

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Interim Director



Mayor Timothy M. Keller

November 19, 2021

Shawn Biazar
SBS Construction and Engineering
10209 Snowflake Ct. NW
Albuquerque, NM 87114

**RE: Kiddie Academy – West Side
4590 Paradise Blvd. NW
Permment C.O. - Accepted
Engineer's Certification Date: 11/15/21
Engineer's Stamp Date: 6/14/20
Hydrology File: C12D003A**

Dear Mr. Biazar:

PO Box 1293

Based on the Certification received 11/16/21 and site visit on 11/19/21, this certification is approved in support of release of Certificate of Occupancy by Hydrology.

Albuquerque

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

Sincerely,

NM 87103

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: KIDDIE ACADEMY WEST SIDE Building Permit #: _____ Hydrology File #: C12D003A
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT A-2-B-2 FOUNTAIN HILLS PLAZA SUBDIVISION
City Address: 4590 PARADISE BLVD., NW

Applicant: SBS CONSTRUCTION AND ENGINEERING, LLC **Contact:** SHAWN BIAZAR
Address: 7632 WILLIAM MOYERS AVE., NE, ALBUQUERQUE, NM 87122
Phone#: (505) 804-5013 **Fax#:** (505) 897-4996 **E-mail:** AECLLC@AOL.COM

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 11-15-2021 **By:** SHAWN BIAZAR

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

Location
TRACT A-2-B-2, Fountain Hills Subdivision is located at the northeast corner of Nunzio Avenue NW and Paradise Blvd., NW, containing 1.1941 acre. See attached portion of Vicinity Map C-12-Z for exact location.

Purpose
The purpose of this drainage report is to present a grading and drainage solution for new building and improvements with this tract of land.

Existing Drainage Conditions
This site falls within Master Drainage Plan for Fountain Hills under the City project number C12-D003. This project falls within Basin B-1-A. The site currently drain from northwest to southeast side of the site to Vista Fuente Road and Nunzio Avenue NW. This site drains to Nunzio Avenue. The allowable discharge under Basin B-1-A is (37.73 cfs / 9.03 acres) 4.18 cfs/acre. Therefore, the allowable discharge is (1.19 acres x 4.18 cfs/acre) 5.02 cfs.

Proposed Conditions and On-Site Drainage Management Plan
The proposed runoff under the developed conditions is 4.65 cfs which is less than allowable discharge of 5.02 cfs. We are proposing to pond the 90th Percentile/First Flush requirement (1.08.67 cf). Total retention volume provided is 1,229.78 of which exceeds the required 1st flush ponding volume. Once the runoff reaches elevation of 5033 it drains out to Nunzios via inlet 3 through 4-6" pipe which are daylighted to the back of a 24" sidewalk culvert.

Calculations
City of Albuquerque, Development Process Manual, Section 22.2, Hydrology Section, was used for runoff calculations. See this plan for AHYMO input and Summary output files.

NOTICE TO CONTRACTORS
PRIVATE DRAINAGE FACILITIES WITHIN CITY RIGHT-OF-WAY (SO-19)

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL, DIAL "811" [OR (505)260-1990] FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR MUST CONTACT AUGIE ARMJO AT (505) 857-8807 AND CONSTRUCTION COORDINATION AT 924- TO SCHEDULE AN INSPECTION.

