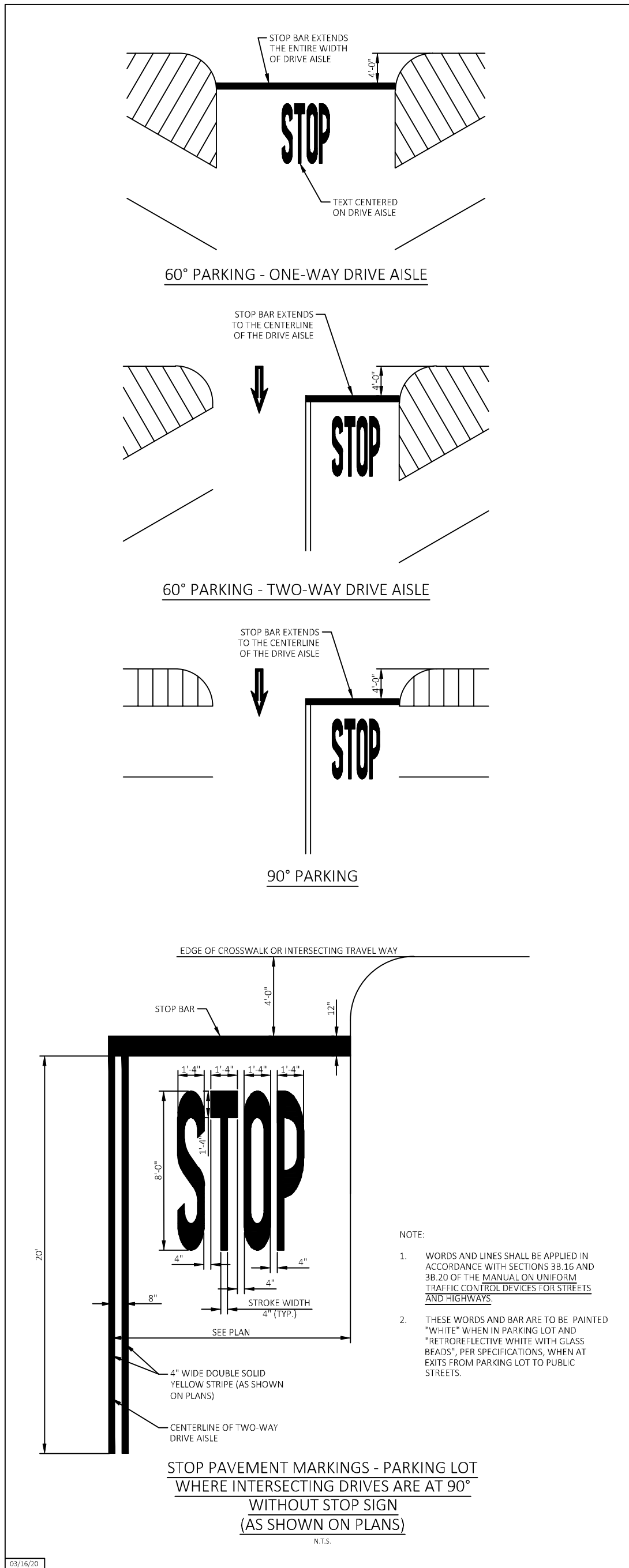