APPROVALS	NAME	DATE
INSPECTOR		

PIPE FLOW CAPACITY CALCULATIONS

4-6" discharge pipes from Inlet 2

h (head) = 1.75' (from elevation 5033.25 to elevation 5035.00)
 A = 0.1963 sf
 g = 32.20

$$Q = 4 \times 0.60 \times 0.1963 \times (2 \times 32.2 \times 1.75)$$

$$Q = 5.00 \text{ cfs} > 4.65 \text{ cfs}$$

* ZONE 1

***** 100-YEAR, 6-HR STORM (UNDER HISTORICAL CONDITIONS) *****

START RAINFALL TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=1.87 IN RAIN SIX=2.20 IN
RAIN DAY=2.66 IN DT=0.03333 HR

* ON-SITE COMPUTE NM HYD ID=1 HYD NO=101.0 AREA=0.001876 SQ MI
PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
TP=0.1333 HR MASS RAINFALL=-1

***** 10-YEAR, 6-HR STORM (UNDER HISTORICAL CONDITIONS) *****

START RAINFALL TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=1.25 IN RAIN SIX=1.47 IN
RAIN DAY=1.77 IN DT=0.03333 HR

* ON-SITE COMPUTE NM HYD ID=1 HYD NO=111.0 AREA=0.001876 SQ MI
PER A=100.00 PER B=0.00 PER C=15.00 PER D=0.00
TP=0.1333 HR MASS RAINFALL=-1

***** 100-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) *****

START RAINFALL TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=1.87 IN RAIN SIX=2.20 IN
RAIN DAY=2.66 IN DT=0.03333 HR

* ON-SITE COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.001876 SQ MI
PER A=0.00 PER B=12.00 PER C=15.00 PER D=73.00
TP=0.1333 HR MASS RAINFALL=-1

***** 10-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) *****

START RAINFALL TIME=0.0
TYPE=1 RAIN QUARTER=0.0 IN
RAIN ONE=1.25 IN RAIN SIX=1.47 IN
RAIN DAY=1.77 IN DT=0.03333 HR

* ON-SITE COMPUTE NM HYD ID=1 HYD NO=111.1 AREA=0.001876 SQ MI
PER A=0.00 PER B=12.00 PER C=15.00 PER D=73.00
TP=0.1333 HR MASS RAINFALL=-1

***** FINISH *****

DRAINAGE CERTIFICATION

I, REZA AFAGHPUR, NMPE 11814, OF SBS CONSTRUCTION AND ENGINEERING, LLC, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 06-14-2020. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY NMPS 15702 (CHRISTOPHER MEDINA, OF TERRA LAND SURVEYS, LLC. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATE OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

REZA AFAGHPUR, NMPE 11814
11/15/2021
DATE

24" SIDEWALK CULVERT OPENING CALCULATIONS

24" Sidewalk Culvert 8" High Calculation Using Weir Equation

$Q = CLH^{1.5}$
 $H = 0.67', C = 2.95, L = 24' (2.00)$
 $2.95 * 24^{1.5} = 2.958 * 240.548418636$
 $Q = 3.236 \text{ cfs}$

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
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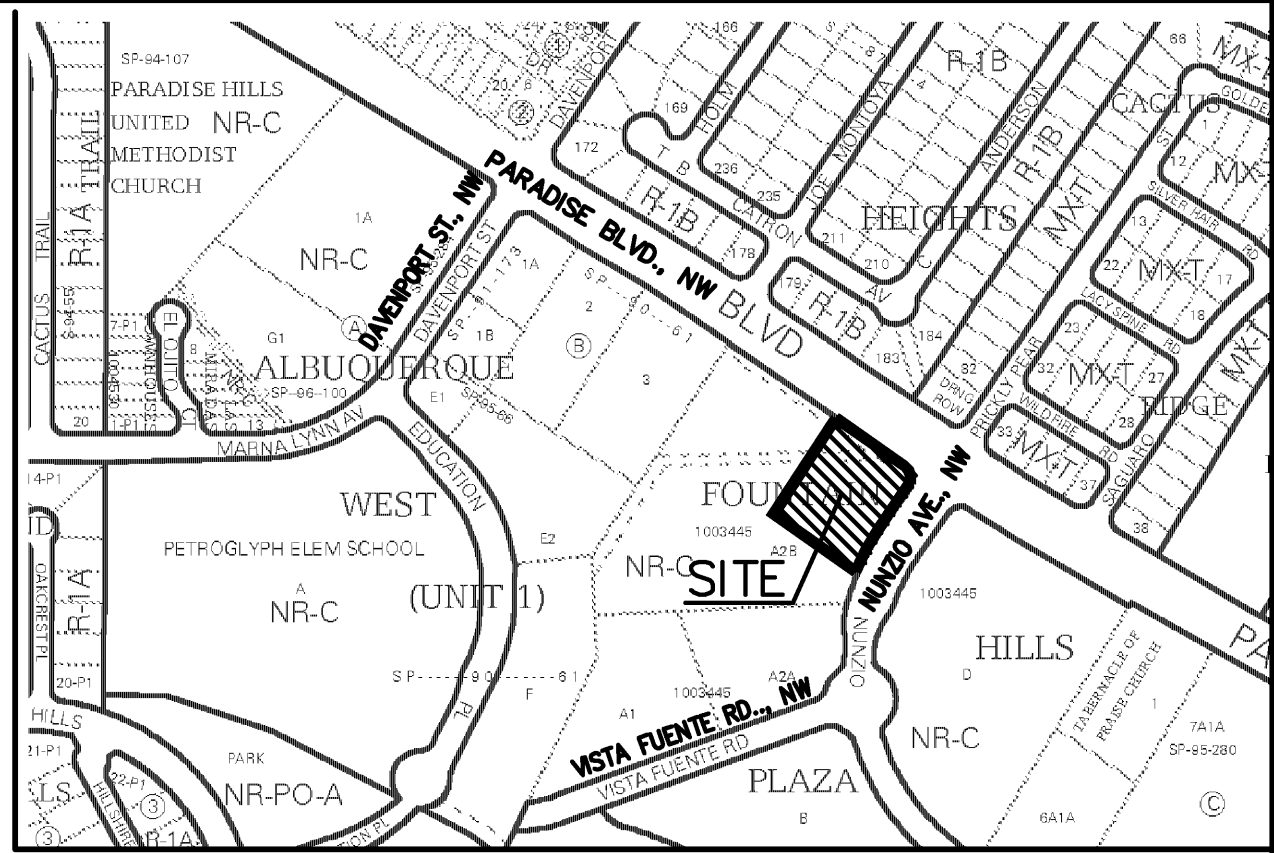
VERSION: 1997.02d