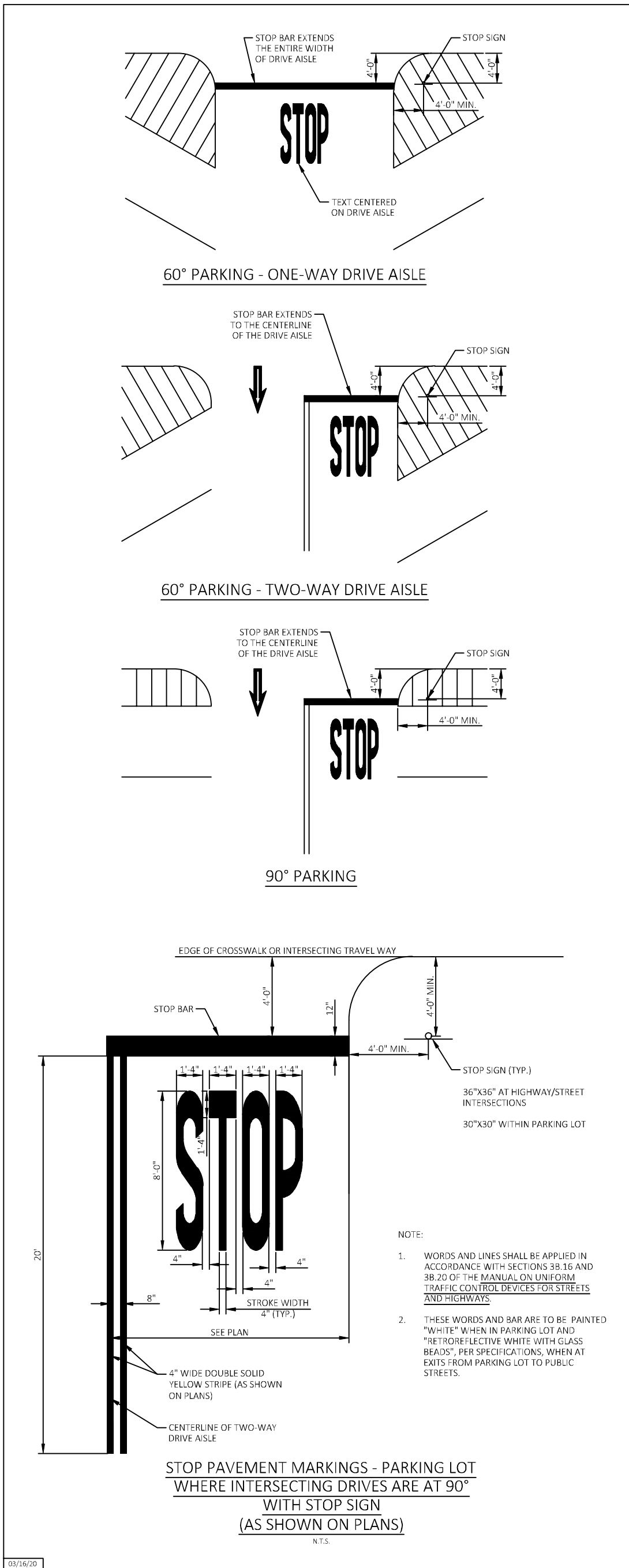
Walmart

DRAWN	MMC
CHECKED	BDA
DATE	01/10/22
SCALE	AS SHOWN ON SHEET
JOB No.	CYN003317.20
SHEET	

C003

C004


SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET




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SECP AND STOP SIGNS AND MARKINGS DETAIL SHEET

REVISIONS	BY

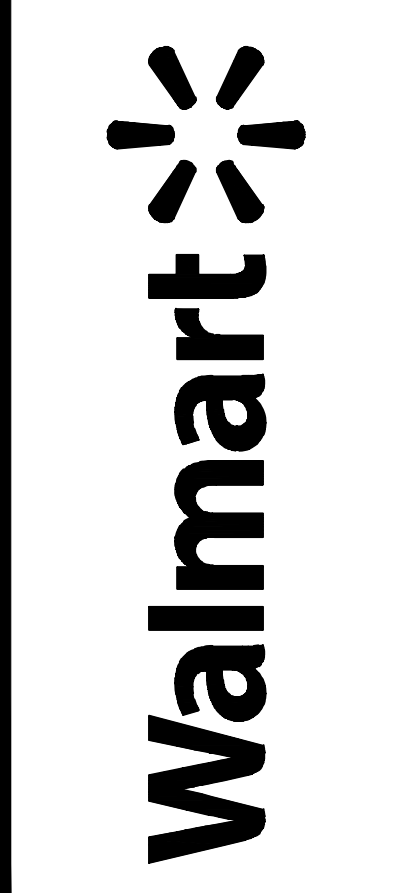


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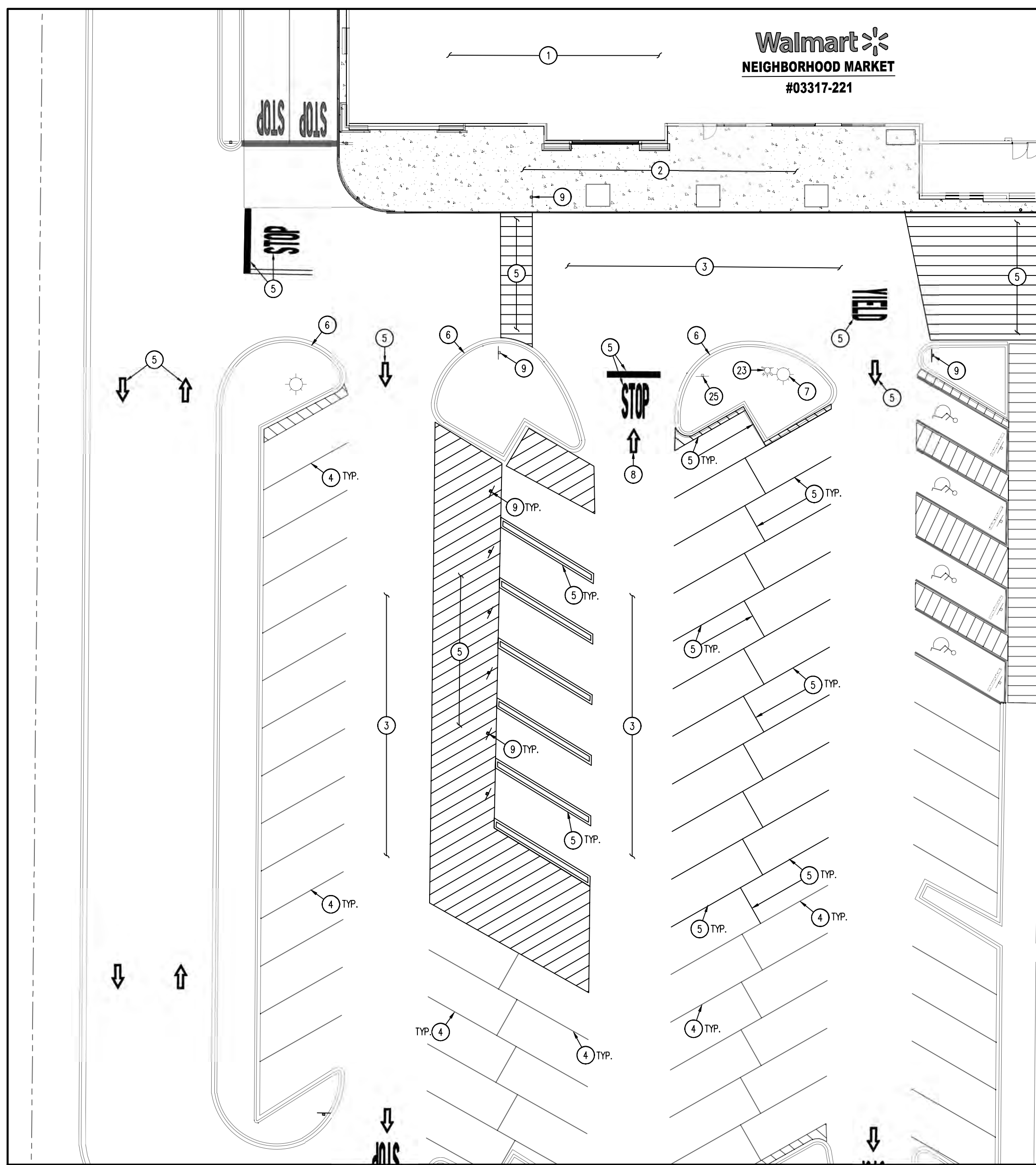
BRANDON ALLEY
NEW MEXICO
25037
01/12/2022