RUN DATE (MON/DAY/YR) = 04/27/2020
USER NO. = AHYMO-1-9702c01000R31-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM NO.	TO NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1
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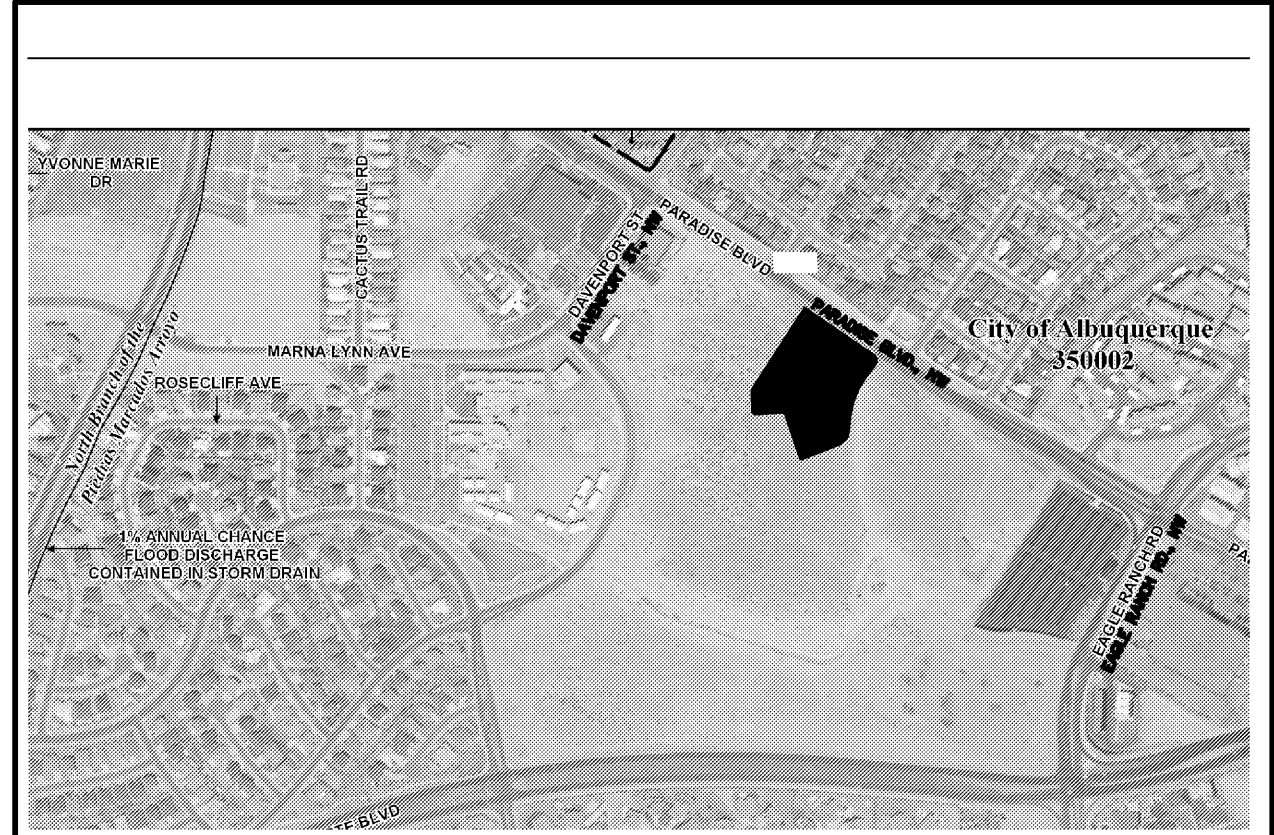
KEYED NOTES:

1. 24" CURB OPENING.
2. PROPOSED 24" SIDEWALK CULVERT.
3. 24" CONCRETE VALLEY GUTTER.
4. DEPPRESSED LANDSCAPING ARE.
5. PROPOSED 8" STORM DRAIN PIPE, SDR 35.
6. 8" NYLOPLAST DRAIN, 7001-110-272.



VICINITY MAP:

C-12-Z



FIRM MAP:
EFFECTIVE DATE:

FM35001C0116G
09-06-2008

LEGAL DESCRIPTION:

TRACT A-2-B-2 FOUNTAIN HILLS PLAZA
CONTAINING 1.1941 ACRES, 52,016.00 SF

GENERAL NOTES:

1. CONTOUR INTERVAL IS HALF (1.00) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION LSS_302, HAVING AN ELEVATION OF 5444.139 FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/ OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.

LEGEND

- 5030----- EXISTING CONTOUR (MAJOR)
- 5029----- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- X 28.50 PROPOSED SPOT ELEVATION
- X 5029.16 EXISTING GRADE
- X 5075.65 EXISTING FLOWLINE ELEVATION
- FL
- PROPOSED RETAINING WALL
- BC=89.08 BOTTOM OF CHANEL
- TC=28.50 TOP OF CURB
- TA=28.00 TOP OF ASPHALT
- HP HIGH POINT
- 86.65 AS-BUILT GRADES
- 85.47 AS-BUILT SPOT ELEVATIONS
- X 86.65

GRAPHIC SCALE

20 10 0 20
SCALE: 1"=20'

**SBS CONSTRUCTION
AND ENGINEERING, LLC**

10209 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**KIDDIE ACADEMY WEST SIDE
GRADING PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
202002-GD.DWG	SH-B	03-29-2020	1 OF 2