NEIGHBORHOOD MARKET #03317 -221
8511 GOLF COURSE RD NW
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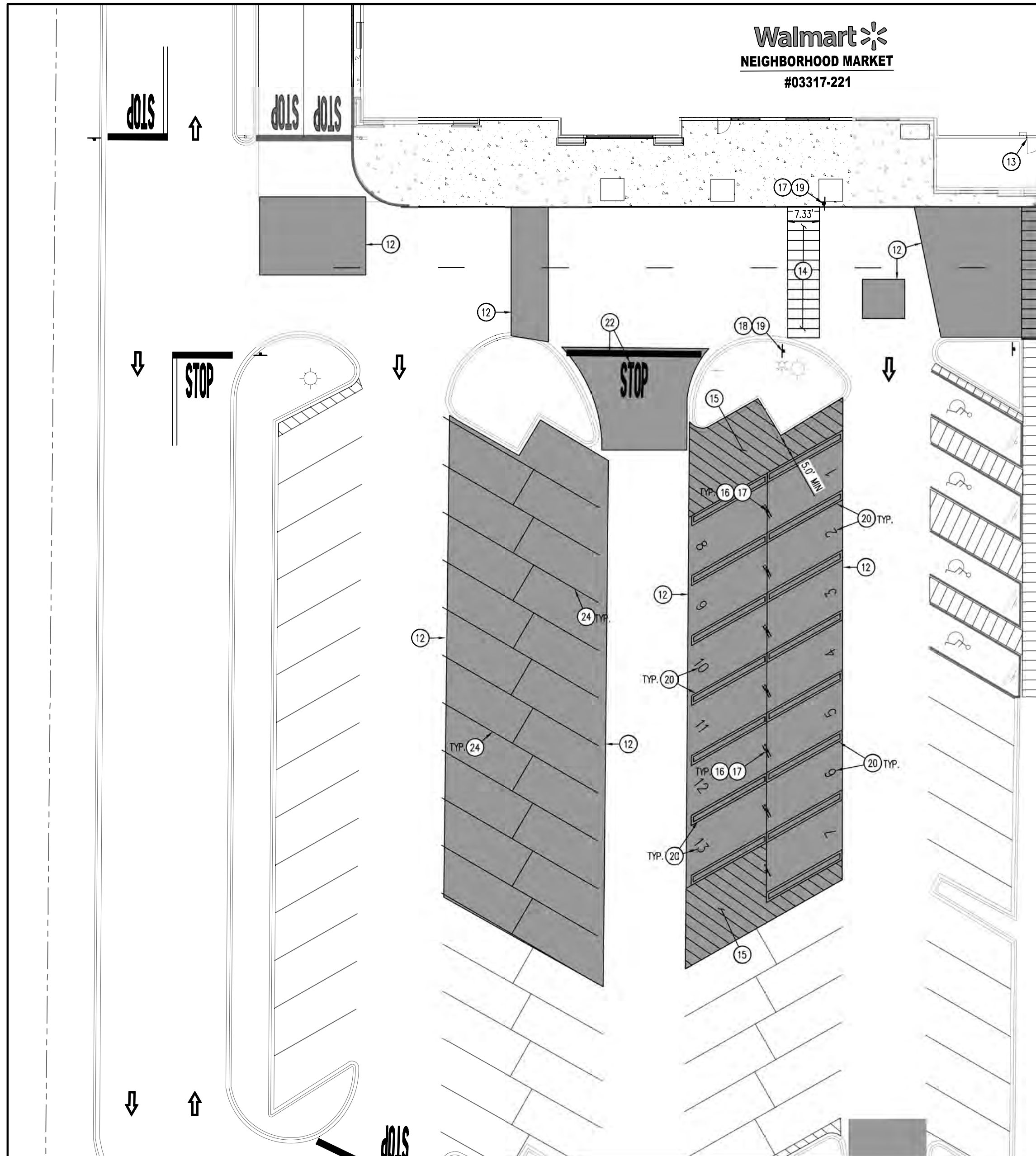


DRAWN	MMVC
CHECKED	BDA
DATE	01/10/22
SCALE	AS SHOWN ON SHEET
JOB NO.	CYN003317.20
SHEET	

C005



DEMOLITION PLAN — EXISTING PICKUP PARKING
SCALE: 1"=10'



SITE PLAN — PROPOSED PICKUP PARKING
SCALE: 1"=10'

DEMOLITION NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL STRUCTURES, PAVES, WALLS, FENCES, FOUNDATIONS, PARKING, DRIVEWAYS, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PROPOSED PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERGUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL FOR THE SPECIFICATIONS. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY THEMSELVES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR MARKING ON-SITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. ONE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDING.
6. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY CITY AND OWNER. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE EXISTING FACILITIES TO REMAIN, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
7. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION.
9. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE ACCURATE. FINDING THE ACTUAL LOCATION OF ANY EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR ENGINEER WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR COST INCURRED BECAUSE OF THE OPERATIONS IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES, NOR FOR TEMPORARY BRACING AND SHORING OF SAME. IF IT IS NECESSARY TO SHORE, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER/ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST OSHA STANDARDS FOR EXCAVATION AND TRENCHING PROCEDURES. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BRACING, ETC., AS NECESSARY FOR THESE OPERATIONS, AND SHALL COMPLY WITH ALL OSHA PERFORMANCE CRITERIA.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
14. ANY RECYCLED MATERIAL TO BE STOCKPILED ON THE SITE SHALL BE STORED IN AS SMALL AN AREA AS PRACTICAL, AND THE LOCATION OF ANY STOCKPILE SHALL BE WELL CLEAR OF THE BUILDING PAD AREA AND THE LOCATION MUST BE PRE-APPROVED BY THE ENGINEER AND OWNER PRIOR TO STOCKPILING.
15. QUANTITIES SHOWN HERE ARE APPROXIMATE AND ARE PROVIDED FOR CONVENIENCE ONLY AND NOT FOR BID PURPOSES. CONTRACTOR SHALL VERIFY QUANTITIES NECESSARY TO DEMO FACILITIES SHOWN.
16. ASBESTOS OR HAZARDOUS MATERIAL, IF FOUND ON SITE, SHALL BE REMOVED BY A LICENSED HAZARDOUS MATERIAL CONTRACTOR. REFERENCE ARCHITECTURAL PLANS FOR LIMITS OF BUILDING DEMOLITION.

SITE NOTES

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
4. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE BID.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC., AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED "THE SITE SPECIFIC SPECIFICATIONS".

PARKING TABLE ANALYSIS		
PARKING COUNT BASED ON AVAILABLE AERIAL IMAGERY, FIELD VERIFICATION REQUIRED.		
	EXISTING	PROPOSED SOLUTION
BUILDING SQUARE FOOTAGE	39,690 SQ. FT.	39,690 SQ. FT.
PARKING REQUIREMENTS	1 STALL / 225 SQ. FT.	1 STALL / 225 SQ. FT.
REQUIRED STALLS	176	176
STANDARD STALLS	144	146
ADA STALLS	6	8
PICKUP STALLS	8	13
TOTAL PARKING STALLS	160	167
PARKING RATIO	4.03 SPACES / 1,000 SF	4.21 SPACES / 1,000 SF

Site Conditions were confirmed to be constructed per approved AA Amendment per site visit completed by Galloway & Company on 12/1/22.



KEY MAP
APPROX. 1" = 300'

LEGEND

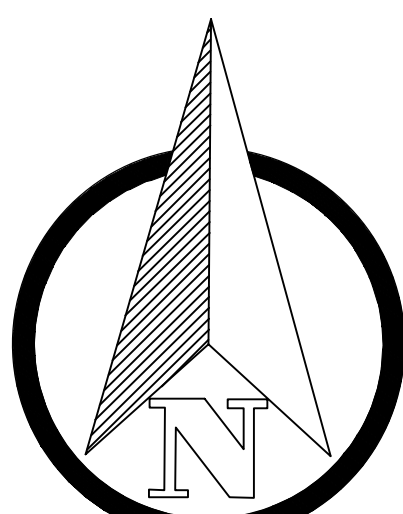
[Symbol]	EXISTING TO REMAIN
[Symbol]	EXISTING ASPHALT PAVEMENT TO REMAIN
[Symbol]	EXISTING CONCRETE PAVEMENT TO REMAIN
[Symbol]	PROPOSED SEAL COAT OF EXISTING PAVEMENT
[Symbol]	EXISTING SIGN TO REMAIN
[Symbol]	EXISTING SIGN TO BE REMOVED
[Symbol]	PROPOSED PICKUP SIGNAGE

SITE & DEMOLITION SCHEDULE

1. EXISTING WALMART BUILDING TO REMAIN.
2. EXISTING CONCRETE PAVEMENT/SIDEWALK TO REMAIN.
3. EXISTING ASPHALT PAVEMENT TO REMAIN.
4. EXISTING PARKING LOT STRIPING & PAVEMENT MARKING TO REMAIN.
5. EXISTING PARKING LOT STRIPING AND/OR PAVEMENT MARKING TO BE REMOVED.
6. EXISTING CURB AND GUTTER TO REMAIN.
7. EXISTING LIGHT POLE AND BASE TO REMAIN.
8. EXISTING ARROW PAVEMENT MARKING TO BE REMOVED.
9. EXISTING SIGN POST, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO BE REMOVED.
10. EXISTING PAVEMENT MARKING TO REMAIN.
11. PROPOSED 30"x30" STOP SIGN (REF. SITE DETAILS).
12. PROPOSED SEAL COAT OF EXISTING PAVEMENT.
13. VESTIBULE UTILIZED BY ASSOCIATES FOR PICKUP OPERATIONS.
14. PROPOSED PICKUP CROSSWALK STRIPING (REF. SITE DETAILS).
15. PROPOSED 4" SOLID YELLOW PAINTED STRIPES AT 45° @ 2'-0" O.C.
16. PROPOSED PICKUP SIGNAGE (REF. SITE DETAILS).
17. PROPOSED SIGN MOUNTING AND BASE WITH BOLLARD (REF. SITE DETAILS).
18. PROPOSED SIGN MOUNTING & BASE WITH BREAKAWAY POST (REF. SITE DETAILS).
19. PROPOSED R1-5B - "STOP HERE FOR PEDESTRIANS" SIGNAGE (REF. SITE DETAILS).
20. PROPOSED PICKUP STALL STRIPING AND PICKUP NUMBER MARKING (REF. SITE DETAILS).
21. PROPOSED OPEN ARROW PAVEMENT MARKINGS (REF. SITE DETAILS).
22. PROPOSED STOP BAR AND STOP TEXT (REF. SITE DETAILS).
23. EXISTING FIRE HYDRANT TO REMAIN.
24. PROPOSED PARKING LOT STRIPING (4" WIDE TRAFFIC YELLOW WATCHING EXISTING PARKING STALL DIMENSIONS).
25. EXISTING SIGN POST TO REMAIN, BASE, AND BOLLARD BASE (WHERE APPLICABLE) TO REMAIN.

CAUTION — NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



GRAPHIC SCALE

